

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ION

Permit Number: 090815

This is to certify that Vosburgh Tacha /Wayne Barker
has permission to Remove 2 decks and build attached access structure on existing footprint
AT 34 Park St CB 044 B011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Bonke 9/3/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0815	Issue Date:	CBL: 044 B011001
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Location of Construction: 34 Park St	Owner Name: Vosburgh Tacha	Owner Address: 6275 E 22nd Ave	Phone: 207-7751892
Business Name:	Contractor Name: Wayne Barker	Contractor Address: 34 Park Street Portland	Phone: 2077751892
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi Family / 4 Units	Proposed Use: Four units / Remove 2 decks and build attached accessory structure on existing footprint. <i>deck above side portico</i>	Permit Fee: \$170.00	Cost of Work: \$15,000.00	CEO District: 2
Proposed Project Description: Remove 2 decks and build attached accessory structure on existing footprint. <i>deck above 5x12 side portico</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: R2 Type: GB DBX-2003 Signature: JMB 9/3/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 07/31/2009	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption applied for Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/10/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee



Signature of Inspections Official

9/3/09
Date

9/3/09
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0815	Date Applied For: 07/31/2009	CBL: 044 B011001
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Location of Construction: 34 Park St	Owner Name: Vosburgh Tacha	Owner Address: 6275 E 22nd Ave	Phone: 207-7751892
Business Name:	Contractor Name: Wayne Barker	Contractor Address: 34 Park Street Portland	Phone: (207) 775-1892
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Four units / Remove 2 decks and build attached accessory structure on existing footprint.	Proposed Project Description: Remove 2 decks and build attached accessory structure on existing footprint.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/18/2009
Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a four family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/03/2009
Note: **Ok to Issue:**

- 2) The rear and right side walls are to be 1 hour rated from both sides as they are less than 3' from the property lines. No openings are allowed in these walls.
- 3) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 08/26/2009
Note: **Ok to Issue:**

- 1) The door on the second floor used for access to the new structure's second floor shall be 60 minute fire rated door assembly (self-closing)
- 2) No means of egress shall be affected by this renovation
- 3) The entire structure shall comply with NFPA 101 "Existing Apartments" Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 4) All construction shall comply with NFPA 101

Location of Construction: 34 Park St	Owner Name: Vosburgh Tacha	Owner Address: 6275 E 22nd Ave	Phone: 207-7751892
Business Name:	Contractor Name: Wayne Barker	Contractor Address: 34 Park Street Portland	Phone (207) 775-1892
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Comments:

8/18/2009-mes: I visited the site on 7/16/09 to assess what was there. I am allowing the enclosure of the present area under section 14-381(d) - the expansion upward is allowed under 14-436(b) . On 8/11/09 I received a written document stating what the use of the floor above the storage area was. Waiting for planning site plan exemption approval.

8/27/2009-gg: received granted site plan exemption as of 8/27/09. /gg

9/2/2009-gg: gave permit and site exemption to Chris on 9/02/09. /gg

9/3/2009-jmb: Spoke with Wayne B. At length for clarification of details and dimensions, as noted on plans. During the review process he submitted an additional plan to build a 5x12 deck over the existing side portico. Ok to issue



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>34 PARK STREET, PORTLAND</u>		
Total Square Footage of Proposed Structure/Area <u>275 +/-</u>	Square Footage of Lot <u>4,405</u>	Number of Stories <u>TWO</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>44 B 011</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>TACHA WOSBUNGH</u> Address <u>34 PARK ST</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>775-1892</u> <u>712-8090</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>15,000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>170.00</u>
Current legal use (i.e. single family) <u>Residential</u> Number of Residential Units <u>4 multi</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Accessory USE / STORAGE</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Remove existing wood ^{two} decks and build ATTACHED Accessory structure on existing foot print.</u> <u>received PDF</u>		
Contractor's name: <u>WAYNE BARKER</u>		
Address: <u>34 PARK STREET</u>		
City, State & Zip <u>Portland, ME 04101</u>		Telephone: <u>775-1892</u> ^{+ call}
Who should we contact when the permit is ready: <u>Wayne Barker</u>		Telephone: <u>712-8090</u>
Mailing address: <u>34 PARK ST Portland 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

JUL 31 2009

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>Tacha Wosbungh</u>	Date: <u>07.23.09</u>
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This is not a permit; you may not commence ANY work until the permit is issue

6/26/09

City of Portland
GIS

DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

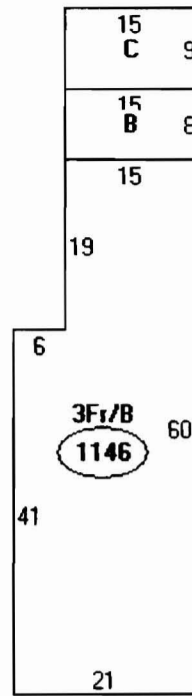
Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

25-112-17

TAKE A LOOK

Deck Permit 07-08
An Assess y Bld .

2-6-20



Descriptor/Area
 A: 3F1/B
 1146 sqft
 B: 2sWD
 120 sqft
 C: WD
 135 sqft

4406 sqft
 3000 - 1000 = 2000
 1200 - 1000 = 200
 4200 sqft

11
 146
 120
 135
 406 sqft floor

$1401 \times 80\% = 1120.8$ increase upward allowed

$15.5 \times 18 = 279$ on 2nd floor

$279 - 1401 = 20\%$ beyond under 4-436(b)

Marge Schmuckal
Zoning Administrator
City of Portland
207-874-8695

August 10, 2009

Re: 34 Park street accessory structure

Dear Marge,

The first floor of the accessory structure, on the ground level, will be used primarily for storage of garden tools, trash and recycling containers, lawn mower, paint supplies, etc. I will also have a workbench for repairs and maintenance of the property. This space will be unheated and have no plumbing. The space is not large enough to store a vehicle. The overhead door is for convenience, as well as light and air, as I use the space mainly during summer months.

The second level will be used as a workspace for sewing, sculpting, and projects that require more space than currently available in a small apartment. We also plan to have this space available in the future for an in home occupation should it become needed. We would apply for necessary permits for any in home occupation at that time. This room is accessible from an existing door located in the second floor hallway. I have attached a drawing showing the access to the second level from the existing back hall.

The roof of the building will serve as a deck to replace the existing deck that is to be removed. This will be accessible from an existing exterior door on the third floor.

I hope this addresses your concerns regarding the use of the new accessory structure. Please call me if you need more information. 775-1892 or 712-8090

Sincerely,


Wayne Barker

AUG 11 2009

Sec. 14-382. Increase in nonconforming use of building or alterations to nonconforming buildings limited.

(a) A lawful nonconforming building may be maintained, repaired, or reconstructed in kind within a one year period, but no alterations, modifications or additions shall be made to it, except as provided in this division.

(b) A building whose use is wholly nonconforming shall not be altered so as to increase the cubical content or the degree of nonconformity.

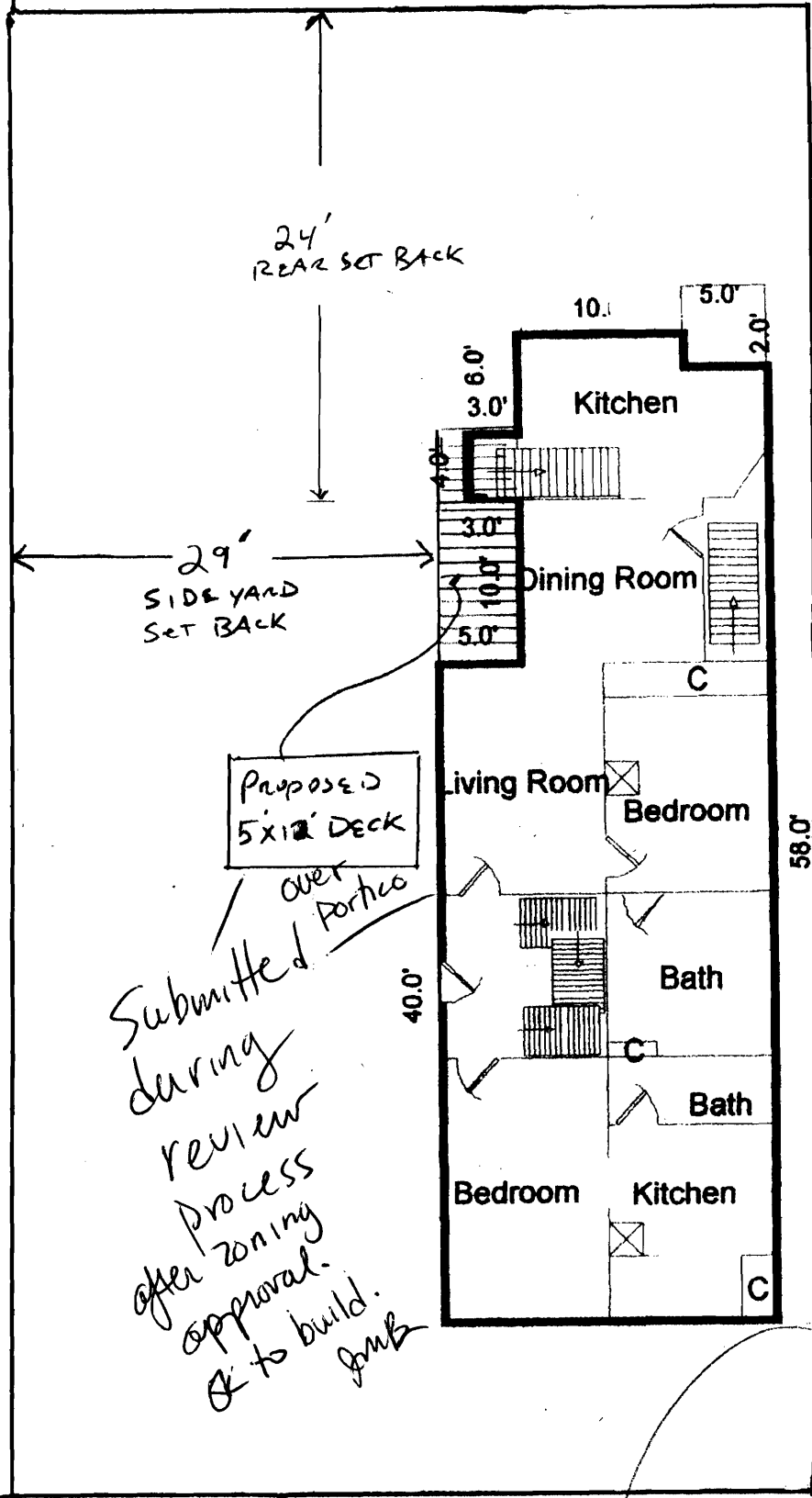
(c) No alterations, modifications or additions shall be made so as to increase the cubical content or the degree of nonconforming use, nor shall a nonconforming use be extended to any other part of such building, unless such part was clearly arranged and designed for such nonconforming use prior to June 5, 1957, or such extension of a nonconforming use is solely for the purpose of bringing the use into compliance with health or safety codes, or to correct a condition that may not technically be in violation but which is determined by the board of appeals to constitute a health or safety problem. In either case, the expansion shall be limited to the minimum necessary to accomplish that purpose.

(d) Alteration, modification or addition may be made to a building which is lawfully nonconforming as to space and bulk or any dimensional requirement where the proposed changes in existing exterior walls and/or roofs would be within the space occupied by the existing shell of the building, and would not create any new nonconformity nor increase any existing nonconformity. This subsection shall not apply to buildings located within shoreland zones and existing on June 15, 1992, which are nonconforming only as to setbacks from wetlands, tributary streams or other water bodies, which shall be regulated in accordance with subsection (f)(1)d. of this section. *NEW SECTION*

(e) Except as expressly provided herein, any alteration, modification or addition permitted under this section shall be in compliance with all other applicable sections of this chapter. Nothing within this section shall be construed to permit an

*34 Park St. Tasha Nosborough
Wagner Barker
for R. GARSACK
w/ back to the bottom deck
7/15/09*

