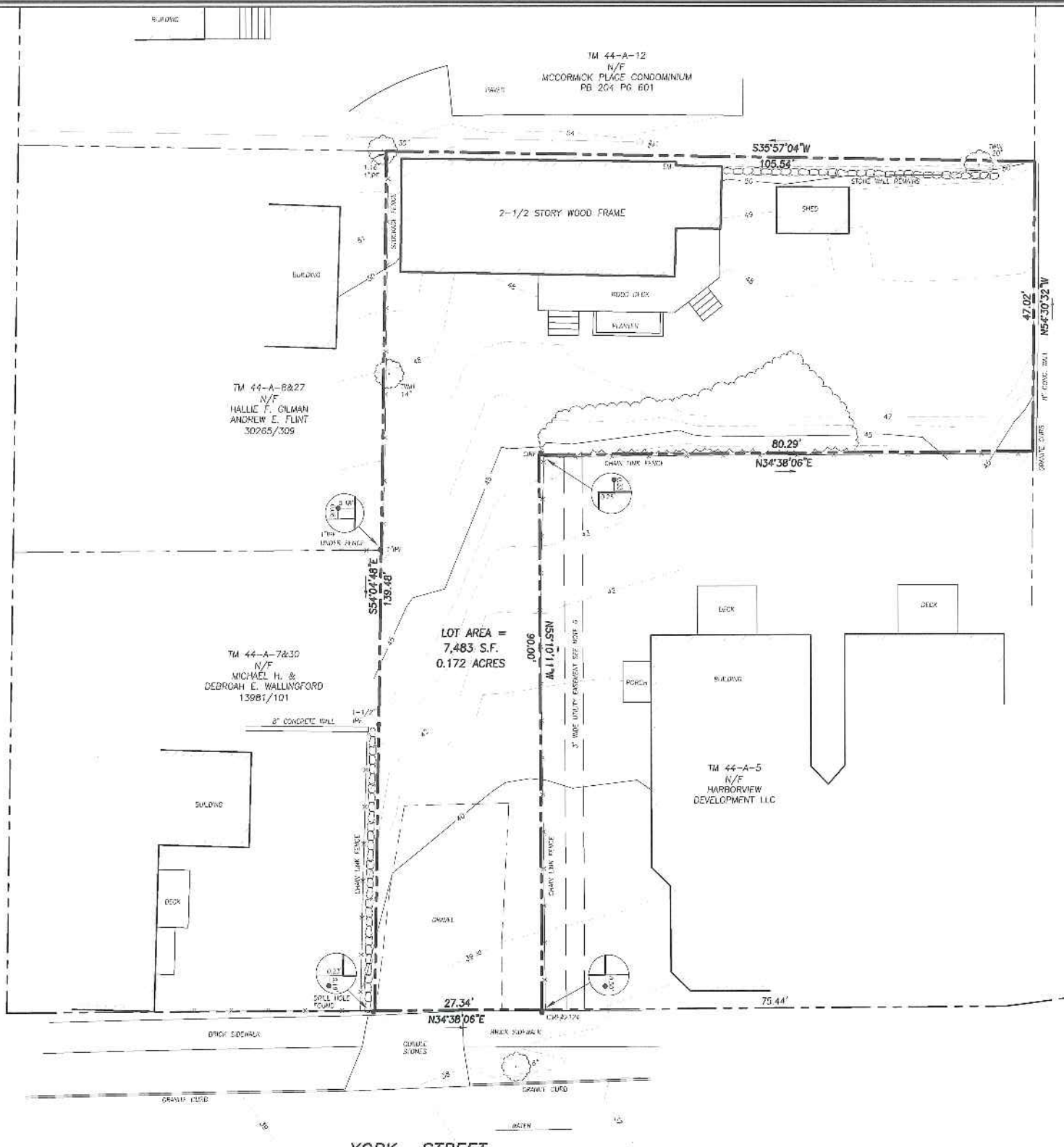


LOCATION MAP
N.T.S.

