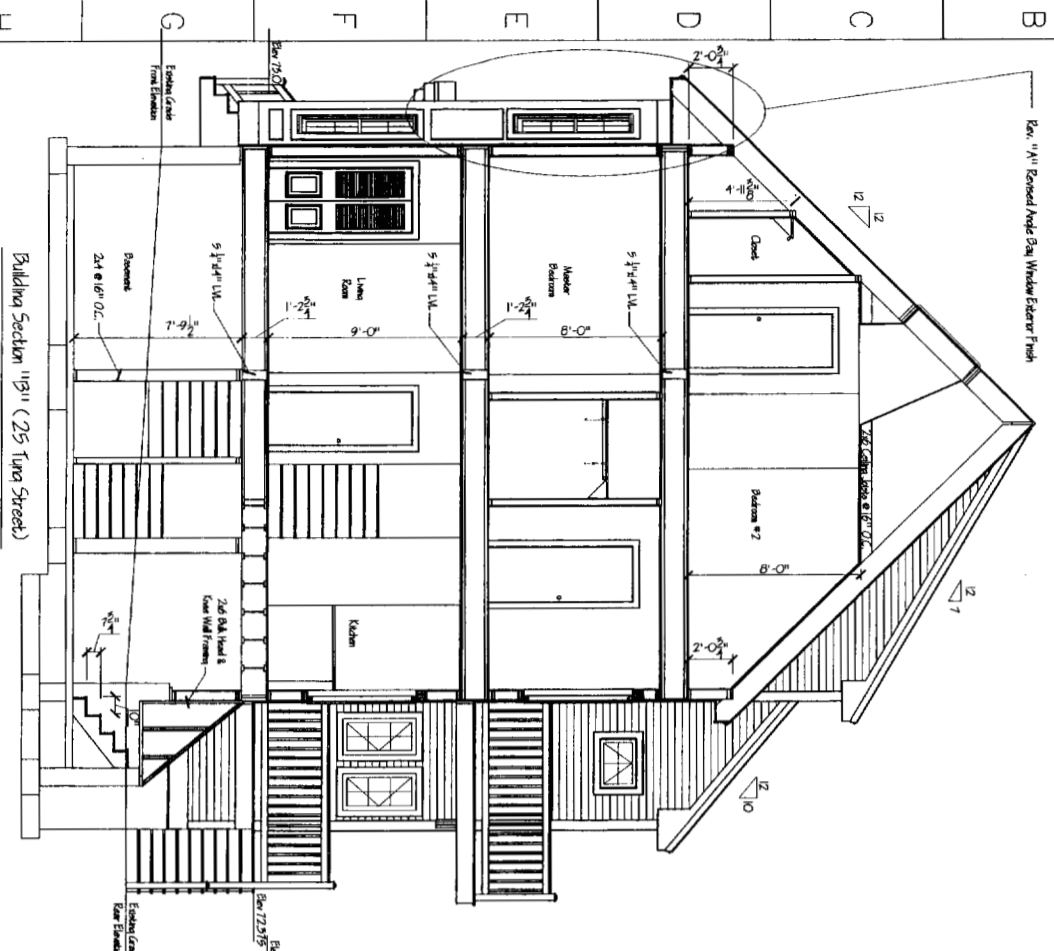


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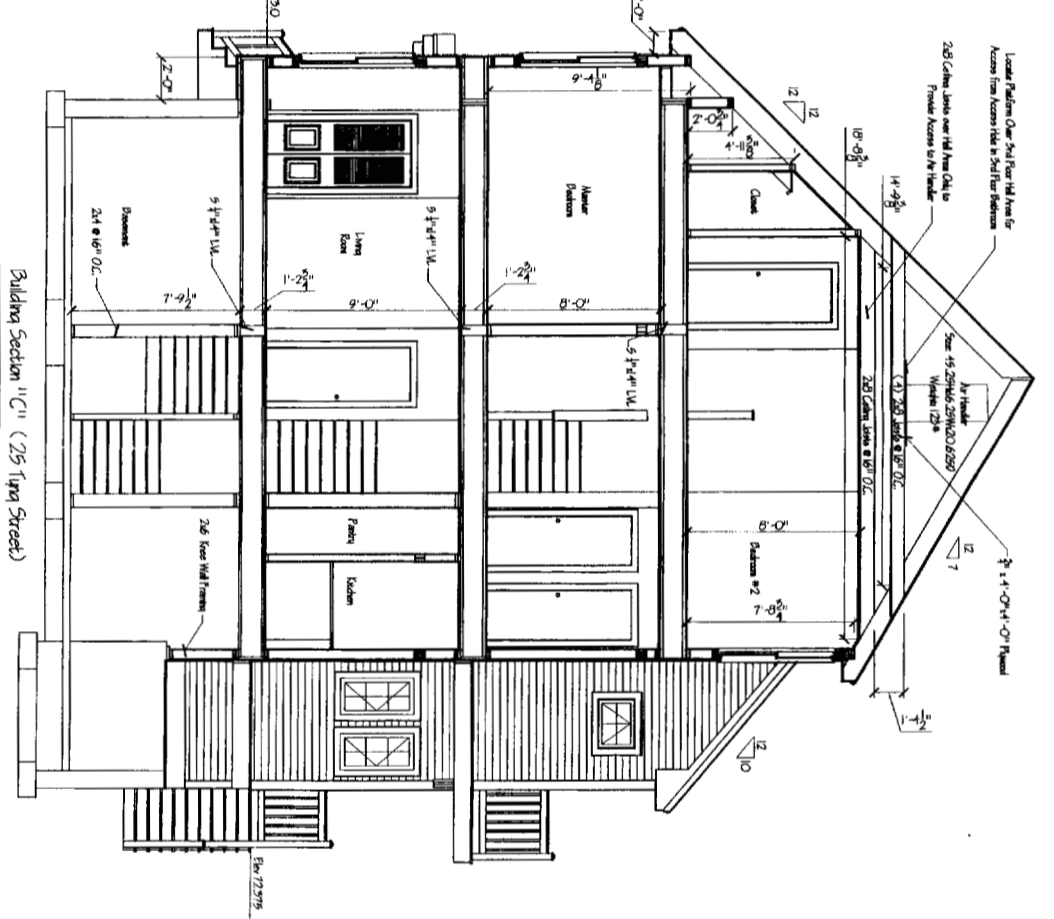
Platform Notes
 All Drawings, Plans, Schedules, Etc. are provided to the Owner for their use only. The Contractor shall be responsible for the design and construction of the building. The Contractor shall be responsible for the design and construction of the building. The Contractor shall be responsible for the design and construction of the building.



