

Jean Fraser - 133 York St

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**From:** Erin Foley <efoley19@aol.com>  
**To:** Jean Fraser <JF@portlandmaine.gov>  
**Date:** 10/22/2013 4:47 PM  
**Subject:** 133 York St

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McCormick Place  
parking spaces  
are 42" from the  
edge of the existing  
building on 133 York

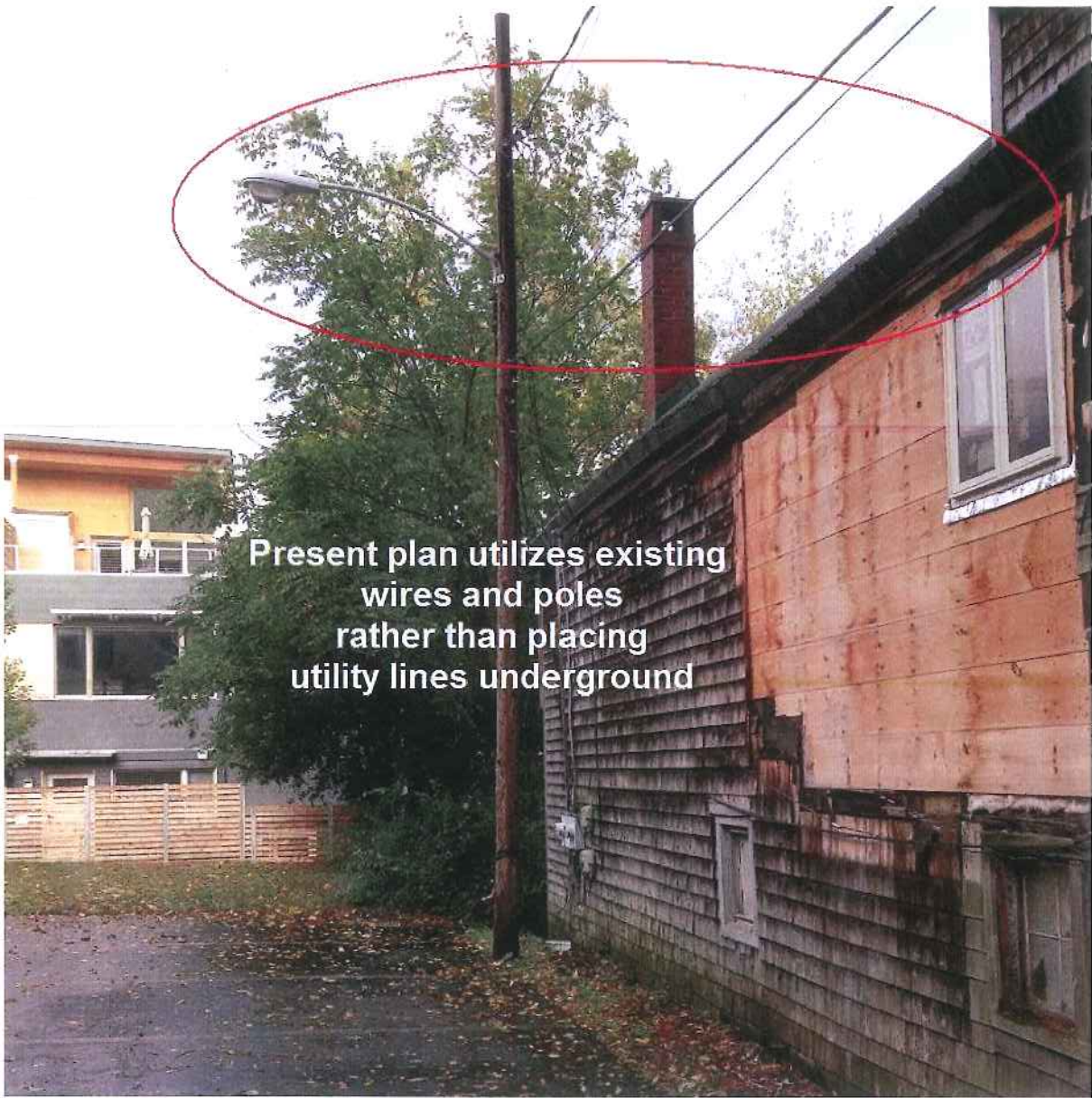
Photo to the right is an  
enlargement of the photo  
above showing the  
distance between the  
existing building and the  
cars parked in the  
McCormick Place  
parking lot