- LEGEND**
- IRON PIPE OR ROD FOUND
 - UTILITY POLE
 - MANHOLE
 - DECIDUOUS TREE
 - FENCE
 - STONE WALL
 - CURB
 - OVERHEAD WIRES
 - 1' CONTOUR

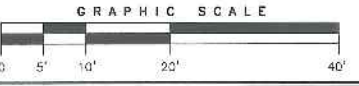


PLAN REFERENCES

1. "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR NATIONAL MORTGAGE COMPANY" NORTHEAST LAND TITLE COMPANY DATED MARCH 13, 1986 BY H.L. & E.G. JOHNSON-SURVEYORS.
2. "STANDARD BOUNDARY SURVEY ON YORK STREET IN PORTLAND, MAINE MADE FOR MRS. GEORGE L. NICHOLS" DATED MARY 6, 1989 BY OWEN HASKELL, INC.
3. "CONDOMINIUM PLAN 'MCCORMICK PLACE' IN PORTLAND, MAINE FOR SWAN PROPERTIES, LLC" DATED JULY 2004 BY DANIEL T.C. LAPORTE.
4. "PLAN DEPICTING THE RESULTS OF A BOUNDARY SURVEY MADE FOR HARBORVIEW DEVELOPMENT LLC, NORTHWESTERLY SIDE OF YORK STREET, PORTLAND, MAINE" DATED DEC. 6, 2011 BY JAMES MADCAU, LLC.

NOTES

1. OWNER OF RECORD: N/F ERIK R. & SARIYA EDWARDS, C.C.I.D. BOOK 29688 PAGE 223.
2. BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE NAD83, CITY CONTROL POINTS USED: T124-27-1281 AND T124-27-1282. N 298095.49 E 2926500.42 N 297384.67 E 2926033.77
3. ELEVATIONS BASED ON CITY DATUM, 'M' MONUMENT AT THE CORNER OF YORK AND HIGH STREETS, ELEVATION 31.39.
4. PROPERTY IS LOCATED IN THE CITY OF PORTLAND R6 ZONE.
5. PROPERTY IS SHOWN AS LOTS 29 AND 31 ON CITY OF PORTLAND ASSESSORS MAP 44, BLOCK 1.
6. SEE ORD BOOK 17445 PAGE 98 FOR UTILITY EASEMENT LOCATION.



CERTIFICATE
OWEN HASKELL, INC. CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' CURRENT STANDARDS OF PRACTICE.

DATE _____ JOHN W. SWAN, PLS NO. 1038

BOUNDARY & TOPOGRAPHIC SURVEY
AT
133 YORK STREET, PORTLAND, MAINE
MADE FOR
JOE FLYNN REAL ESTATE

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	RS	Date	Job No.
Trace By	JLW	MARCH 12, 2013	2013-026P
Check By	JWS	Scale	Drwg. No.
Book No.	FILE	1" = 10'	1

PLAN 2

ZONE INFORMATION

ZONE: R-6, RESIDENTIAL
PERMITTED USE: MULTI-FAMILY DWELLING

SPACE STANDARDS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	3,200 SQ. FT. ①	7,483 SQ. FT.
MINIMUM AREA PER DWELLING UNIT	1,000/1,200 SQ. FT. ②	1,483 SQ. FT.
MINIMUM STREET FRONTAGE	40 FEET	273 FEET
MINIMUM FRONT YARD	10 FEET	107 FEET
MINIMUM REAR YARD	5 FEET ①	5 FEET
MINIMUM SIDE YARD	5 FEET ①	5 FEET
MAXIMUM LOT COVERAGE	50%	31%
MINIMUM LOT WIDTH	40 FEET	105 FEET
MAXIMUM BUILDING HEIGHT	45 FEET	41 FEET
OPEN SPACE RATIO	20%	23.5%
OFF STREET PARKING	1 SPACE PER UNIT	1 PER UNIT

① PER SECTION 14-433
② EXISTING STRUCTURE: 1,000 SQ. FT. PER DWELLING UNIT
BLDG ADDITIONS/NEW CONSTRUCTION: 1,200 SQ. FT. FOR EACH DWELLING UNIT AFTER THE FIRST 3 UNITS. 5,600 REQUIRED