GUILFORD COURT

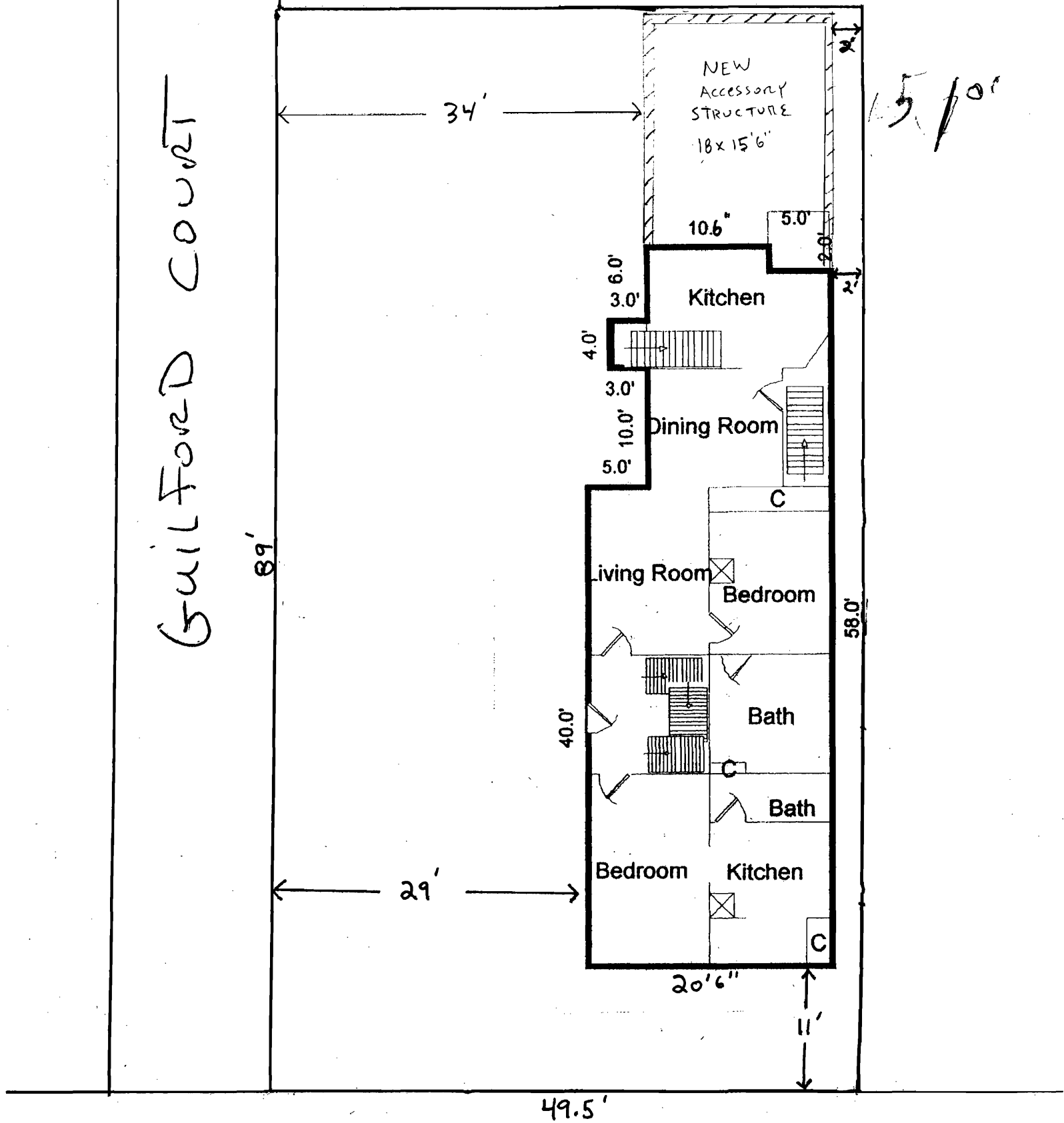


TACHA VOSBURGIT
34 PARK ST
PORTLAND, ME
775-1392

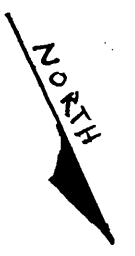
PARK STREET

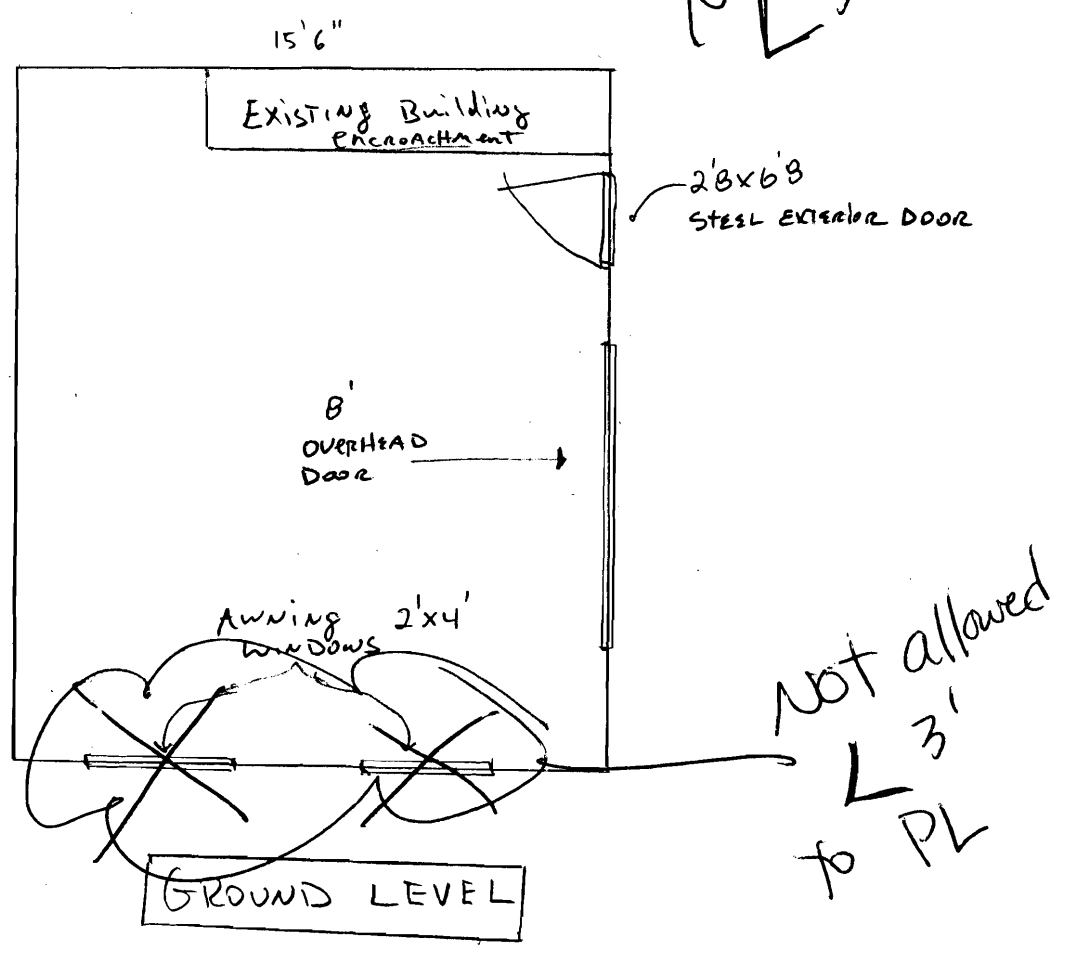
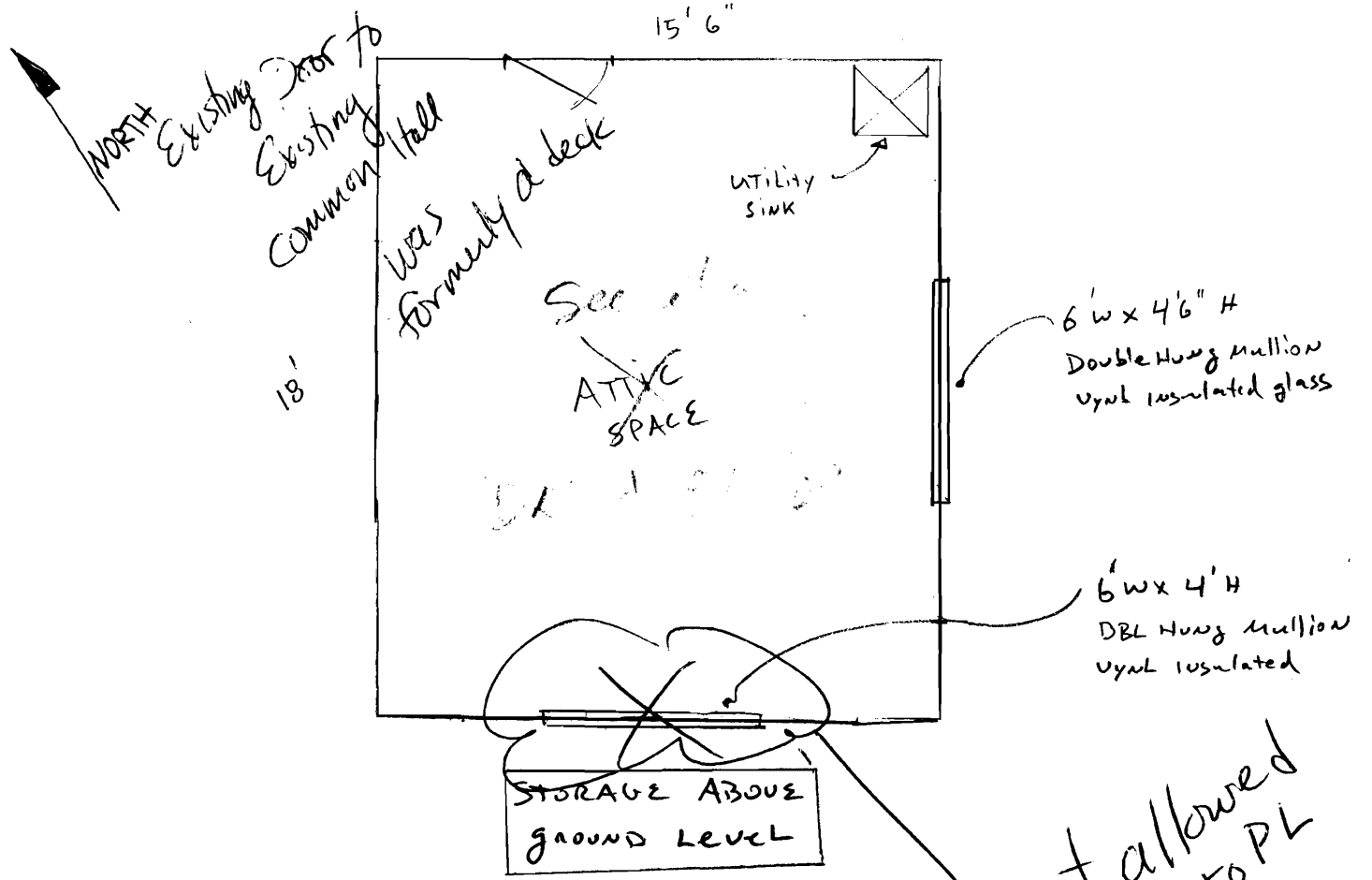
Guilford Court