Building Section "B" (25 Tuna Street)
 1/4" = 1'-0"

Star Construction
 A) Wall Stud 2x4 @ 16" O.C.
 B) Insulation: Min. R-19
 C) Sheetrock 5/8" Type X
 D) Paint: Per local code requirements

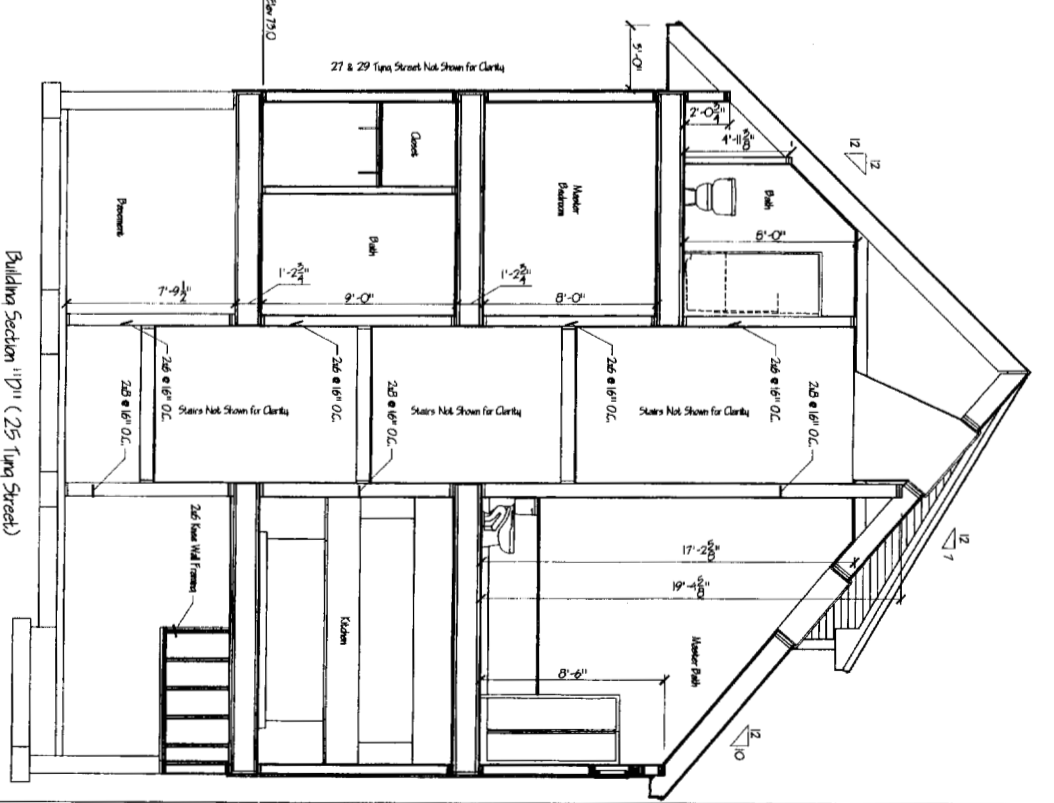
General Notes
 Unless otherwise noted, all construction is to be in accordance with the International Residential Code (IRC) 2003. All construction shall be in accordance with the International Residential Code (IRC) 2003.