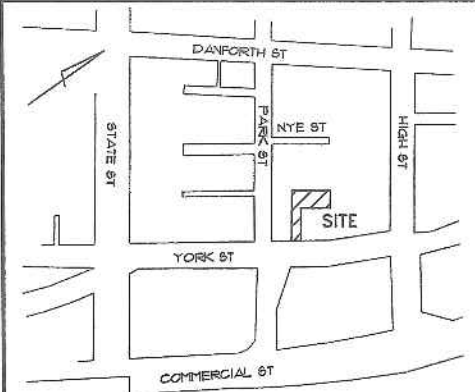
GENERAL NOTES

- OWNER/DEVELOPER: 133 YORK LLC, 110 MARGINAL WAY, SUITE 292, PORTLAND MAINE 04102. DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BK 30885, PG. 10, DATE JULY 22, 2013.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
- TOPOGRAPHIC AND BOUNDARY INFORMATION: OWEN HASKELL, INC. 350 US ROUTE ONE, FALMOUTH, MAINE. BENCHMARK: CITY DATUM, "M" MONUMENT AT THE CORNER OF YORK AND HIGH STREETS, ELEVATION 313.5.
- SOILS MAPPING TAKEN FROM SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY AND CLASSIFIED AS HINCKLEY (H15), GENERALLY SANDY LOAM, 3-6% SLOPES, HYDROLOGICAL GROUP "A".
- ZONE: R-6, RESIDENTIAL
PROPOSED USE: MULTIFAMILY DWELLING
- TAX MAP REFERENCE: MAP 44 / BLOCK A / LOTS 29 & 31
- TOTAL PARCEL = 0.112 acres
- CALL DIG-SAFE PRIOR TO COMMENCING WORK, 1-800-DIG-SAFE.
- BUILDING SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
- LOTS TO BE SERVICED BY PUBLIC WATER AND SEWER.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD IN THEIR CURRENT LOCATION FROM AN EXISTING POLE.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.
- THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DE MINIMIS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.

DRAWINGS INCLUDED IN THIS SUBMITTAL

CU	SITE PLAN	1	BOUNDARY & TOPOGRAPHIC SURVEY
C12	EXISTING CONDITIONS AND DEMOLITION PLAN	A-201	FLOOR PLAN - BASEMENT
C13	GRADING AND UTILITIES PLAN	A-202	FLOOR PLAN - 1
C14	EROSION CONTROL AND LANDSCAPE PLAN	A-203	FLOOR PLAN - 2
C15	NEIGHBORHOOD PLAN	A-204	FLOOR PLAN - 3
C21	DETAILS	A-205	FLOOR PLAN - 4
C22	DETAILS	A-206	ELEVATIONS - 1
C23	DETAILS	A-207	ELEVATIONS - 2
C24	TREE FILTER GENERAL DESIGN	A-208	ELEVATIONS - 3
D11	DRAINAGE ANALYSIS	A-209	ELEVATIONS - 4

THESE SIX (6) UNITS CREATE A SUBDIVISION. THE CITY REVIEW IS FOR SITE AND SUBDIVISION APPROVAL.