*Flat Roofed  
Buildings  
in Surrounding  
Neighborhood  
Shown Above*

*Proposed  
Building for  
133 York St  
to the Left*



**Present plan utilizes existing  
wires and poles  
rather than placing  
utility lines underground**



Jean, Thank you very much for taking time to meet with me, it was very informative and gave me some direction as to where to focus my concerns with this project.

As far as the project at 133 York Street I would like to bring up the following concerns:

1. The trees. Multiple trees stand on the property line. I would like to see an official landscape survey to see all trees on the property and determine ownership. If trees are shared, will the developers be required to replace them on our property if they are removed.

Site Plan standards. 2. landscaping and landscape preservation

a. landscape preservation (i) Site development shall be designed to incorporate and limit disturbance to or removal of existing trees.

2. This building does not fit in with the feel of the neighborhood. According to R-6 Design principles and Standards " A building design shall contribute to and be compatible with the predominant character-defining architectural features of the neighborhood" "they have a public responsibility to add to and enhance the neighborhoods in which their projects are built." This building is less than 100 feet from the historic district and within the West End. Most homes within the neighborhood maintain historic qualities or make an effort to blend in with the feel of the neighborhood. See image 2 .

Is there a reason for the teal stripe, could this possibly be a different shade of gray instead of teal. There are no other properties in the neighborhood that include teal as part of their color choices.

Also, is there architectural significance to the height of the building being 2 different heights?

3. According to the city Site Plan standards "1. b. The bulk, location or height of proposed buildings and structure shall minimize, to the extent feasible, any substantial **DIMINUTION** in the value or utility to neighboring structure. under different ownership and not subject

to a legal servitude in favor of the site being developed"

This related to our parking spaces, where due to safety reasons, I believe we will not be able to use the 5 spots abutting the construction site. Currently there is less than 4 ft from our parking lot to their property. See image 1.

Parking spaces in the West End average \$80/month for open air parking.

The height of this building will impact water views for 3 units at McCormick Place. I recently had my home reappraised and the water view is taken into account when determining the value of my home.

4. The current retaining wall on their property is in grave disrepair, what are the plans for preventing erosion during construction. City code requires "erosion control measures shall be taken both during and after construction in accordance with the standards of the public works" Our parking lot already has areas of erosion under the asphalt.

5. The rear of the building has no privacy from our property, a few trees but no real plan for landscaping the rear of the building. Is there a possibility for a fence or shrubbery to provide a separation of the properties.

6. The city requires space for delivery trucks to deliver and turn around on the property. I do not believe there is enough space for delivery trucks to turn around. This leaves trucks backing up onto York Street or worse parking on the side of York Street.

Sec 14-526 Site plan Standards (a)Transportation. 2.b. Loading and Servicing

All developments served by delivery or other service vehicles shall provide a clear route and travel way geometric design that permits safe turning and backing for the maximum vehicle length that would service the development and does not impede site access, vehicle circulation, pedestrian movements or parking.

7. Along the lines of turning radius, how will a snow plow be able to move and remove snow from this property?

8. We are concerned about the electrical lines that run to this property. Is there any plan to update the electrical lines or bury them? Currently they run from the opposite side of Park St through multiple trees to a telephone pole. From the pole they precariously run to the building. 3. Availability and adequate Capacity of public utilities. b. Electrical services shall be underground unless otherwise specified for industrial uses, or if it is determined to be unfeasible due to extreme cost.

See image 3 and 4.

Thank you for your time,

Erin Foley

McCormick Place Condo President