5/01



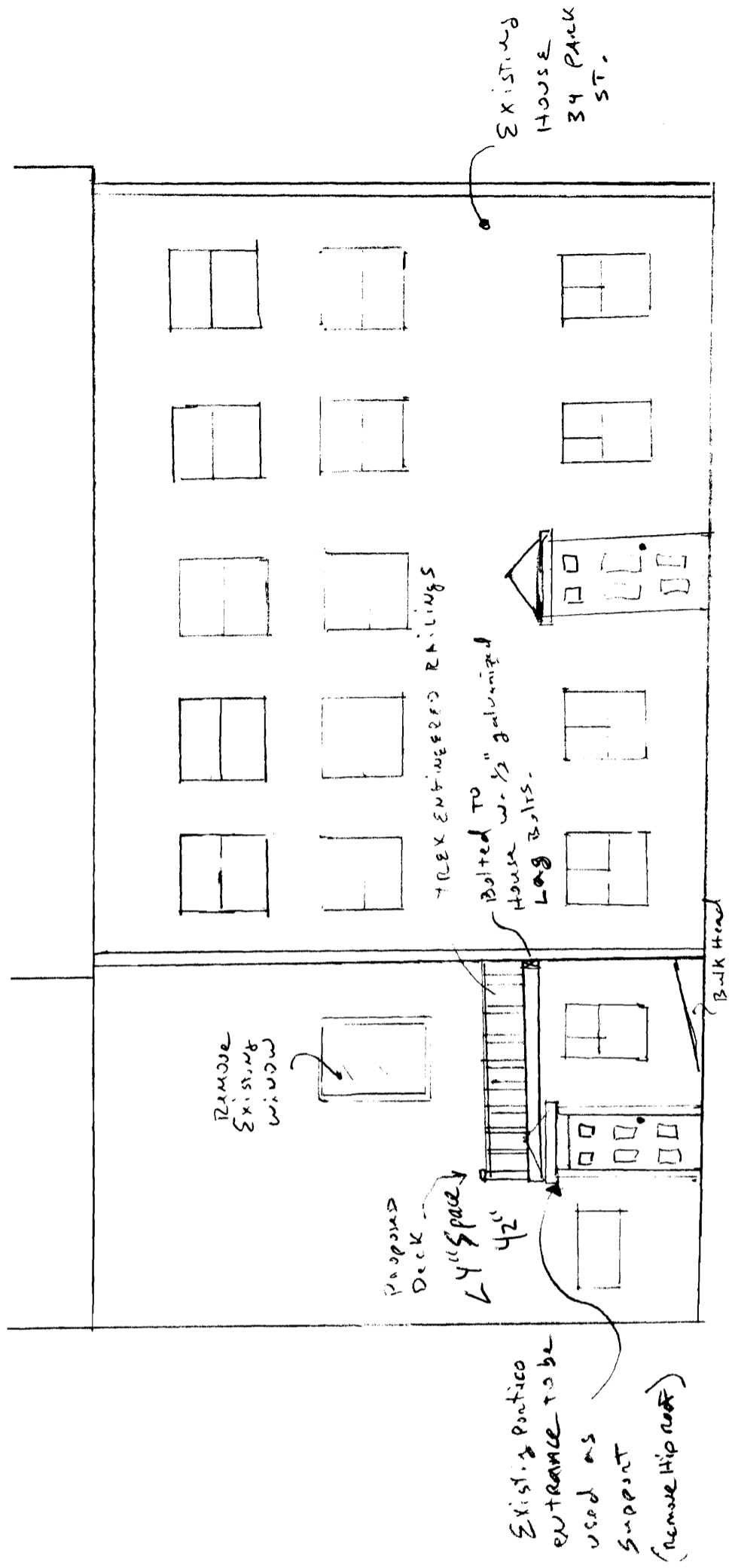
PARK STREET



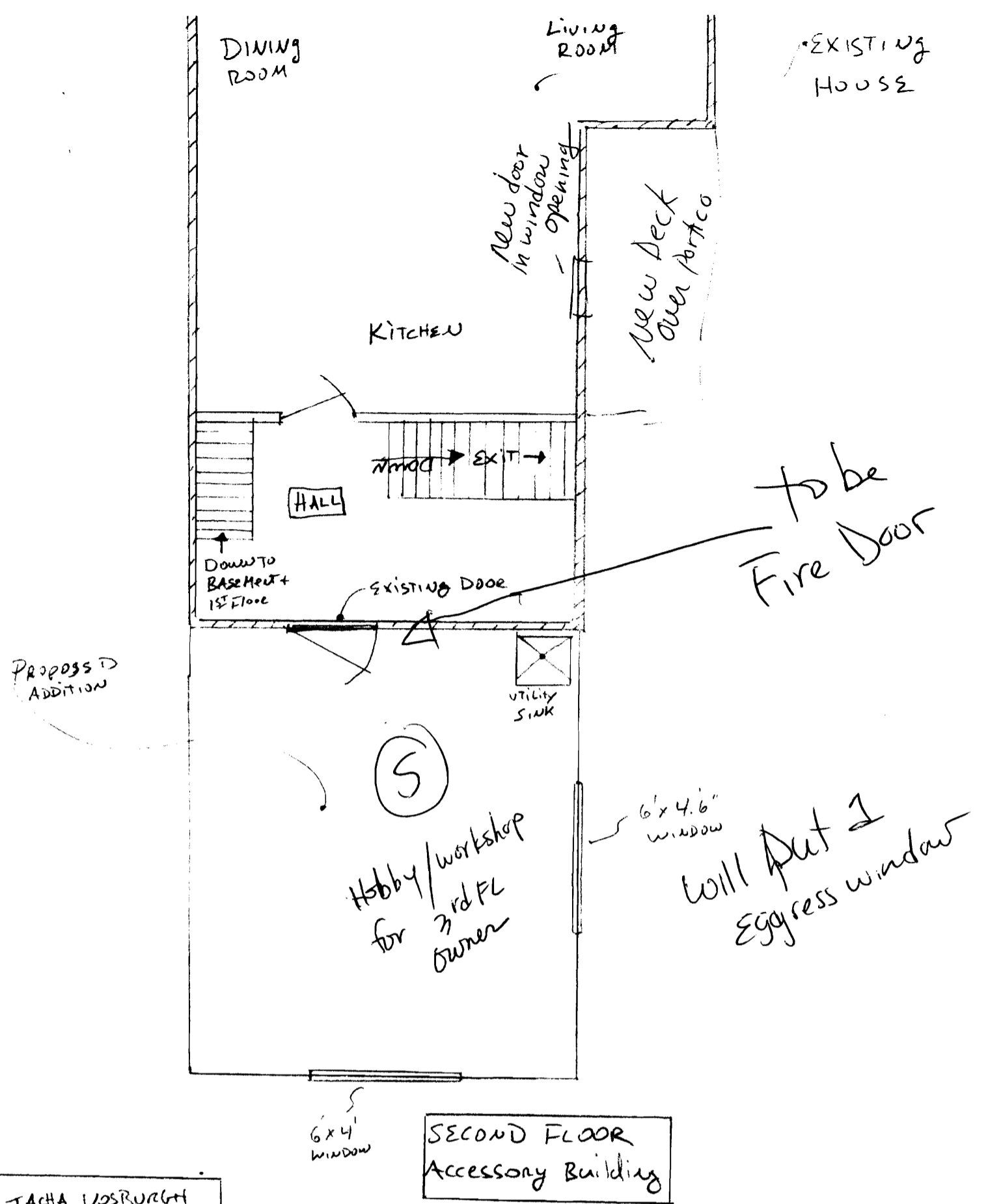


FLOOR
PLANS
34 PARK ST
Accessory BLDG.

Tacha Vosburgh
34 PARK ST
Portland, ME 04101
775-1892



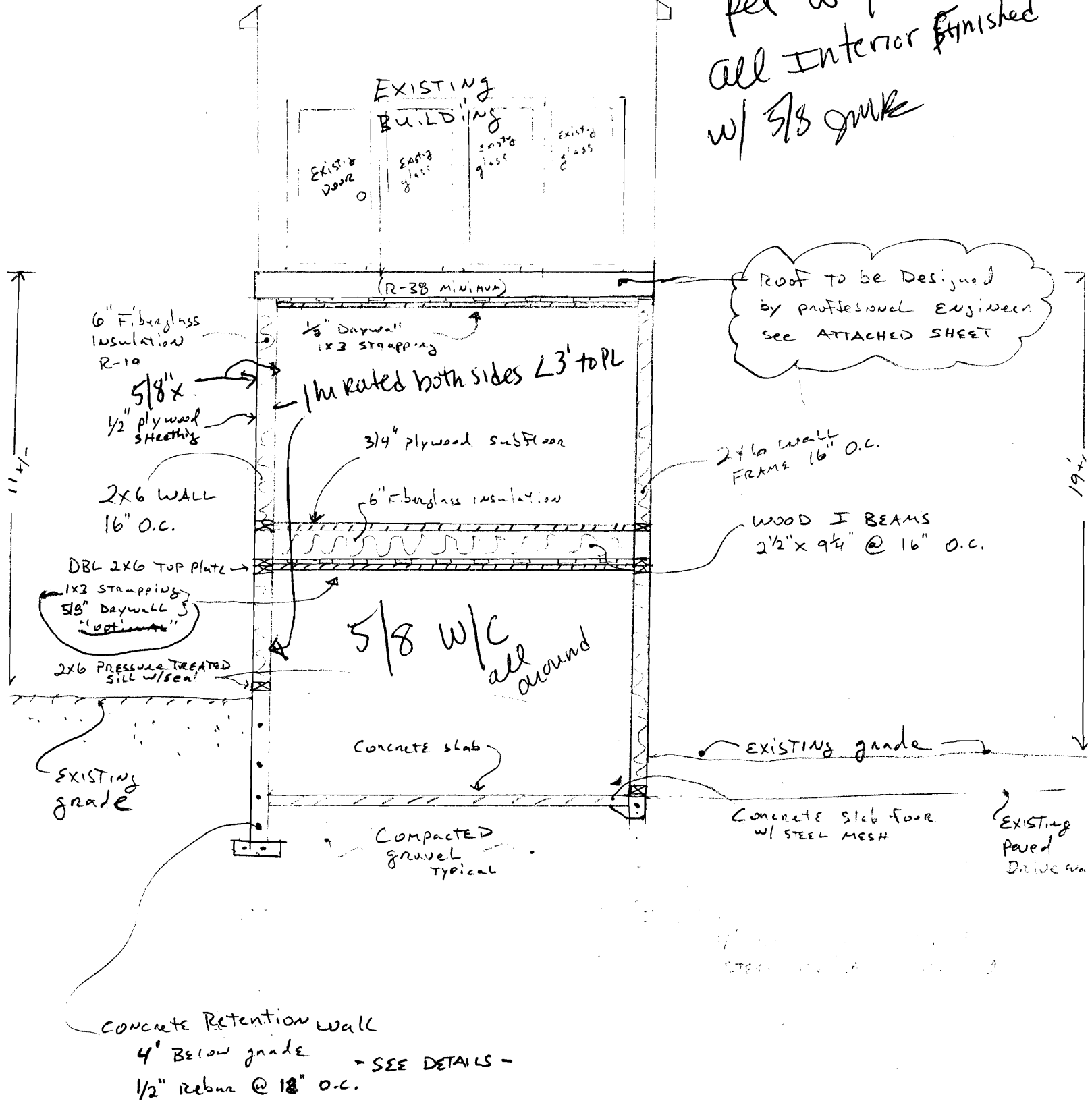
- REMOVE WINDOW @ SECOND FLOOR + INSTALL EXTENSION DOOR TO NEW DECK - 2"X6"X6" OUTSWINGING STEEL DOOR
- CONSTRUCT NEW 5'X12' DECK
- DECK FRAMED WITH PRESSURE TREATED 2XB'S 16" ON CENTER ATTACHED TO EXISTING HOUSE WITH 1/2" GALVANIZED LAG BOLTS @ 16" CENTER MINIMUM
- TREX DECKING BOARDS ON WALKING SURFACE.
- TREX ENGINEERED RAILING SYSTEM (OR EQUIVALENT MANUFACTURER)



TACHA VOSBURGH
 34 PARK ST.
 Portland, ME 04101
 775-1892

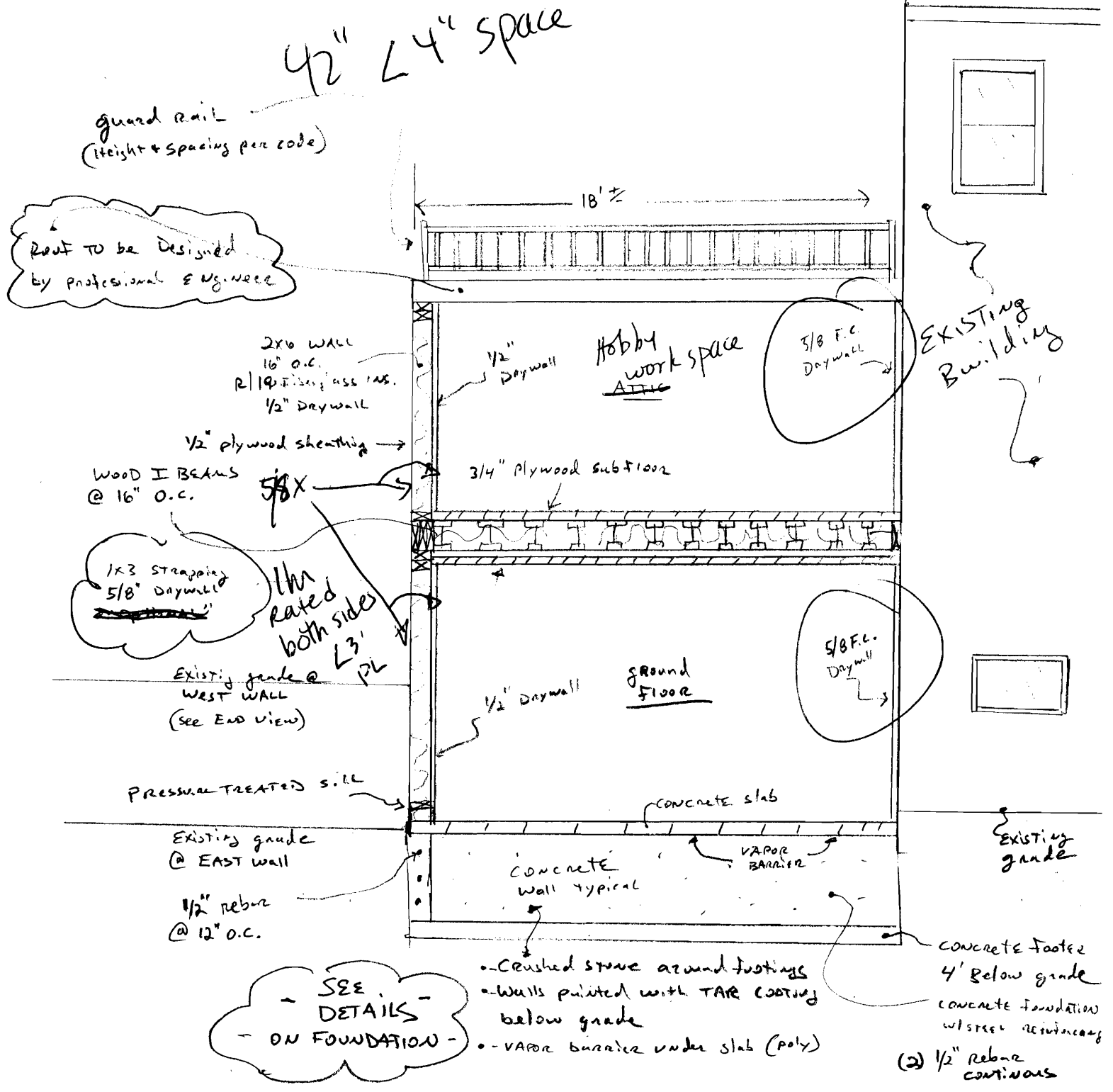
AUG 11 2009

per Wayne B
all interior finished
w/ 5/8 gmk



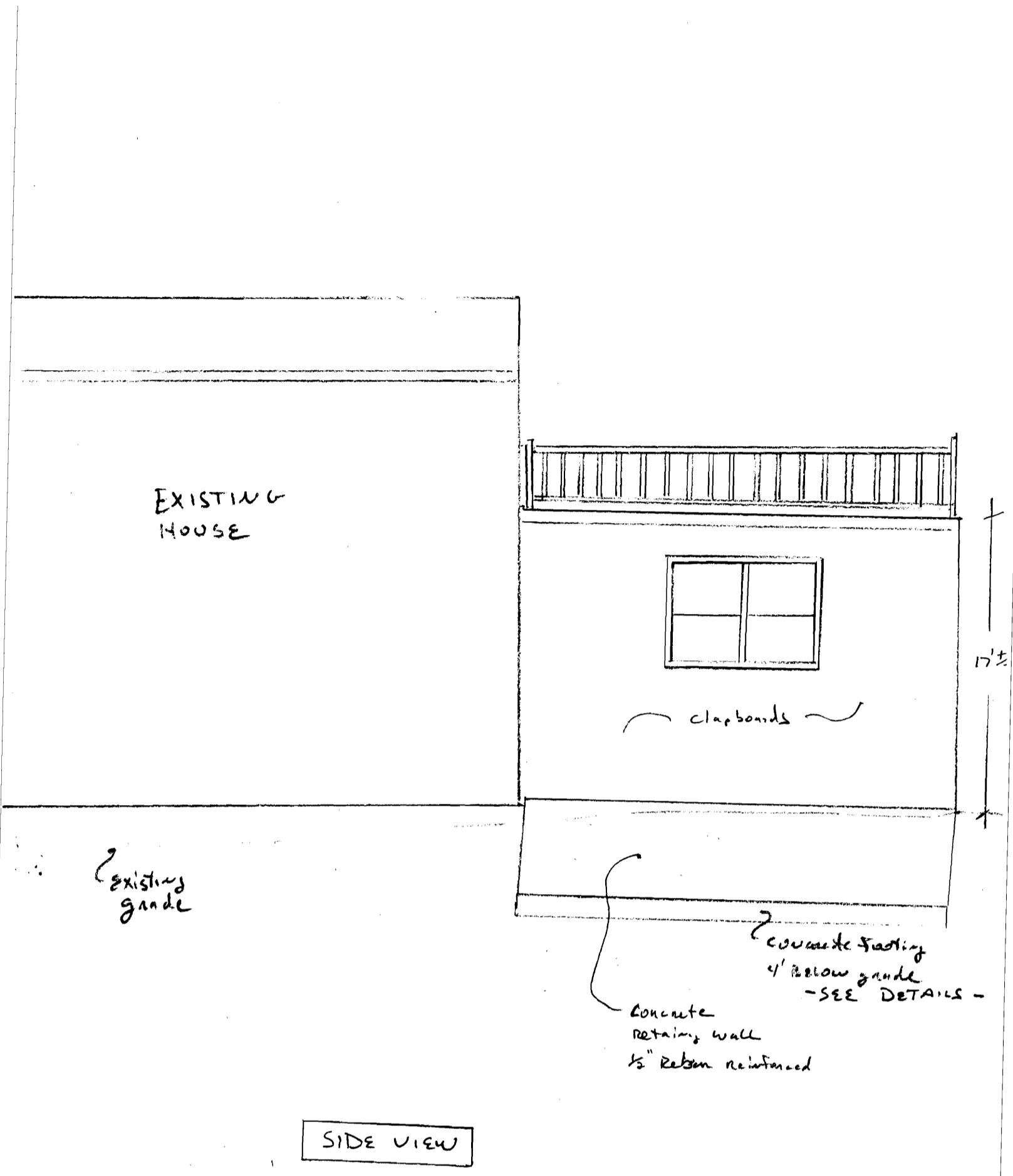
TACHA VABUGH
34 PARK ST
PORTLAND, ME 04101
775-1892