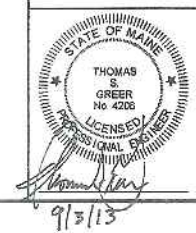
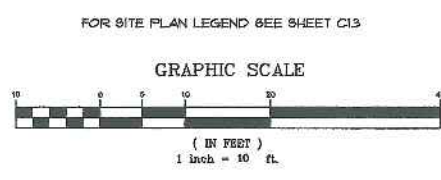
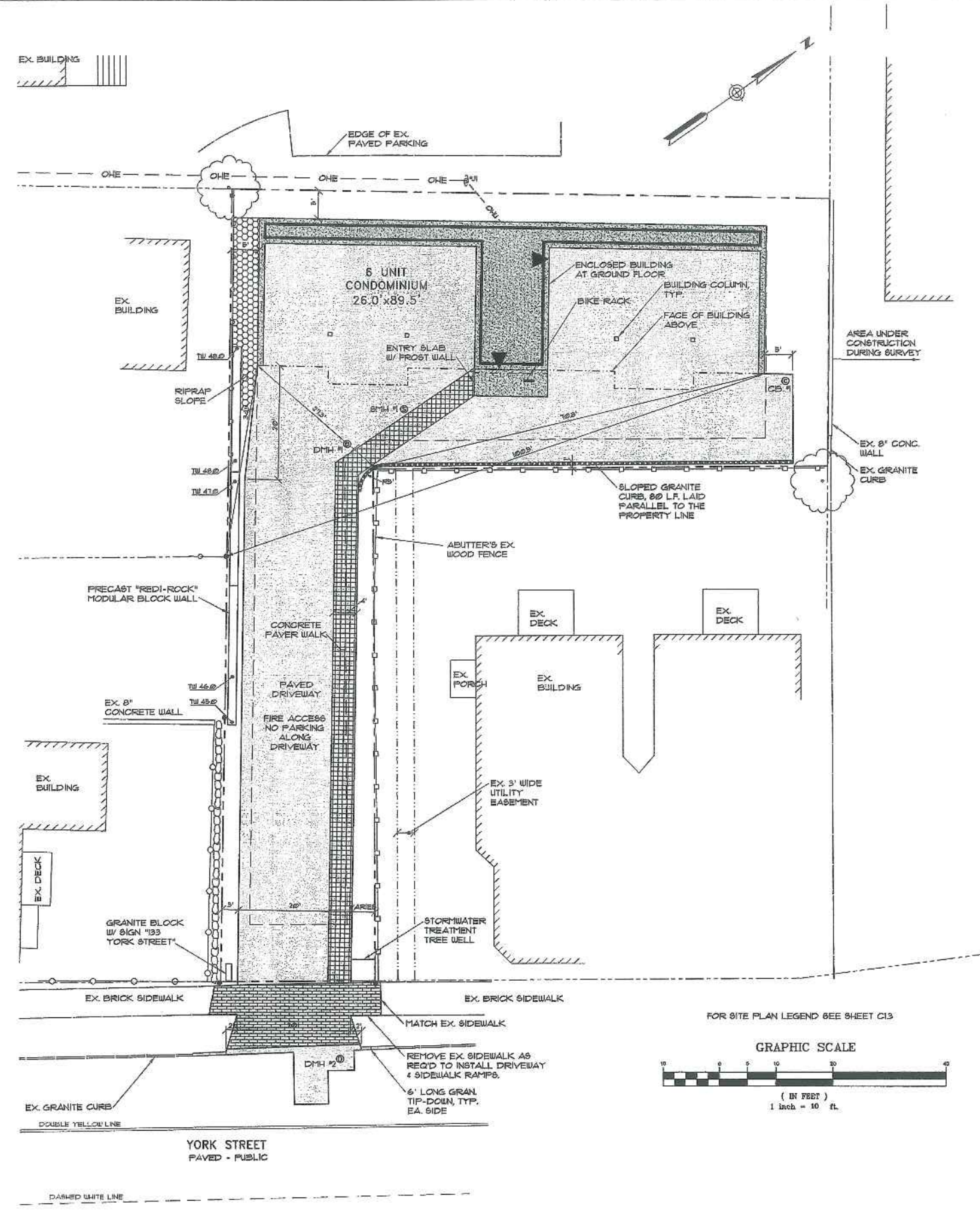
LOCATION PLAN
SCALE: 1"=250'±

**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE OVER-HEAD.
- SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP-DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
- SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