Building Section "C" (25 Tuna Street)
 1/4" = 1'-0"

Roof System
 5/8" OSB Decking
 2x6 Joists @ 16" O.C.
 1/2" Gypsum Board

General Notes
 Unless otherwise noted, all construction is to be in accordance with the International Residential Code (IRC) 2003.



Building Section "D" (25 Tuna Street)
 1/4" = 1'-0"

Roof System
 5/8" OSB Decking
 2x6 Joists @ 16" O.C.
 1/2" Gypsum Board

General Notes
 Unless otherwise noted, all construction is to be in accordance with the International Residential Code (IRC) 2003.

NOTE: Unless otherwise noted, see Drawings AB for header and girder requirements.

DESIGN CODES
 IRC 2003

Star Construction
 A) Wall Stud 2x4 @ 16" O.C.
 B) Insulation: Min. R-19
 C) Sheetrock 5/8" Type X
 D) Paint: Per local code requirements

General Notes
 Unless otherwise noted, all construction is to be in accordance with the International Residential Code (IRC) 2003.

Roof System
 5/8" OSB Decking
 2x6 Joists @ 16" O.C.
 1/2" Gypsum Board

General Notes
 Unless otherwise noted, all construction is to be in accordance with the International Residential Code (IRC) 2003.

Roof System
 5/8" OSB Decking
 2x6 Joists @ 16" O.C.
 1/2" Gypsum Board

General Notes
 Unless otherwise noted, all construction is to be in accordance with the International Residential Code (IRC) 2003.

General Notes:
 1) See Roof Framing Plan for Roof Framing Members
 2) See Floor Framing Plan for Floor Framing Members
 3) See Foundation Plan for Foundation Members
 4) See Floor Plans for Casework & Handrail Specs.

DATE: 09-21-09
 DRAWN: M.H.
 CHECKED: M.H.
 SCALE: 1/4" = 1'-0"
 PROJECT: A-919/10

DWG. TITLE: Building Section B, C & D

REV.	DESCRIPTION	DATE
C	Added Air Handler Marking Platform	09.21.09
D	Added Notes, Etc. Per Meeting with Mike Nuzzo	09.08.09
DA	General Revisions to All Floor Plans. (Non Structural). Added Gas Fireplaces to All 3 Units. Let Floor Only. Added garage Under 29 Tuna St. Unit.	09.08.09
A	No Structural Changes	09.30.04

PROJECT FOR: Mariners Row Townhouses
 #25 - #29 Tuna Street - Portland, Maine

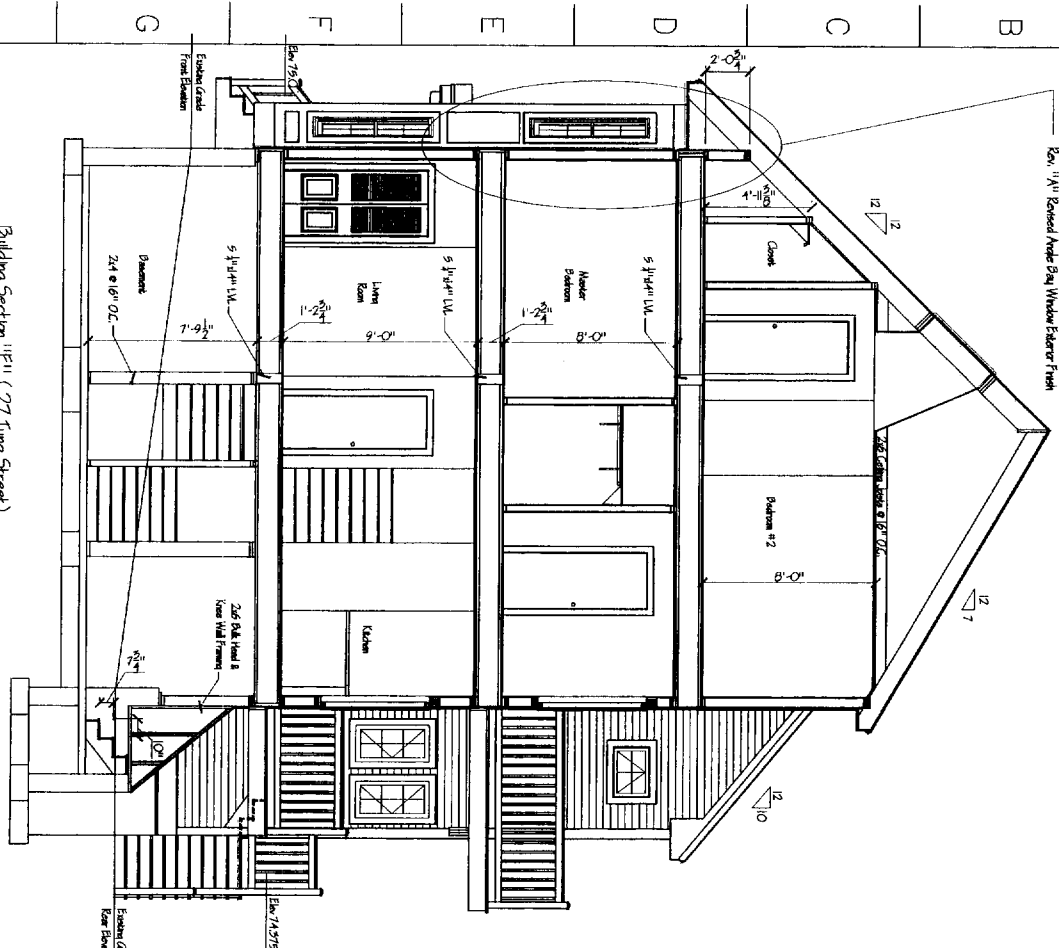
DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 Developer