END VIEW



Tachu Kosbungh
 34 PARK ST
 Portland, ME 04101
 775-1892

SIDE VIEW



EXISTING HOUSE

17 1/2

clapboards

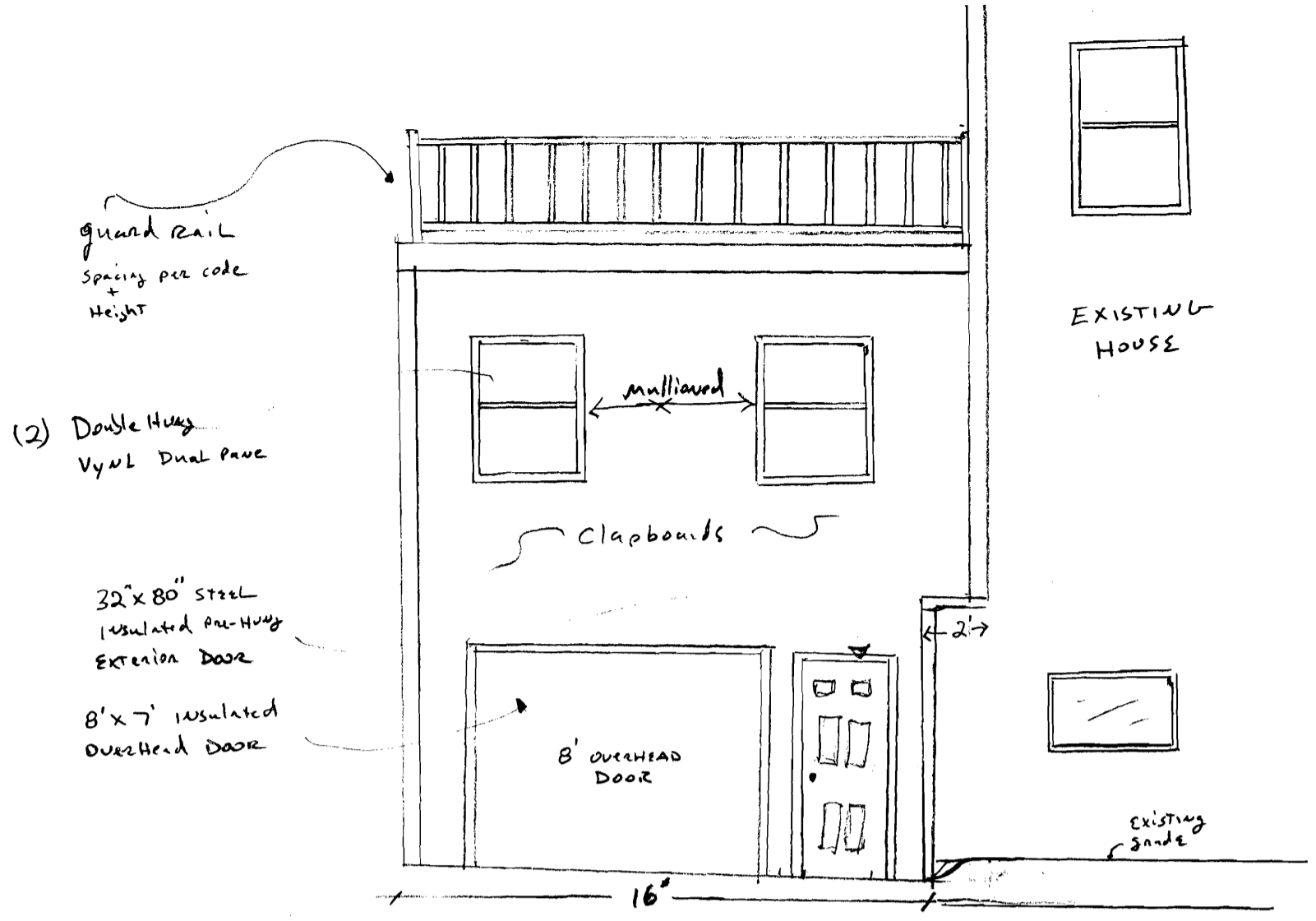
existing grade

concrete footing
4' below grade
-SEE DETAILS-

concrete retaining wall
1/2" rebar reinforced

SIDE VIEW

(NOT TO SCALE)



Guard Rail
Spacing per code
+
Height

(2) Double Hung
Vinyl Dual Pane

32" x 80" Steel
Insulated Pre-Hung
Extension Door

8' x 7' Insulated
Overhead Door

8' OVERHEAD
DOOR

Clapboards

mullioned

EXISTING
HOUSE

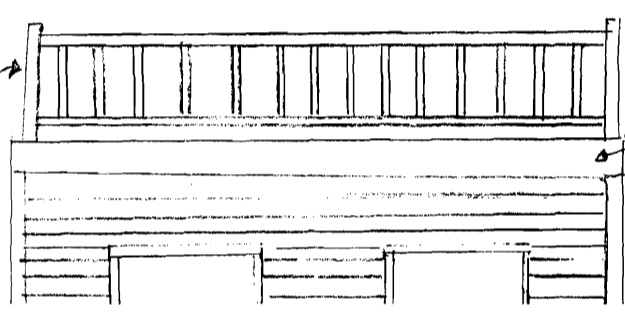
EXISTING
SIDE

16'

2'

SIDE VIEW
Facing WEST

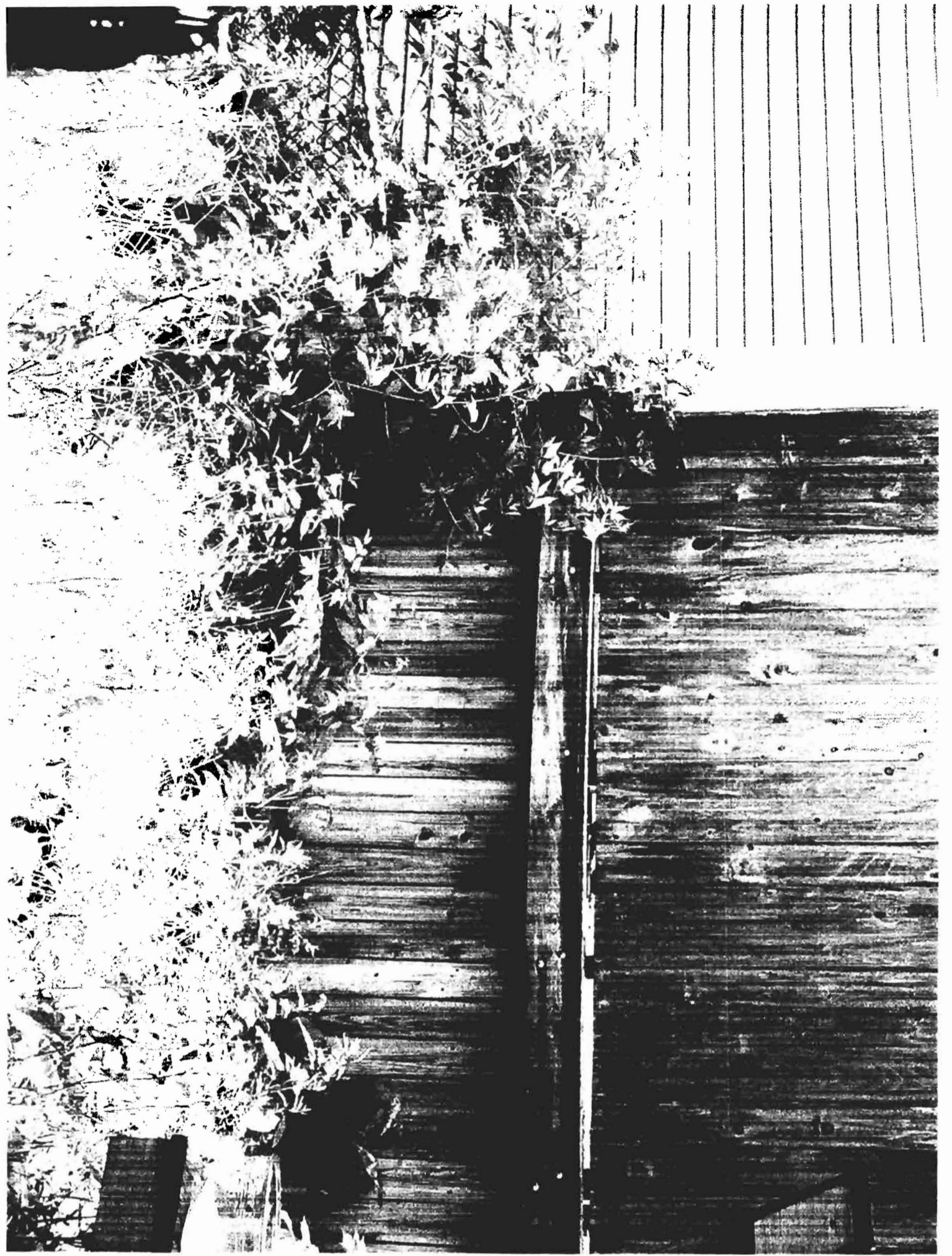
Guard Rail
Spacing per code
Height per code



ROOF FRAMING, LOADS
+ DRAINAGE TO BE BY
PROFESSIONAL ENGINEER

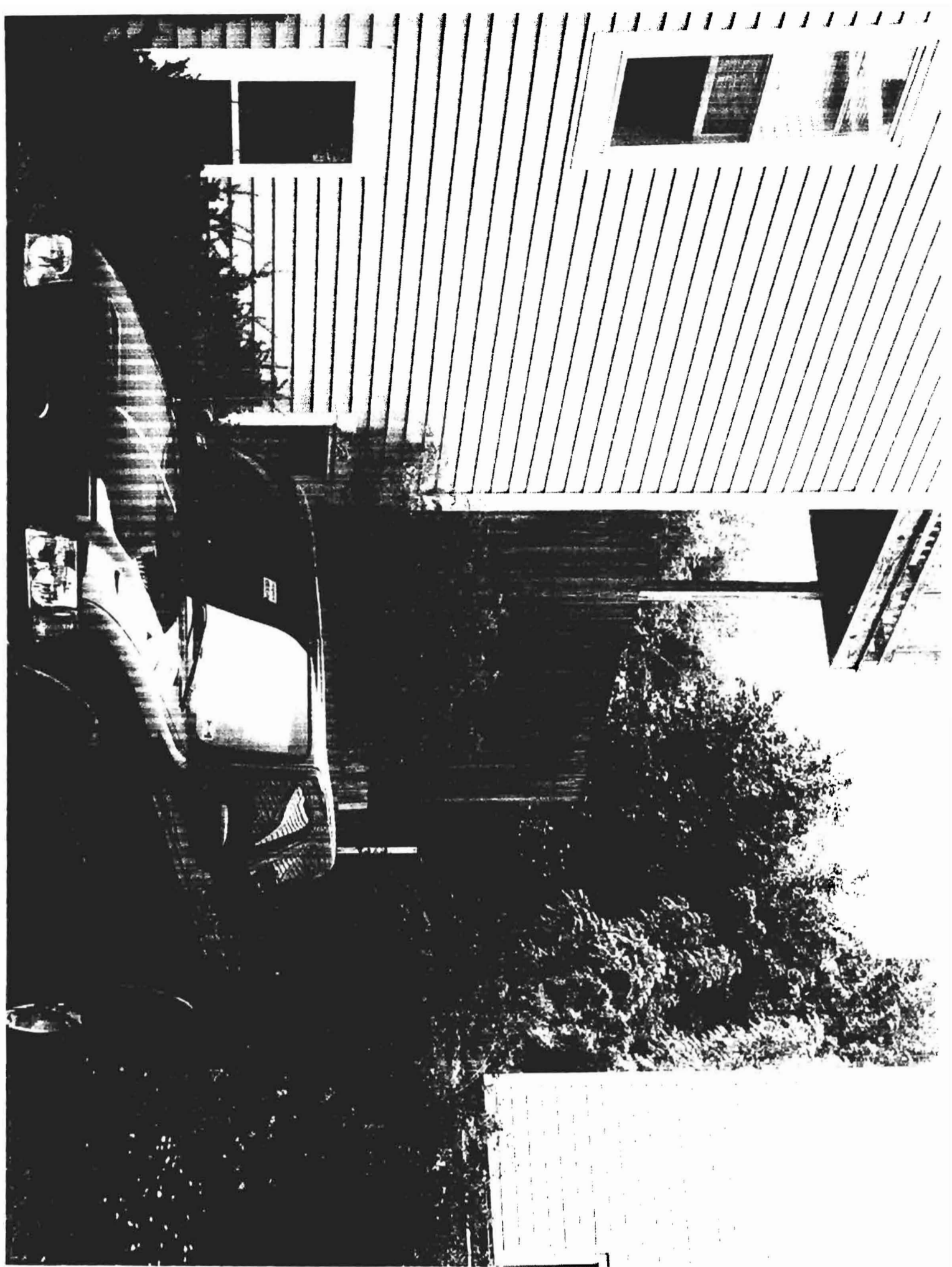
(2)