SITE PLAN AND SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____



REV.	DATE	DESCRIPTION
1	9/3/13	REV'D PER STAFF REVIEW COMMENTS

133 YORK, LLC
110 MARGINAL WAY, SUITE 292
PORTLAND, MAINE

133 YORK STREET
YORK STREET, PORTLAND MAINE

PINKHAM & GREER
CONSULTING ENGINEERS
28 VANNAH AVENUE
PORTLAND, MAINE

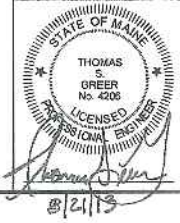
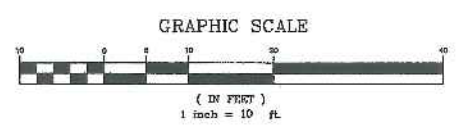
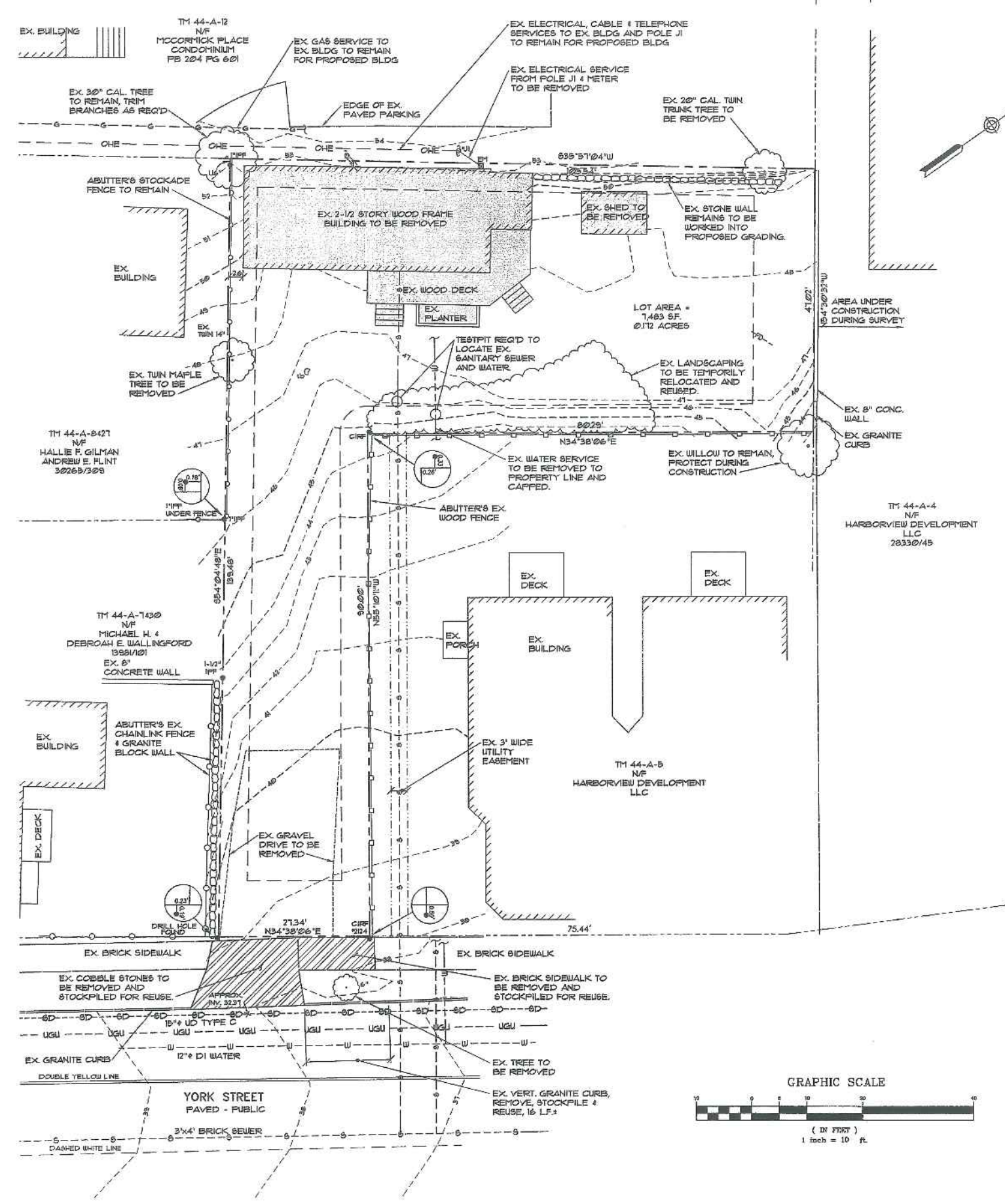
SITE PLAN MAP 44/BLOCK A/LOTS 29 & 31