SEP 27 2005
RECEIVED

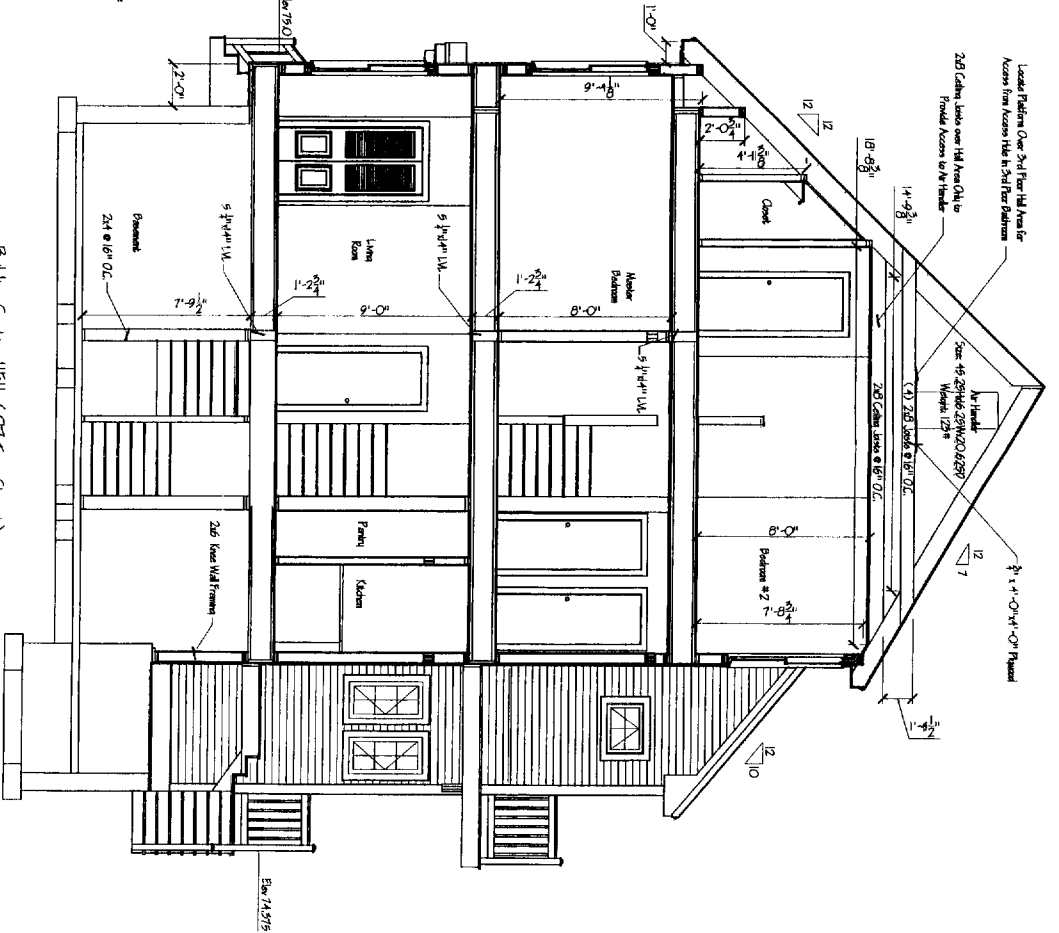
Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

NORTHEAST DESIGN DRAFTING
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 Sunac Street, Portland, ME 04103 Phone 201.791.7716 Fax 201.791.7716
 WWW.NORTHEASTDESIGNDRAFTING.COM