7-11-68
R-100
6-10-68



City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 34 Park St/34 Guilford Crt	Owner: Lehey, James	Phone:	Permit No: 951106
Owner Address:	Lease/Buyer's Name:	Phone:	Business Name:
Contractor Name: Wayne Barker	Address: 34 Park St Portland, ME 04101	Phone: 775-1892	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED OCT 20 1995 CITY OF PORTLAND </div>
Past Use:	Proposed Use: Same	COST OF WORK: \$ 500.00 PERMIT FEE: \$ 25.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group/Type 5B Signature: [Signature]	
Proposed Project Description: Construct Deck (14 x 8)	PEDESTRIAN ACTIVITIES DISTRICT: Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	Zoning Approval: [Signature] Zone: CBL: 044-B-011 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	

Permit Taken By: Mary Gresik Date Applied For: 18 October 1995

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION
 I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] DATE: 18 Oct 95 ADDRESS: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: PHONE:

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: 10/18/95
 [Signature]

CEO DISTRICT: 2
 [Signature]



Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: TACHA VOSBURGH SHED

PROJECT ADDRESS: 34 PARK STREET

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

Build ATTACHED ACCESSORY SHED ON EXISTING FOOTPRINT Four Family Building.

RECEIVED

CHART/BLOCK/LOT: 44-B-011

CONTACT INFORMATION:

JUL 24 2009

OWNER/APPLICANT

Name: Tacha Vosburgh
Address: 34 PARK ST
Portland, ME
Zip Code: 04101
Work #: 775-1892
Cell #: _____
Fax #: _____
Home #: 775-1892
E-mail: WAYNE.BARKER@MSU.COM

CONSULTANT/AGENT

Name: WAYNE BARKER
Address: 34 PARK ST.
Portland, ME
Zip Code: 04101
Work #: 775-1892
Cell #: 712-8090
Fax #: _____
Home #: 775-1892
E-mail: waynebarker@msu.com

City of Portland
Planning Division

AUG 27 2009

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment
Y(yes), N(no), N/A

YES
yes
yes ~~(no)~~
no
yes ~~no~~
yes ~~no~~
no
no
no
yes
yes

Planning Division
Use Only

yes using foundation + shed
yes
yes
no
yes
yes
no
no
no
yes
yes

Planning Division Use Only Exemption Granted Partial Exemption Exemption Denied

The applicant shall obtain all required building permits

Planner's Signature Barbara Barbydt Date Aug. 19, 2009

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. ✓ Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

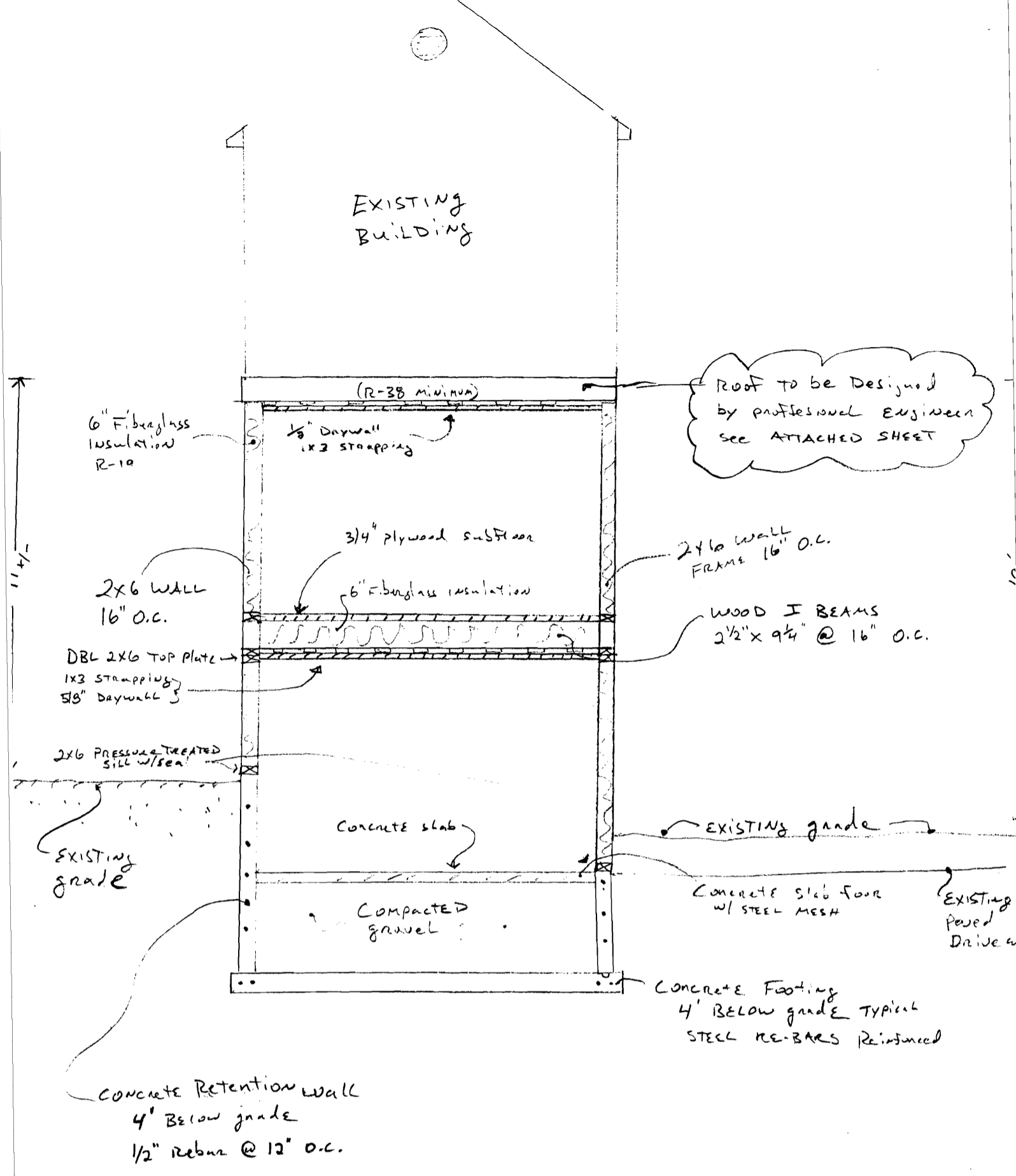
An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

Planning Barbara Barhydt
August 19, 2009 – 34 Park Street

I visited the site on August 4, 2009 and discussed at the development review meeting on August 3. I asked for clarification from Marge Schmuckal that the proposed addition was within an existing foundation and foot print. Questions were also raised regarding the use.

The applicant did respond to the questions in writing and Marge provided me with the letter on August 19th.

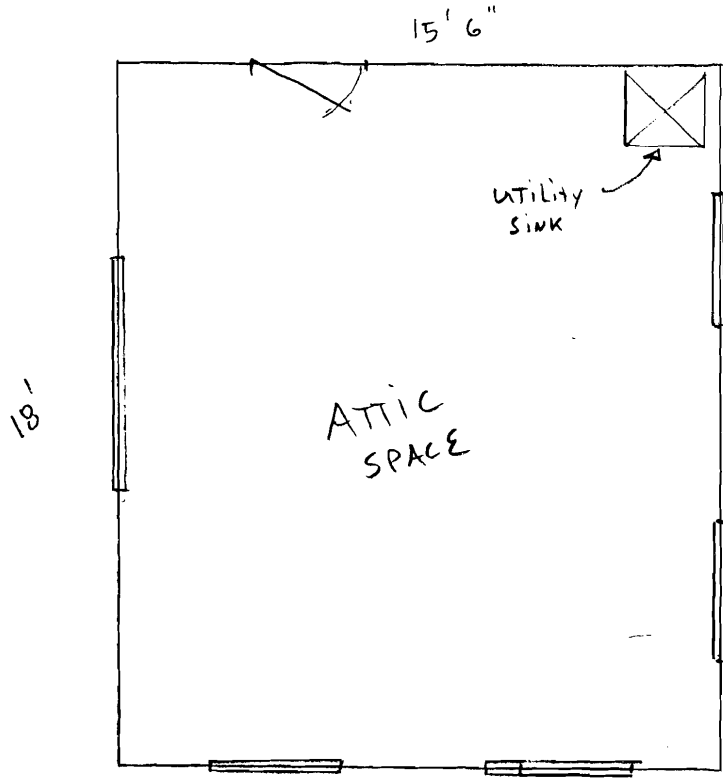
I am granting the exemption with the condition that all required building permits are obtained by the applicant.