SCALE: AS SHOWN DRN BY: JDC
DATE: JULY 24, 2013 DESC BY: TSG
PROJECT: 13105 CHK BY: TSG

C1.1

9/3/13

PLAN 3



REV.	DATE	DESCRIPTION
1	8/21/13	EX. TREE TO REMAIN PER CITY REVIEW

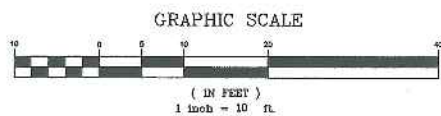
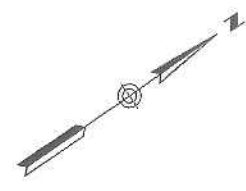
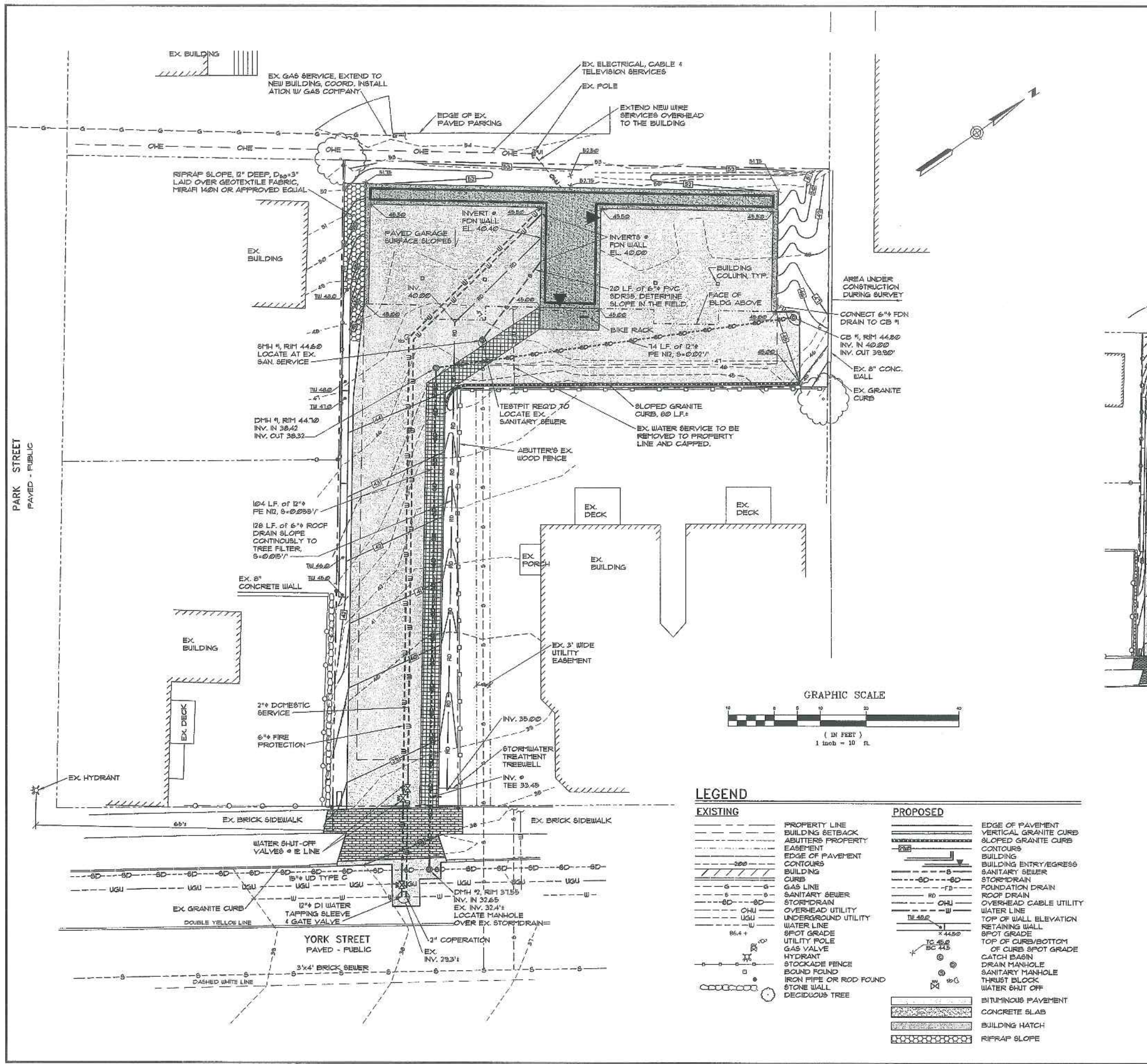
133 YORK, LLC
 110 MARGINAL WAY, SUITE 292
 PORTLAND, MAINE

133 YORK STREET
 YORK STREET, PORTLAND MAINE
EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS SHOWN DRN BY: JDC
 DATE: JULY 24, 2013 DESG BY: TSG
 PROJECT: 13105 CHK BY: TSG