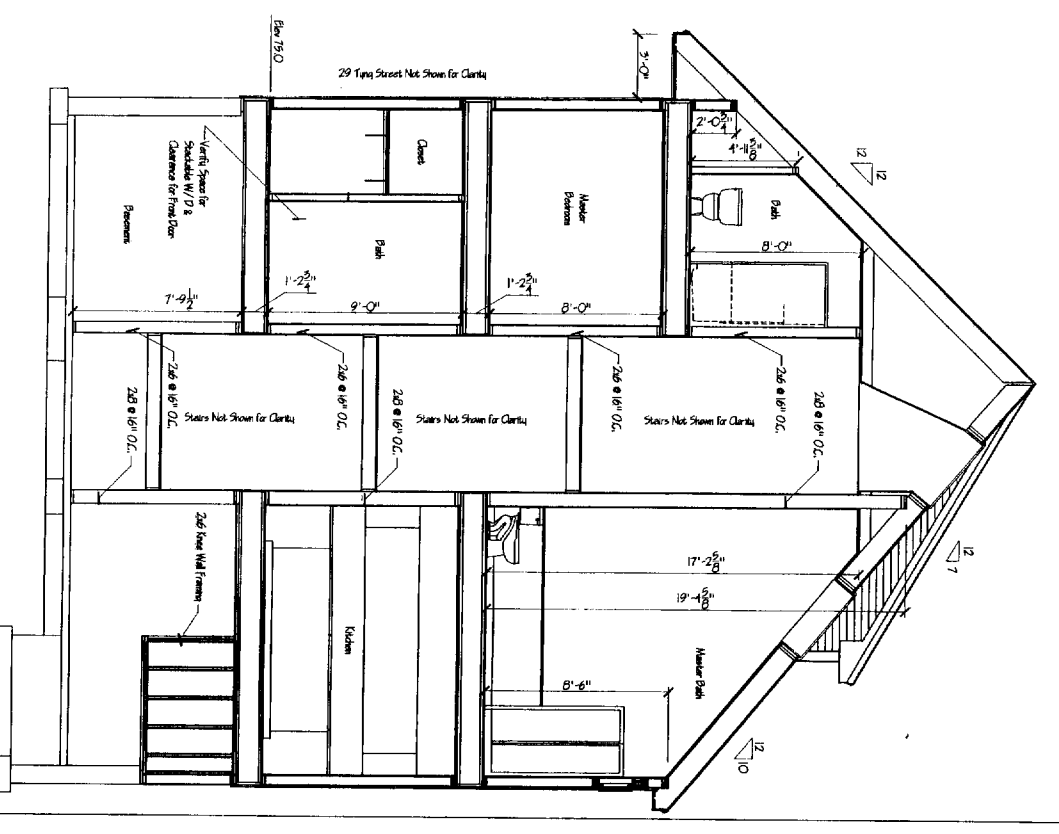
Disclaimer:
 The Designer has prepared these drawings based on information provided by the Client and assumes no responsibility for the accuracy or completeness of the information provided. The Designer is not responsible for the design of any structure or system that is not specifically shown on these drawings. The Client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Designer is not responsible for the design of any structure or system that is not specifically shown on these drawings. The Client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.



Building Section 11'E11 (27 Tunja Street)
 1/4" = 1'-0"



Building Section 11'E11 (27 Tunja Street)
 1/4" = 1'-0"



Building Section 11'G1 (27 Tunja Street)
 1/4" = 1'-0"

NOTE: Unless otherwise noted, see Page sheet A8 for header and order requirements

DESIGN CODES
 IRC 2003

- Steel Connections:**
- A) All steel connections shall be designed in accordance with the provisions of the AISC Steel Construction Manual, 13th Edition.
 - B) All steel connections shall be designed in accordance with the provisions of the AISC Steel Construction Manual, 13th Edition.
 - C) All steel connections shall be designed in accordance with the provisions of the AISC Steel Construction Manual, 13th Edition.
- General Notes:**
- 1) See Roof Framing Plan for Roof Framing Members
 - 2) See Floor Framing Plan for Floor Framing Members
 - 3) See Foundation Plan for Foundation Specs.
 - 4) See Floor Plans for Guardrail & Handrail Specs.

- Roof Structure:**
- 1) Rafters: 2x6 @ 16" O.C.
 - 2) Trusses: 2x6 @ 16" O.C.
 - 3) Sheathing: 1/2" CDX Ply
- Floor Structure:**
- 1) Joists: 2x8 @ 16" O.C.
 - 2) Subfloor: 1/2" CDX Ply
 - 3) Finish: 3/4" Hardwood

- Interior Finish:**
- 1) Walls: 5/8" Gypsum Board
 - 2) Ceilings: 5/8" Gypsum Board
 - 3) Floors: 3/4" Hardwood
- Exterior Finish:**
- 1) Siding: 1/2" CDX Ply
 - 2) Trim: 1x4 Pine