Roof to be Designed by professional Engineer see ATTACHED SHEET

TACHA VOBUGH
 34 PACE ST
 PORTLAND, ME 04101
 775-1892

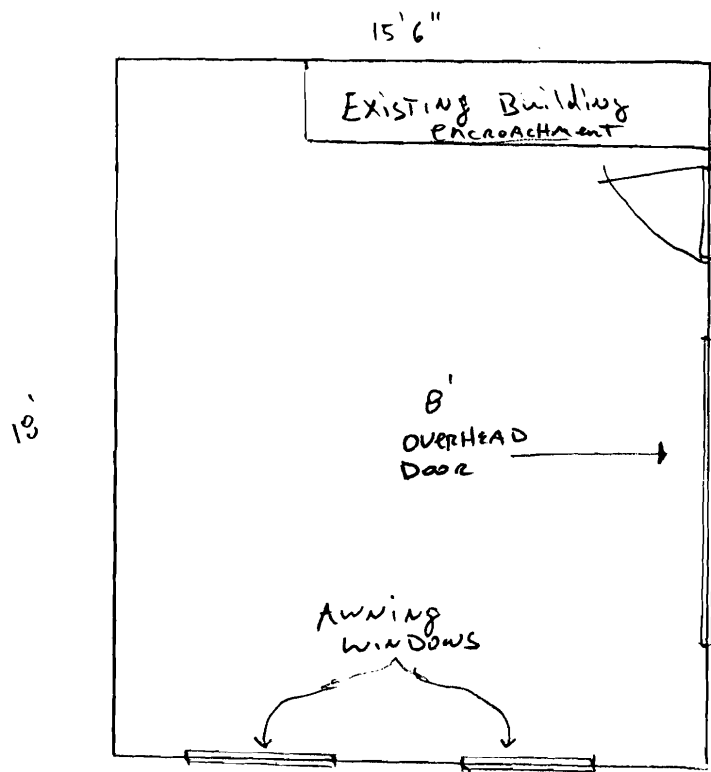
END VIEW



STORAGE ABOVE
GROUND LEVEL

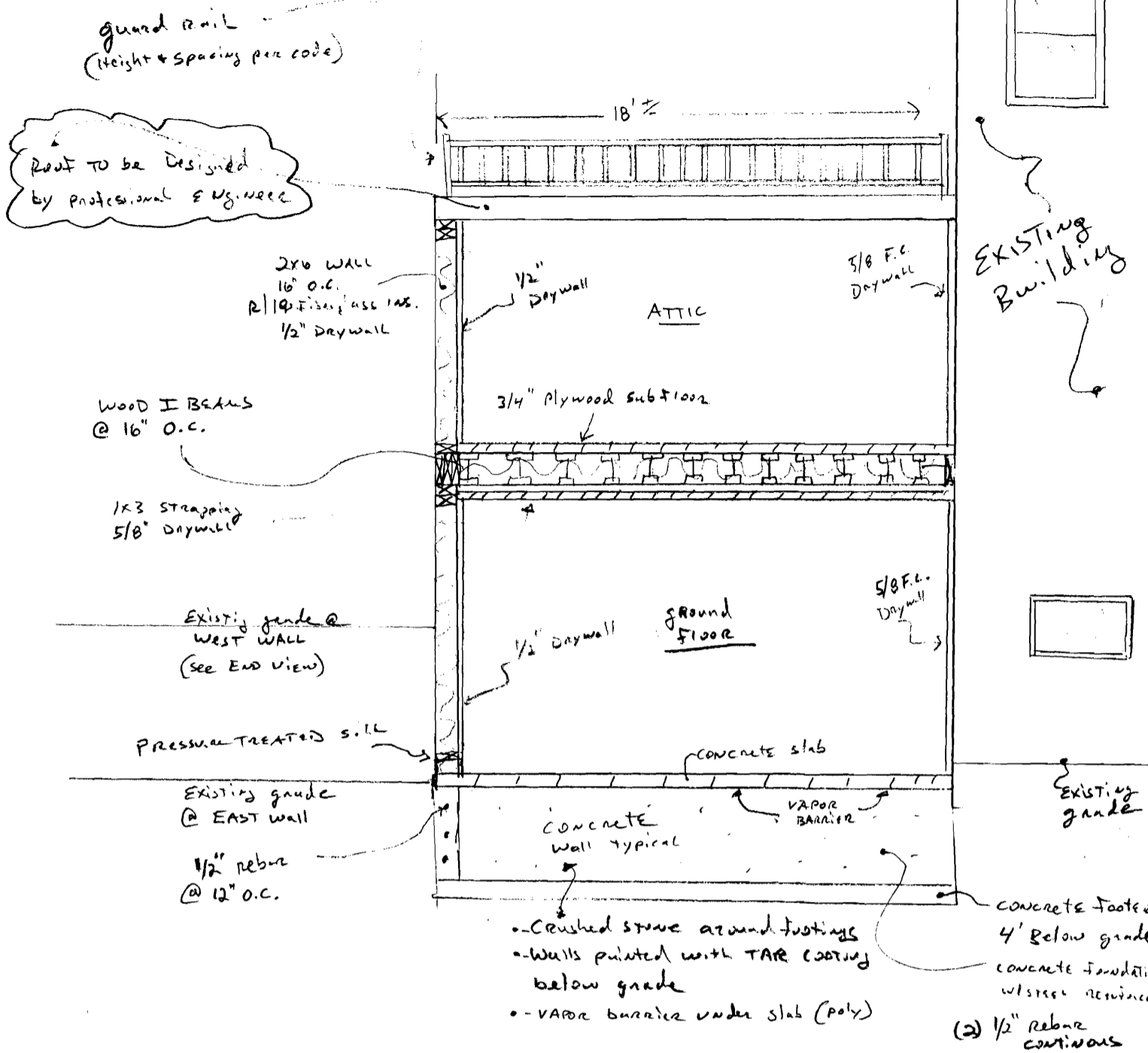
FLOOR
PLANS

34 PARK ST
ACCESSORY BLDG.



GROUND LEVEL

Tacha Vosburgh
34 PARK ST
Portland, ME 04101
775-1892

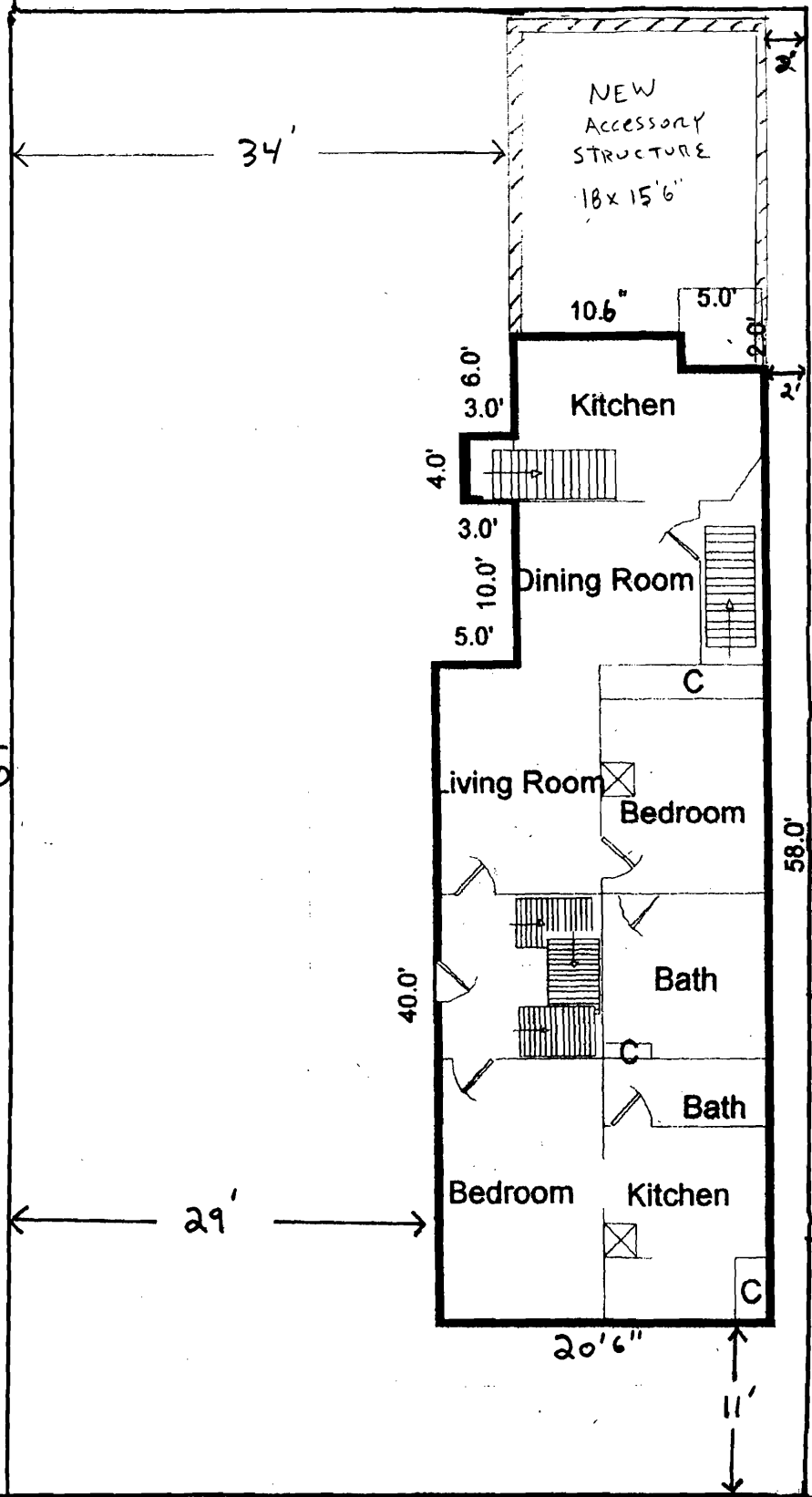


Tacha Kosburgh
34 PARK ST
PORTLAND, ME 04101
775-1892

SIDE VIEW

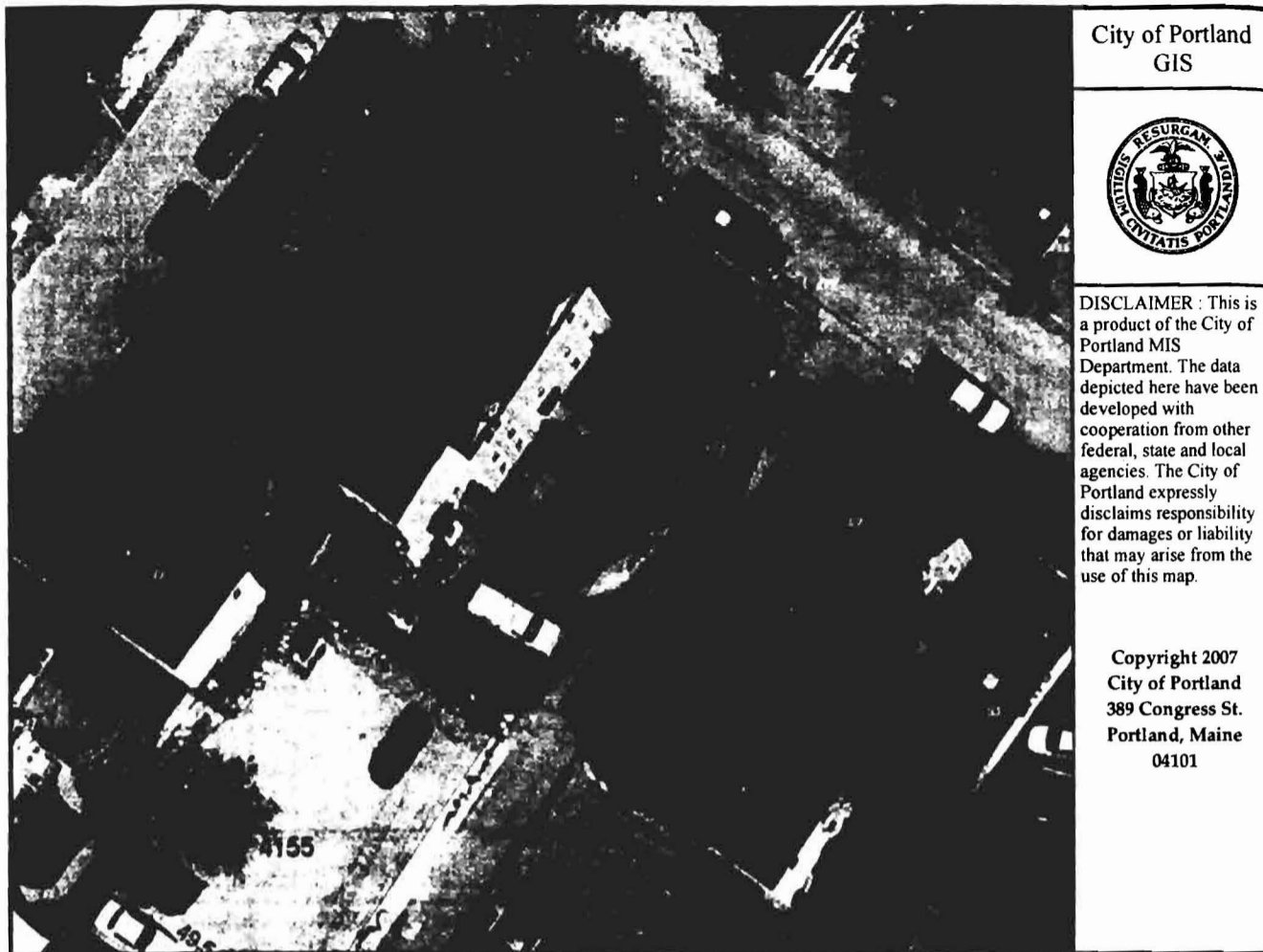
GUILFORD COURT

89'



PARK STREET





maybe legal - Marge to double check

14-436(b)

- Use of proposed addition
- Attic?

proposing
utility sink?
Home occupation?

- R6 zone
 - 4 units - legal?
 - 4,405 sq ft
 - addition - 20' x 15'
- = 300 sq ft

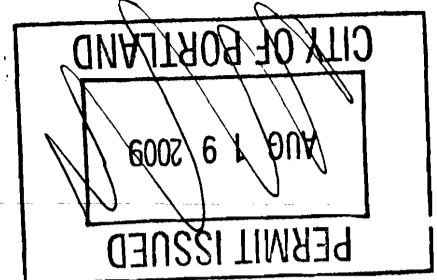
Marge will call for this issue

RECEIVED

AUG 19 2009

City of Portland
Planning Division

R



Marge Schmuckal
Zoning Administrator
City of Portland
207-874-8695

August 10, 2009

Re: 34 Park street accessory structure

Dear Marge,

The first floor of the accessory structure, on the ground level, will be used primarily for storage of garden tools, trash and recycling containers, lawn mower, paint supplies, etc. I will also have a workbench for repairs and maintenance of the property. This space will be unheated and have no plumbing. The space is not large enough to store a vehicle. The overhead door is for convenience, as well as light and air, as I use the space mainly during summer months.

The second level will be used as a workspace for sewing, sculpting, and projects that require more space than currently available in a small apartment. We also plan to have this space available in the future for an in home occupation should it become needed. We would apply for necessary permits for any in home occupation at that time. This room is accessible from an existing door located in the second floor hallway. I have attached a drawing showing the access to the second level from the existing back hall.

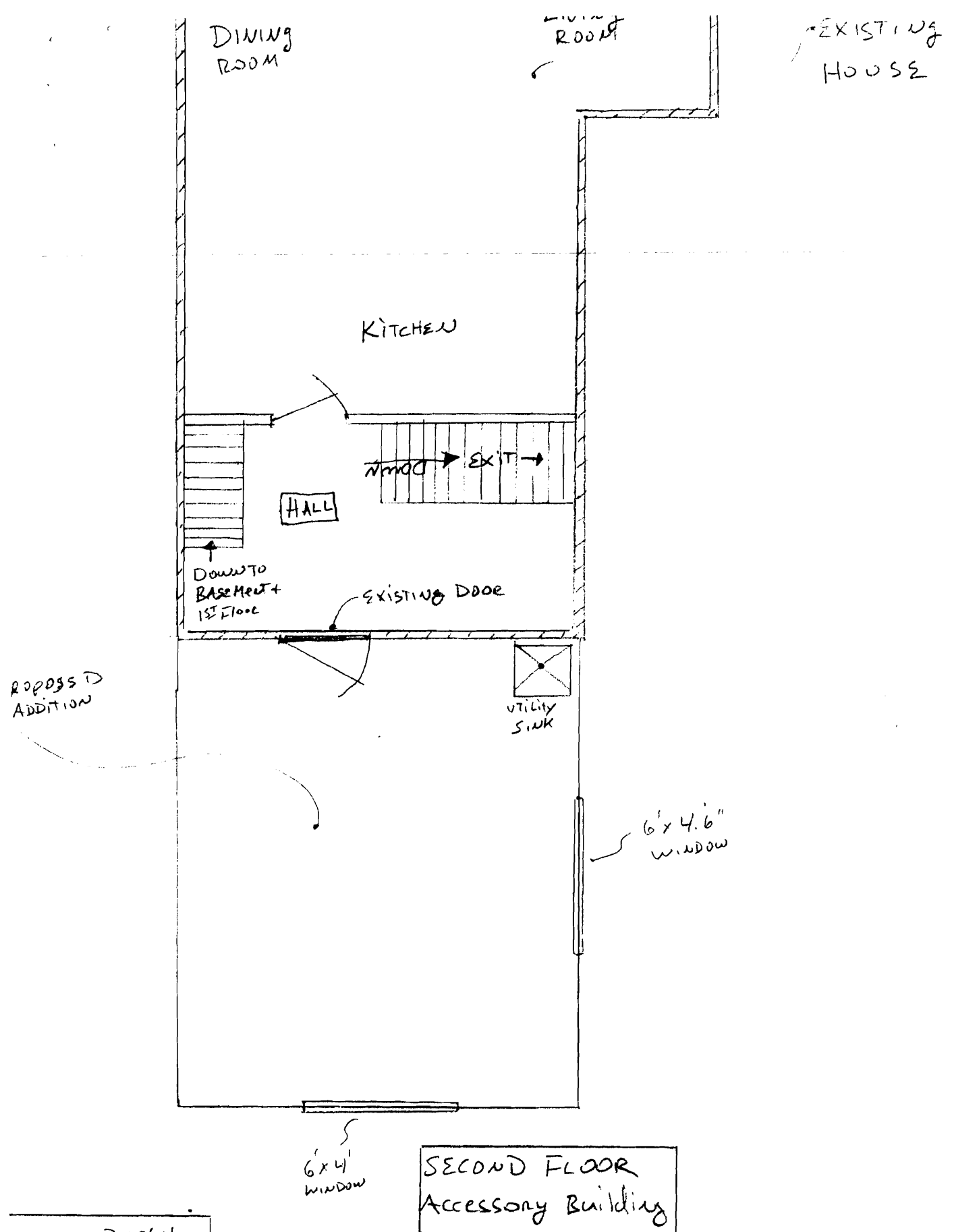
The roof of the building will serve as a deck to replace the existing deck that is to be removed. This will be accessible from an existing exterior door on the third floor.

I hope this addresses your concerns regarding the use of the new accessory structure. Please call me if you need more information. 775-1892 or 712-8090

Sincerely,

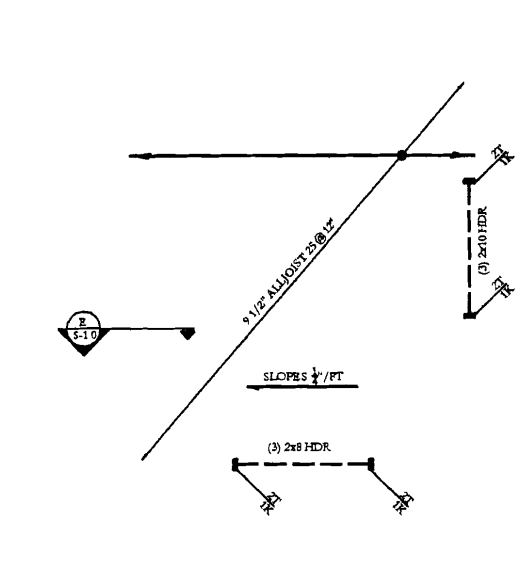
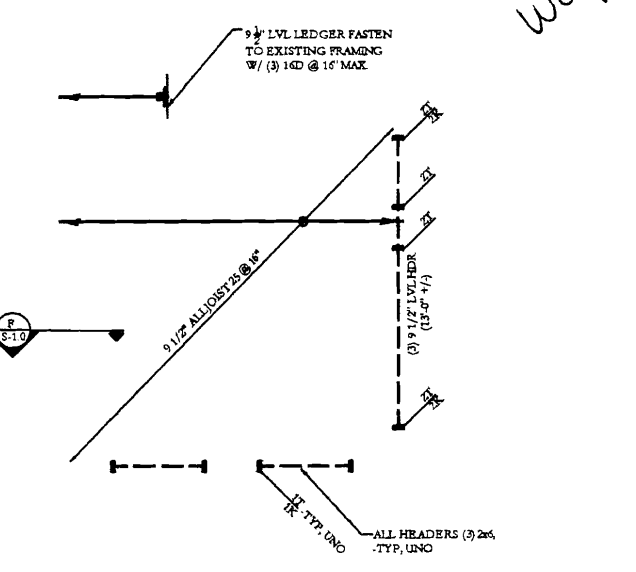
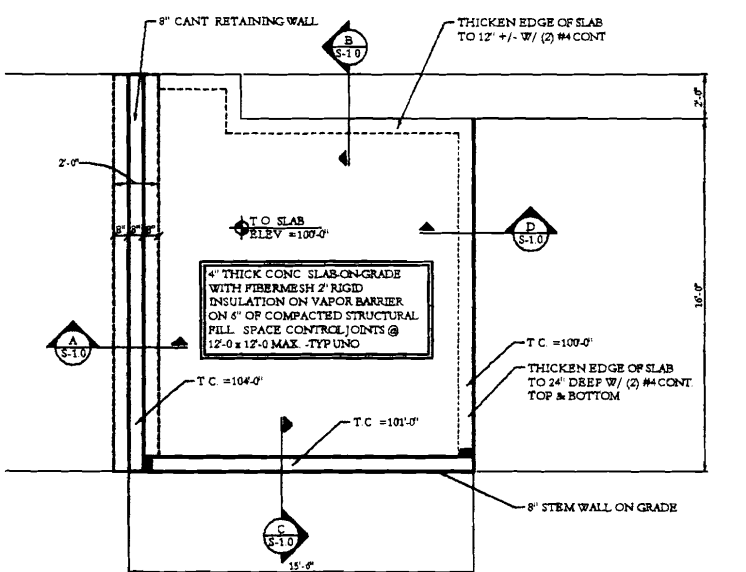
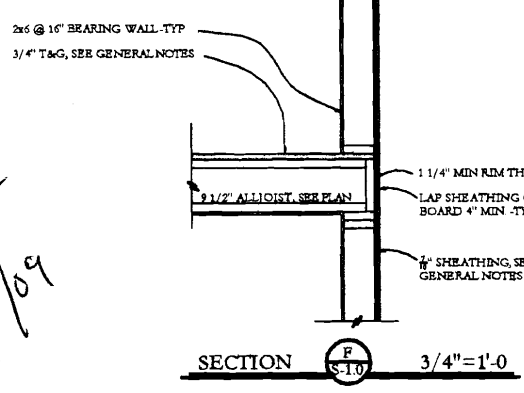
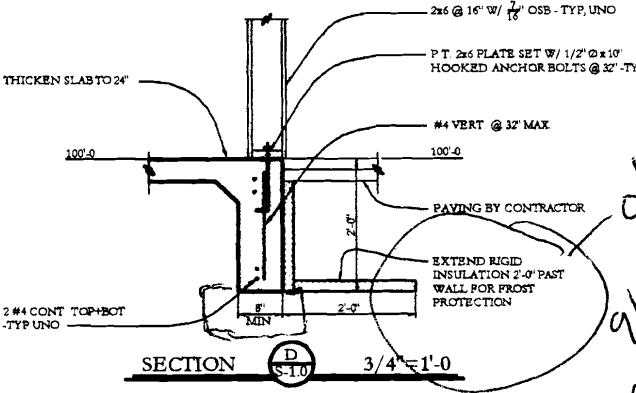
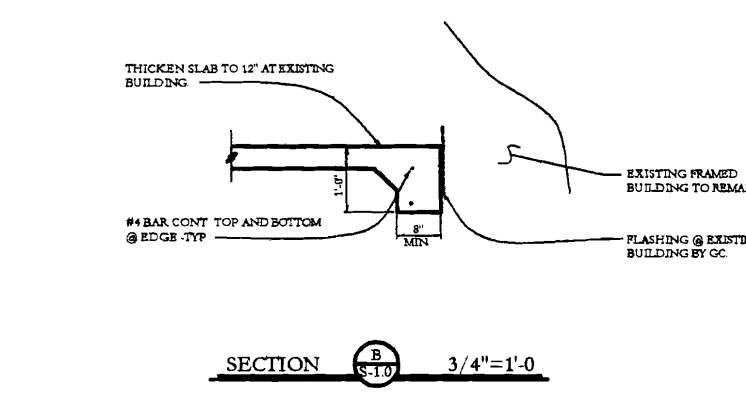
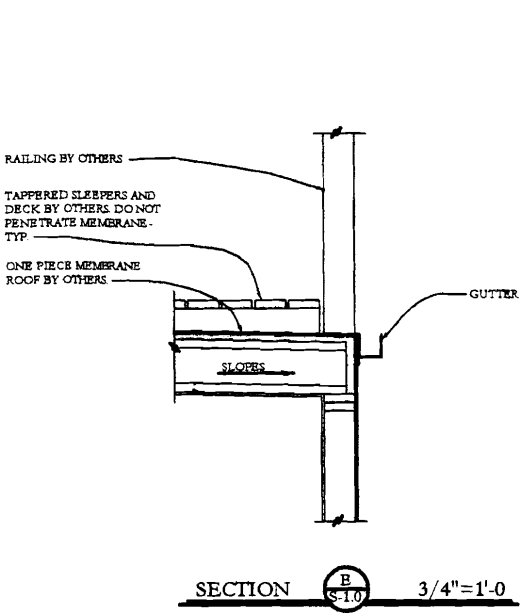
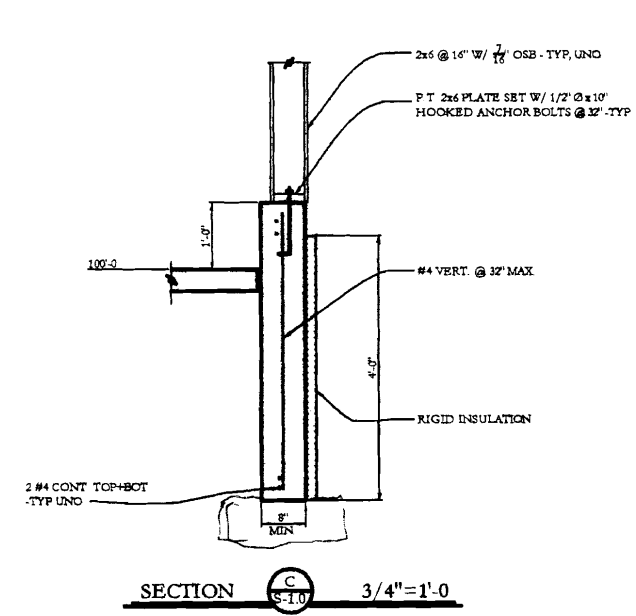
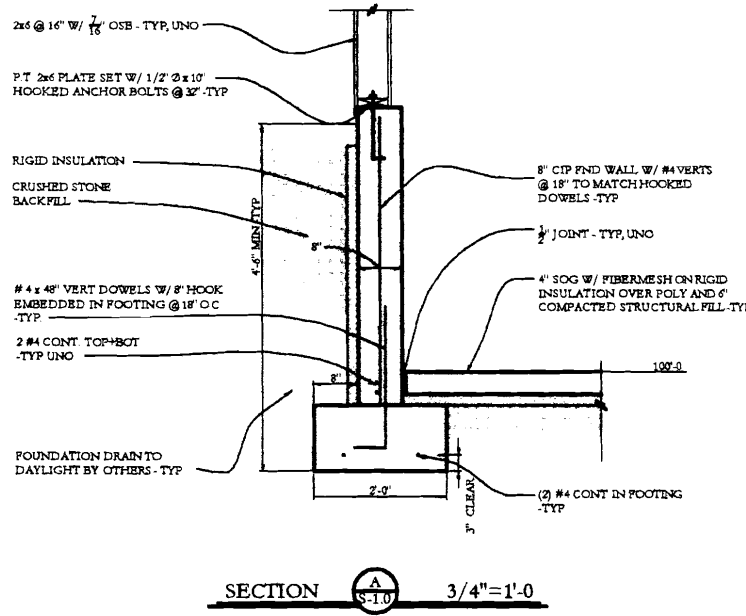
Wayne Barker

AUG 11 2009



ACHA VOSBURGH
 14 PARK ST.
 BRIDLAND, ME 04101
 775-1392

AUG 11 2009



FOUNDATION PLAN
SCALE 1/4"=1'-0"

NOTES
1. ALL WALLS ARE 8" W/ (2) #4 TOP AND BOTTOM UNO
2. STEP IN TOP OF FOUNDATION WALL IS INDICATED THUS ∇ , AND SHOWS LOWER SIDE OF WALL.

UPPER LEVEL FRAMING PLAN
SCALE 1/4"=1'-0"

NOTES
1. FLOOR DECK SHALL BE 3/4" T&G SHEATHING, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL WOOD COLUMNS IN 2x6 WALLS SHALL BE 3-2x6 AND IN 2x4 WALLS SHALL BE 3-2x4 UNLESS NOTED OTHERWISE ON PLANS
3. ALL FLOOR JOIST ARE 9" ALLJOIST 25 @ 16" UNO
4. ALL HEADERS ARE DROPPED UNLESS NOTED OTHERWISE
5. ALL HANGERS TO RECEIVE MAX NAILING-TYP
6. ALL HEADERS ARE (3) 2x6 UNO

ROOF FRAMING PLAN
SCALE 1/4"=1'-0"

NOTES
1. ROOF SHEATHING SHALL BE 5/8" OSB, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL WOOD COLUMNS IN 2x6 WALLS SHALL BE 3-2x6 AND IN 2x4 WALLS SHALL BE 3-2x4 UNLESS NOTED OTHERWISE ON PLANS
3. ALL WOOD HEADERS ARE DROPPED UNO
4. ALL HEADERS ARE 3-2x6 UNO
5. ALL RAFTERS SHALL BE 9" ALLJOIST 25 @ 12" UNO

SI Job # 09-0074
34 Park St
Portland, ME 04101

GENERAL STRUCTURAL NOTES

DESIGN LIVE LOADS: 2006 IBC, U.C.N.
• Snow: 50 psf and 100 psf
• Wind: 100 mph, exp B, 3 second gust
• Floor: 40 psf

FOUNDATION:
• Foundations are designed without an engineer's soil investigation. Foundation design criteria was assumed for purposes of foundation design.
• Footings shall be placed on undisturbed natural soil or compacted fill tested and approved by soils engineer.
• Maximum design soil pressure: 2,000 psf
• Minimum design soil pressure: 0 psf

CONCRETE AND REINFORCEMENT:
• Concrete shall conform to applicable provisions of ACI-301 and 318. Minimum 28 day compressive strength (F_c) as follows:
Footings: 3,500 psi w/ Fiber 4 to 6% air entrainment
Foundation Walls: 3,500 psi w/ Fiber 4 to 6% air entrainment
Interior Slabs: 3,500 psi w/ Fiber 4 to 6% air entrainment
• Cement Type: 1/11
• Deformed reinforcement: ASTM A615 grade 60, except bars specified to be field-bent, stirrups, and ties which shall be grade 40.
• Fiberglass: 100% virgin polypropylene, fibrillated fibers as manufactured by Fiberglass Co. per ASTM C-1116 type 111 A1.3 and ASTM C-1116 performance level on, 1.3 lbs. per cubic yard.
• Typical minimum foundation reinforcing: 2 #4 top and bottom, (except as noted) continuous at corners and steps.
• Reinforcement shall be fabricated and placed per ACI Manual of Standard Practice (ACI-315). At splices, lap bars 50 diameters unless noted otherwise.
• Minimum 2 #4 around all four sides of all openings, extend in 2'-0" beyond openings.
• Concrete cover over reinforcement: 1 1/2" for concrete placed against forms; 3" for concrete placed against earth. See also drawings.
• In continuous members, splice top bars at mid span and bottom bars over supports.
• Keep reinforcement clean and free of dirt, oil, and scale. Oil forms prior to placing reinforcement.