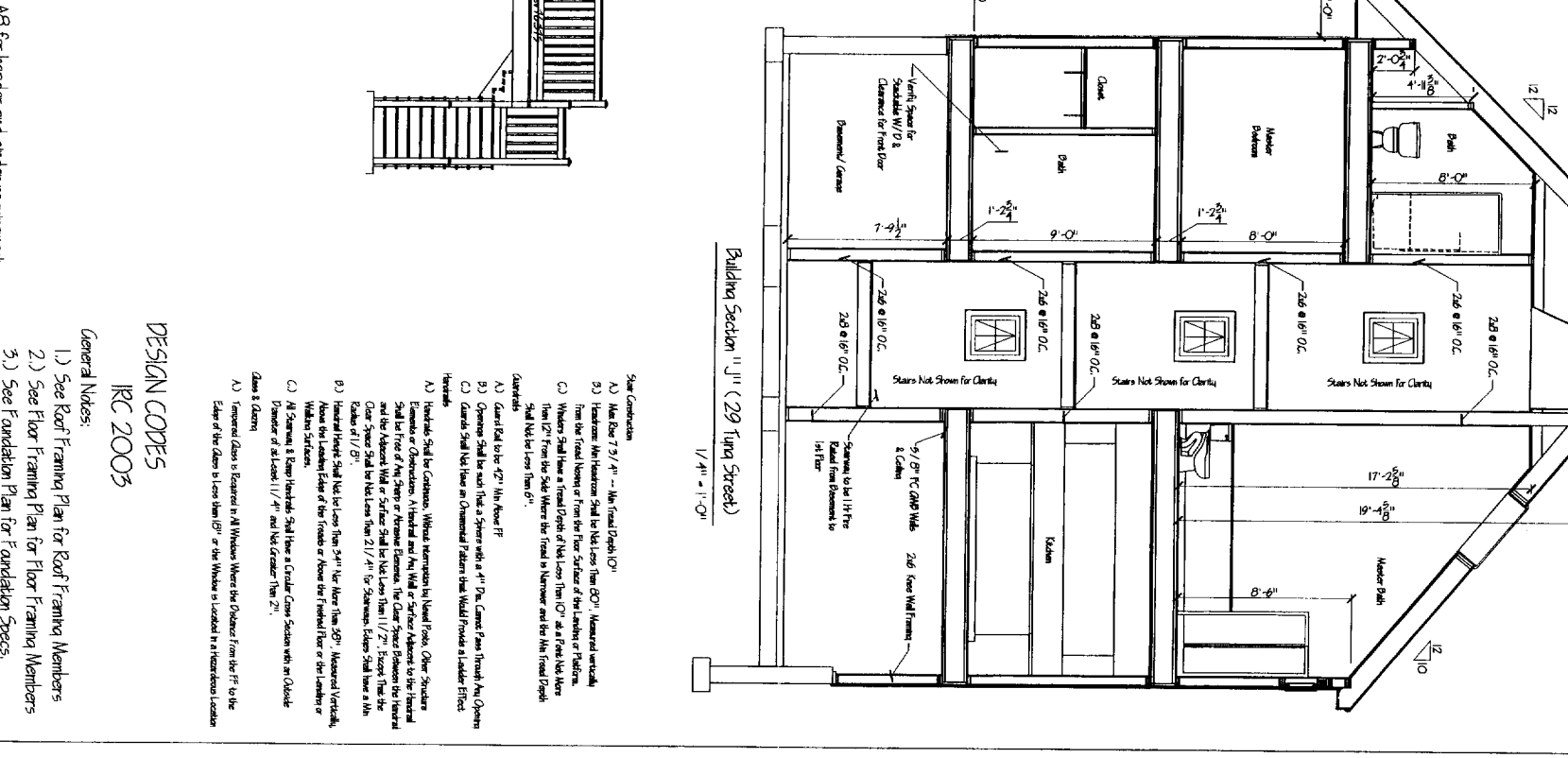
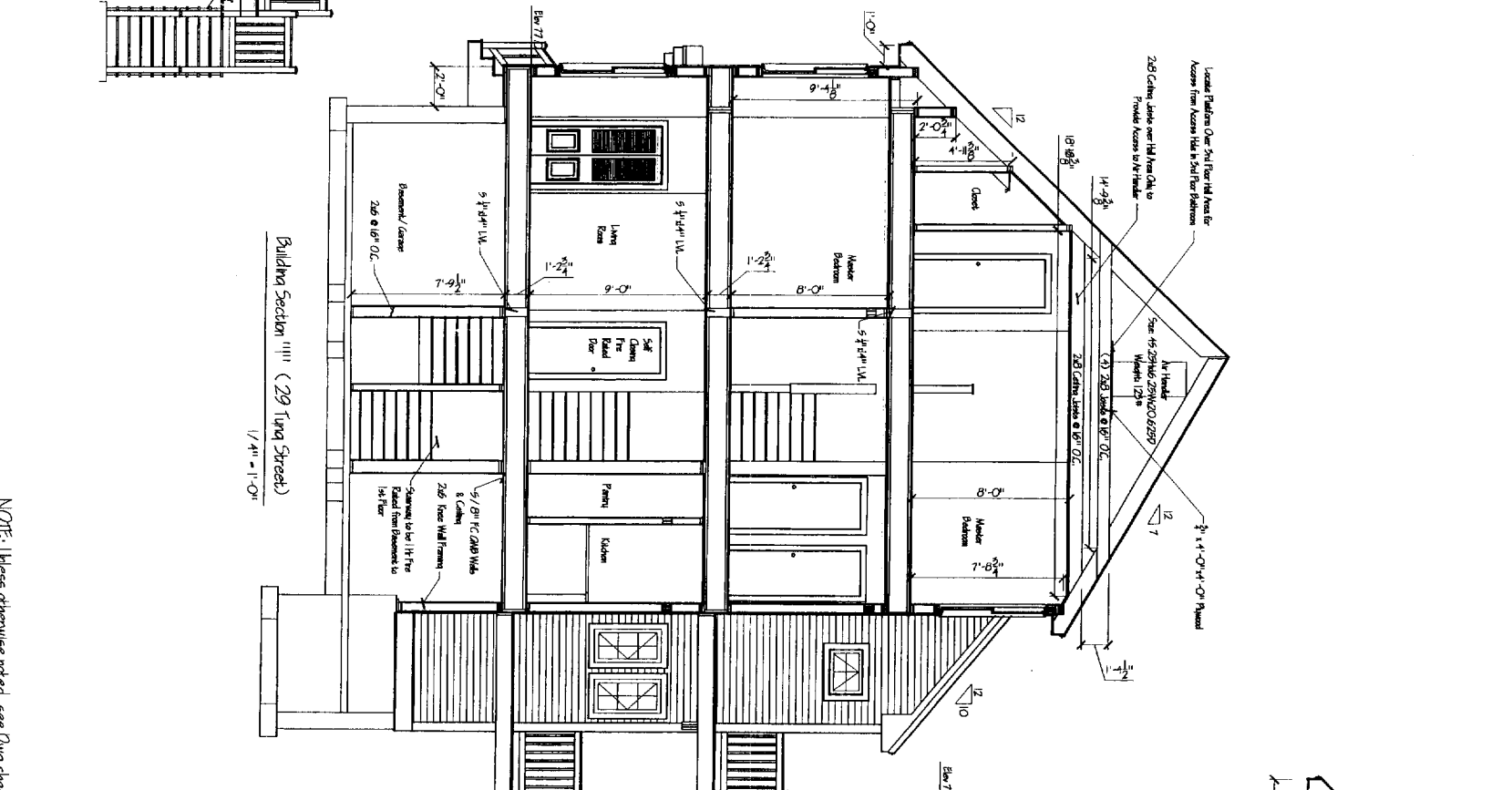
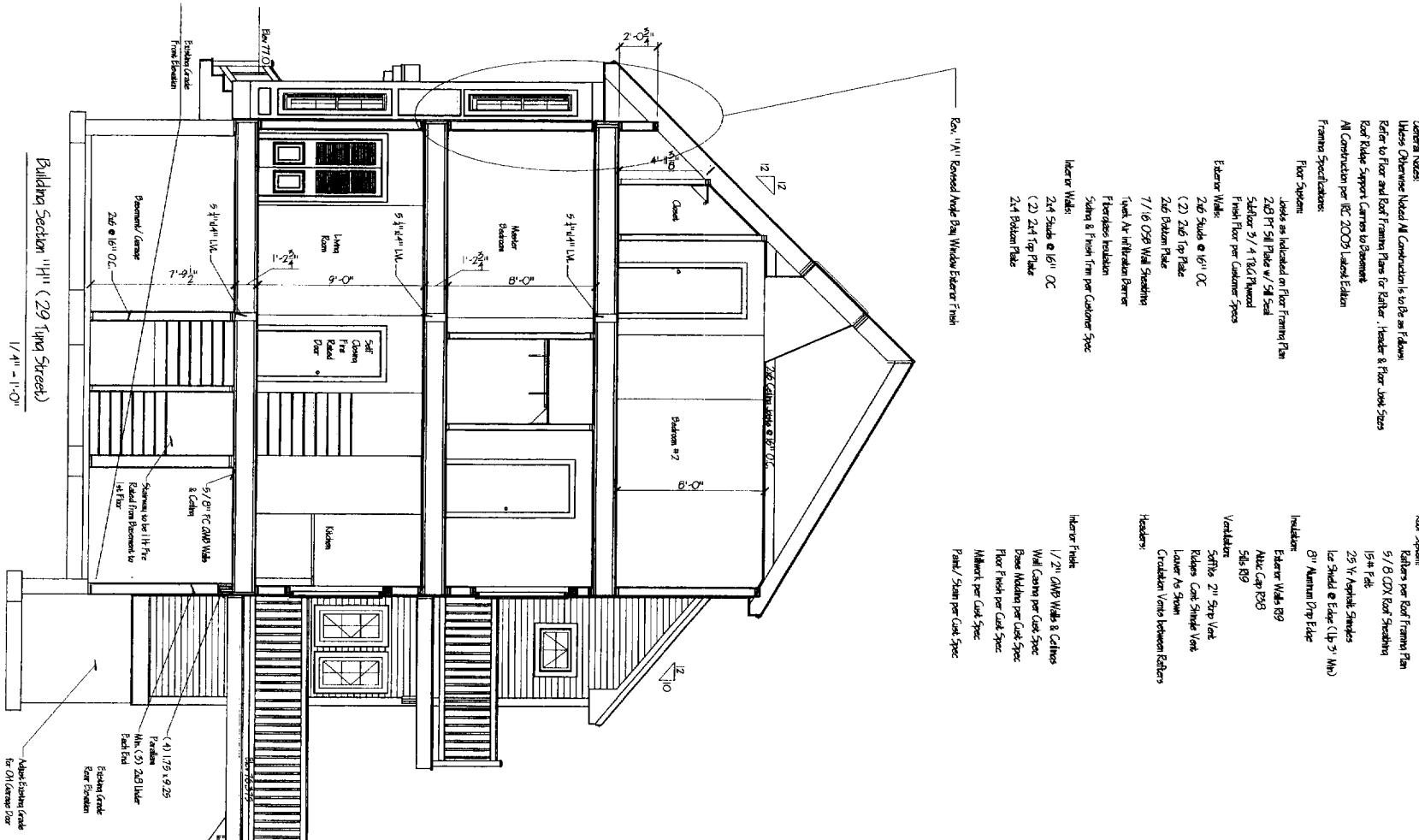
PROJECT FOR:
 Mariners Row Townhouses
 #25 - # 29 Tunja Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