WOOD FRAMING:
• Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
• S-P-F #2 and better (Maximum Moisture Content 19%) U.C.N.
• Ply: S-P-F #2 and better (Maximum Moisture Content 19%) U.C.N.
• Plates: S-P-F #2 and better (Maximum Moisture Content 19%) U.C.N.
• "Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth. Sill plates in contact with masonry or concrete foundations, footings or slabs may be treated Timber Strand LSL (inc. borate treatment). Sill plate treatment may also be acceptable for sill plate applications when protected from weather.
• Acceptable treatment mediums for wood in contact with earth or in exterior applications include ACQ-C and ACQ-D (Alkaline Copper Quaternary) and copper azole (CBA-A and CBA-B).
• DO NOT USE WOODS WHICH HAVE BEEN TREATED WITH AMMONIA BASED CARRIERS.
• All connectors shall meet the minimum dimensions of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized meeting requirements of ASTM A653, such as Simpson ZMAX (G185). All screws, nails and bolts shall match hangers and other connectors, and shall meet ASTM A123 for individual connectors, and ASTM A153 for fasteners.
• For durability, it is our recommendation that connectors used in exposed conditions with treated lumber be stainless steel.
• Do not mix galvanized and stainless products.
• Do not allow aluminum to contact treated wood.

Top and Bottom Plates S-P-F
S-P-F Stud U.C.N. 2 x 4 and 2 x 6 to 8'-0" stud grade
2 x 4 over 8'-0" standard and better
2 x 6 over 8'-0" No. 2 and better

Floor Joist: 9" x 12" AIS 25
Rafter: 9" x 12" AIS 25

Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide Microlam (ML) by Trex Joist or equivalent
F_b=2,600 psi, E=1,900,000 psi, F_v=285 psi, depth noted on plans

Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide Microlam (ML) by Trex Joist or equivalent
F_b=2,600 psi, E=1,900,000 psi, F_v=285 psi, depth noted on plans

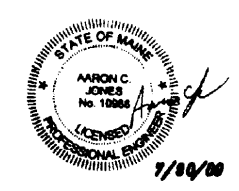
LSL (Rim) (min 1 1/4" depth) Manufactured Laminated Lumber by Trex Joist. No submittals.
• All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
• Roof sheathing: nominal 3/4" APA Stud-Lokor 72" tongue & groove gird and nailed
• Roof sheathing: maximum 5/8" CDX plywood or 19/32" OSB, APA 40/20, nailed
• Wall sheathing: 1/2" CDX plywood or 7/16" OSB, APA 24/16, blocked and nailed.
• All exterior stud walls shall be braced with one sheet of plywood or OSB at corners and not more than 25 feet o.c. along walls. Additional requirements noted on drawings.
• Nail wall sheathing with 8d common at 4" o.c. at panel edges, and 12" o.c. intermediate framing UNO BLOCK AND NAIL ALL EDGES BETWEEN STUDS. Sheathing shall be continuous from bottom plate to top plate cut in "L" and "T" shapes around openings. Lap sheathing over 6m joints run 4" at all floors to be upper and lower end walls together. Minimum height of sheathing panels shall be 16" to assure that panels are tied to studs. Use minimum 3-8d per stud and nail plates with edge nail spacing.
• Sole plate at all perimeter walls and at designated shear walls shall be nailed as for braced panels with 3-16d x 3 1/2" long box nails (counted or deformed shank) per 16" 12d nails are not acceptable.
• Ends stud at each door jamb, at all exterior corners, and at ends of OSB sheathed wall sections shall have one H4 anchor to the sole plate.

SHEATH ALL EXTERIOR WALLS

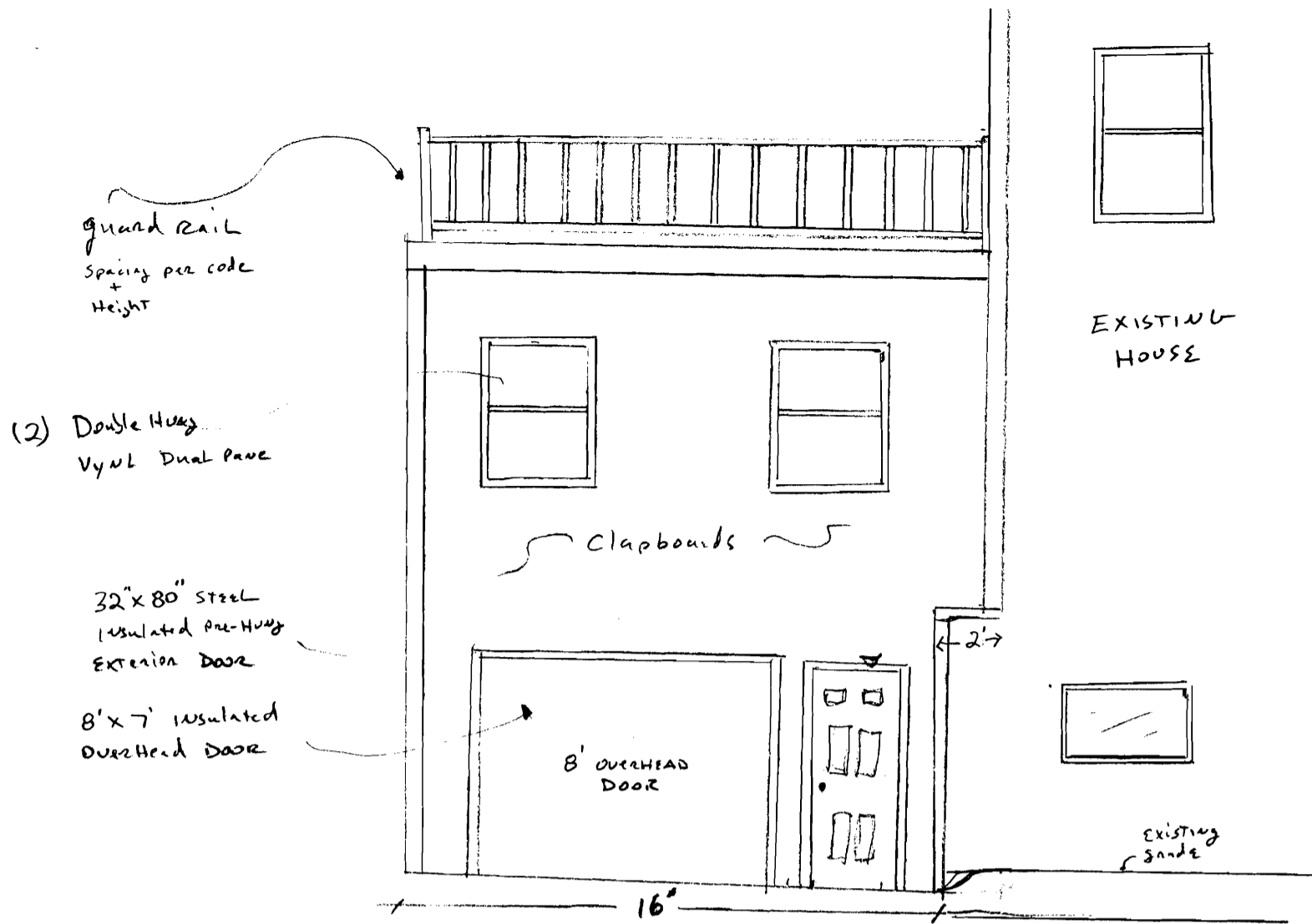
Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.
• All roof rafters, joists, trusses, beams shall be anchored to supports with metal framing anchors.
• Provide continuous wall studs each side of wall openings equal to one half or greater of number of studs interrupted by opening.
• All wall studs shall be continuous from floor to floor or from floor to roof.
• Cross bracing all dimension lumber roof and floor joists at midspan and provide solid blocking or air joints at all joint supports and joint ends. See applicable code and manufacturer's recommendations for blocking.
• All prefabricated plywood Web I-type joists shall be installed per the manufacturer's recommendations. Do not cut or notch chords in any manner. Holes in webs shall not exceed manufacturer's published limit criteria.
• Metal connectors Simpson Strong-Tie unless otherwise noted, installed with nailing and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special nailing.
• Lead hole for lag bolts shall be 60% to 70% of lag shank diameter in compliance with AISC criteria.

STRUCTURAL SECTION AND BRACING REQUIREMENTS

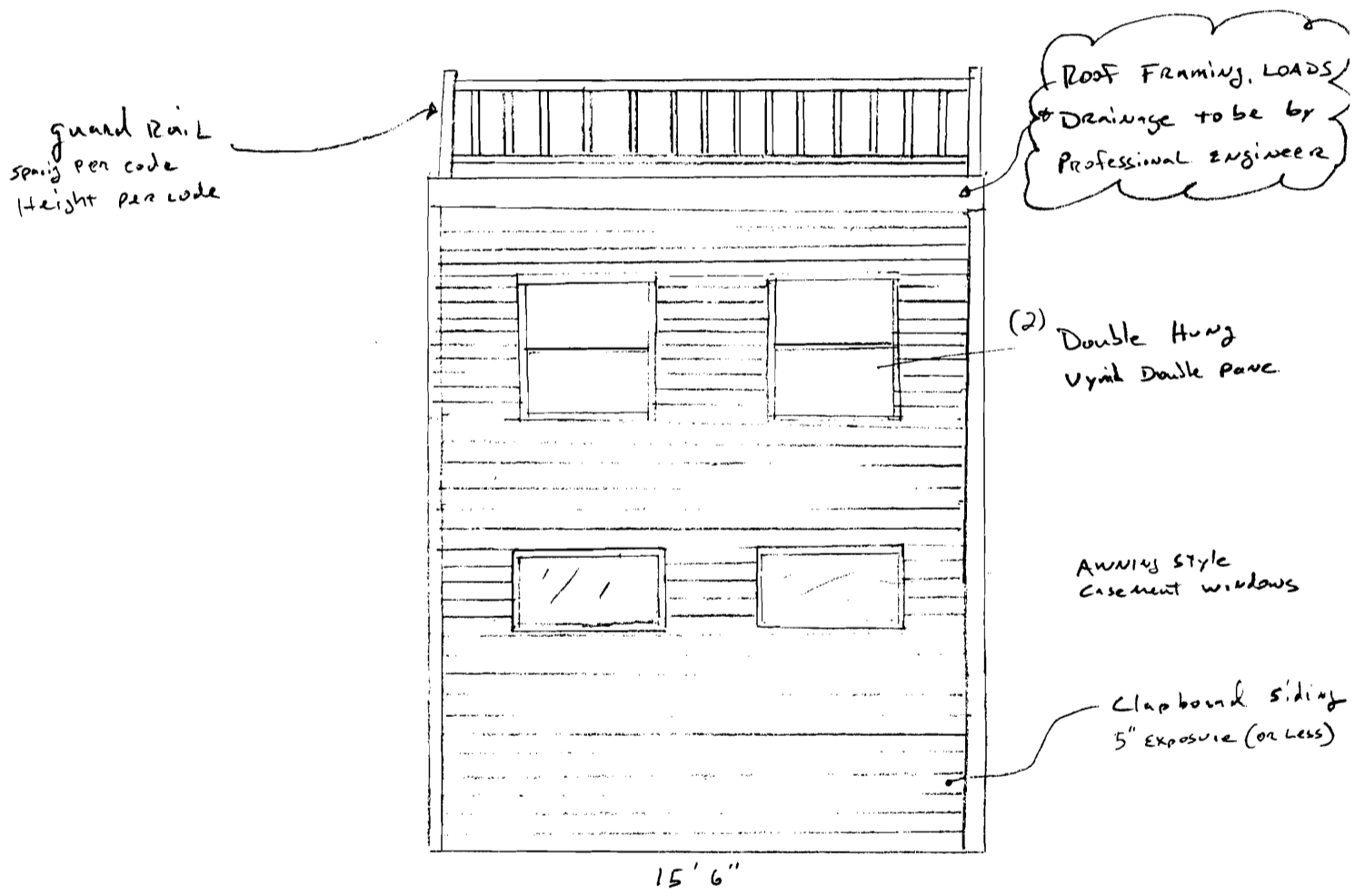
• The structural drawings show the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
• These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at ANY OTHER building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
• Observations of foundation reinforcing or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.
• All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise.



REVISIONS: Addition, 34 Park St, PLANS & DETAILS, ETC. S-1



SIDE VIEW
Facing WEST



END VIEW

Tasha Kosbungh
34 PARK ST
PORTLAND, ME 04101
775-1892