REV.	DESCRIPTION	DATE
A	Added Air Handler Mounting Platform	09.21.09
B	Added Notes, Etc. Per Meeting with Mike Nugent	06.08.09
C	General Revisions to All Floor Plans. (Non Structural)	06.08.09
D	Added Gas Fireplaces to All 3 Units, 1st Floor Only.	
E	Added coverage Under 29 Tunja St. Unit.	
F	No Structural Changes	09.30.04

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 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 Sumac Street, Portland, ME 04103 Phone 207.791.7776 Fax 207.791.7776
 WWW.NORTHEASTDESIGNDRAFTING.COM

STATE OF MAINE
 PROFESSIONAL ENGINEER
 RONALD T. DEALUCESNE
 9/21/10

General Notes:
 1) All dimensions are in feet and inches unless otherwise noted.
 2) All work shall be in accordance with the applicable building codes and local ordinances.
 3) All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.
 4) All work shall be completed in a timely manner and shall be subject to inspection at all times.
 5) All work shall be completed in accordance with the schedule of values.
 6) All work shall be completed in accordance with the contract documents.
 7) All work shall be completed in accordance with the applicable building codes and local ordinances.
 8) All work shall be completed in accordance with the manufacturer's instructions.
 9) All work shall be completed in a timely manner and shall be subject to inspection at all times.
 10) All work shall be completed in accordance with the schedule of values.
 11) All work shall be completed in accordance with the contract documents.



DESIGN CODES
 IRC 2003

- General Notes:**
- 1) See Roof Framing Plan for Roof Framing Members
 - 2) See Floor Framing Plan for Floor Framing Members
 - 3) See Foundation Plan for Foundation Specs.
 - 4) See Floor Plans for Casework & Handrail Specs.

- See Construction:**
- 1) All work shall be in accordance with the applicable building codes and local ordinances.
 - 2) All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.
 - 3) All work shall be completed in a timely manner and shall be subject to inspection at all times.
 - 4) All work shall be completed in accordance with the schedule of values.
 - 5) All work shall be completed in accordance with the contract documents.

- Revisions:**
- | REV. | DESCRIPTION | DATE |
|------|---|----------|
| D | Added Air Header Mounting Platform | 09.21.08 |
| C | Added Notes, Etc. Per Meeting with Mike Nugent | 05.05.08 |
| B | General Revisions to All Floor Plans. (Non Structural). Added Gas Fireplaces to All 3 Units, 1st Floor Only. Added garage Under 29 Tuyn St. Unit. | 03.08.08 |
| A | No Structural Changes | 09.30.04 |

PROJECT FOR:
 Mariners Row Townhouses
 #25 - #29 Tuyn Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

PROFESSIONAL SEAL:
 STATE OF MAINE
 REGISTERED PROFESSIONAL ENGINEER
 DONALD T. BEAUCHEMIN
 44088
 9/21/08

PROJECT FOR:
 Mariners Row Townhouses
 #25 - #29 Tuyn Street - Portland, Maine
 Developer
 Ron & Christine Spinella
 377 Cumberland Avenue
 Portland, Maine 04101

NORTHEAST DESIGN DRAFTING
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 Sumac Street Portland, ME 04103 Phone 207.791.7716 Fax 207.791.7716
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