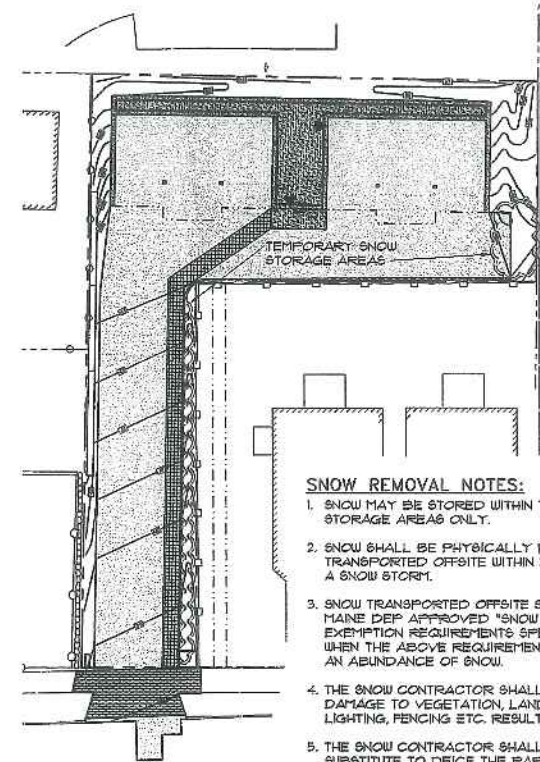
C1.2

PLAN 4



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- EDGE OF PAVEMENT
--- BUILDING SETBACK	--- VERTICAL GRANITE CURB
--- ABUTTER'S PROPERTY EASEMENT	--- SLOPED GRANITE CURB
--- EASEMENT	--- CONTOURS
--- BUILDING	--- BUILDING ENTRY/EGRESS
--- BUILDING SETBACK	--- SANITARY SEWER
--- CURB	--- STORM DRAIN
--- GAS LINE	--- FOUNDATION DRAIN
--- SANITARY SEWER	--- ROOF DRAIN
--- STORM DRAIN	--- OVERHEAD CABLE UTILITY
--- OVERHEAD UTILITY	--- WATER LINE
--- UNDERGROUND UTILITY	--- RETAINING WALL
--- WATER LINE	--- SPOT GRADE
--- SPOT GRADE	--- UTILITY POLE
--- UTILITY POLE	--- GAS VALVE
--- GAS VALVE	--- HYDRANT
--- HYDRANT	--- STOCKADE FENCE
--- STOCKADE FENCE	--- BOUND FOUND
--- BOUND FOUND	--- IRON PIPE OR ROD FOUND
--- IRON PIPE OR ROD FOUND	--- STONE WALL
--- STONE WALL	--- DECIDUOUS TREE
--- DECIDUOUS TREE	



- SNOW REMOVAL NOTES:**
1. SNOW MAY BE STORED WITHIN THE TEMPORARY SNOW STORAGE AREAS ONLY.
 2. SNOW SHALL BE PHYSICALLY REMOVED AND TRANSPORTED OFFSITE WITHIN 24 TO 48 HOURS FOLLOWING A SNOW STORM.
 3. SNOW TRANSPORTED OFFSITE SHALL BE BROUGHT TO A MAINE DEP APPROVED "SNOW DUMP" OR MEET THE EXEMPTION REQUIREMENTS SPECIFIED WITHIN CHAPTER 513 WHEN THE ABOVE REQUIREMENTS CANNOT BE MET DUE TO AN ABUNDANCE OF SNOW.
 4. THE SNOW CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO VEGETATION, LANDSCAPING, CURBING, LIGHTING, FENCING ETC. RESULTING FROM THEIR ACTIVITIES.
 5. THE SNOW CONTRACTOR SHALL USE SALT OR CHLORIDE SUBSTITUTE TO DEICE THE PARKING LOT.

OFFSITE SNOW REMOVAL PLAN
SCALE: 1"=20'

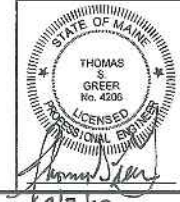
REV.	DATE	DESCRIPTION
1	9/3/13	REV'D PER STAFF REVIEW COMMENTS

133 YORK, LLC
110 MARGINAL WAY, SUITE 292
PORTLAND, MAINE

133 YORK STREET
YORK STREET, PORTLAND MAINE

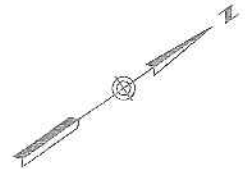
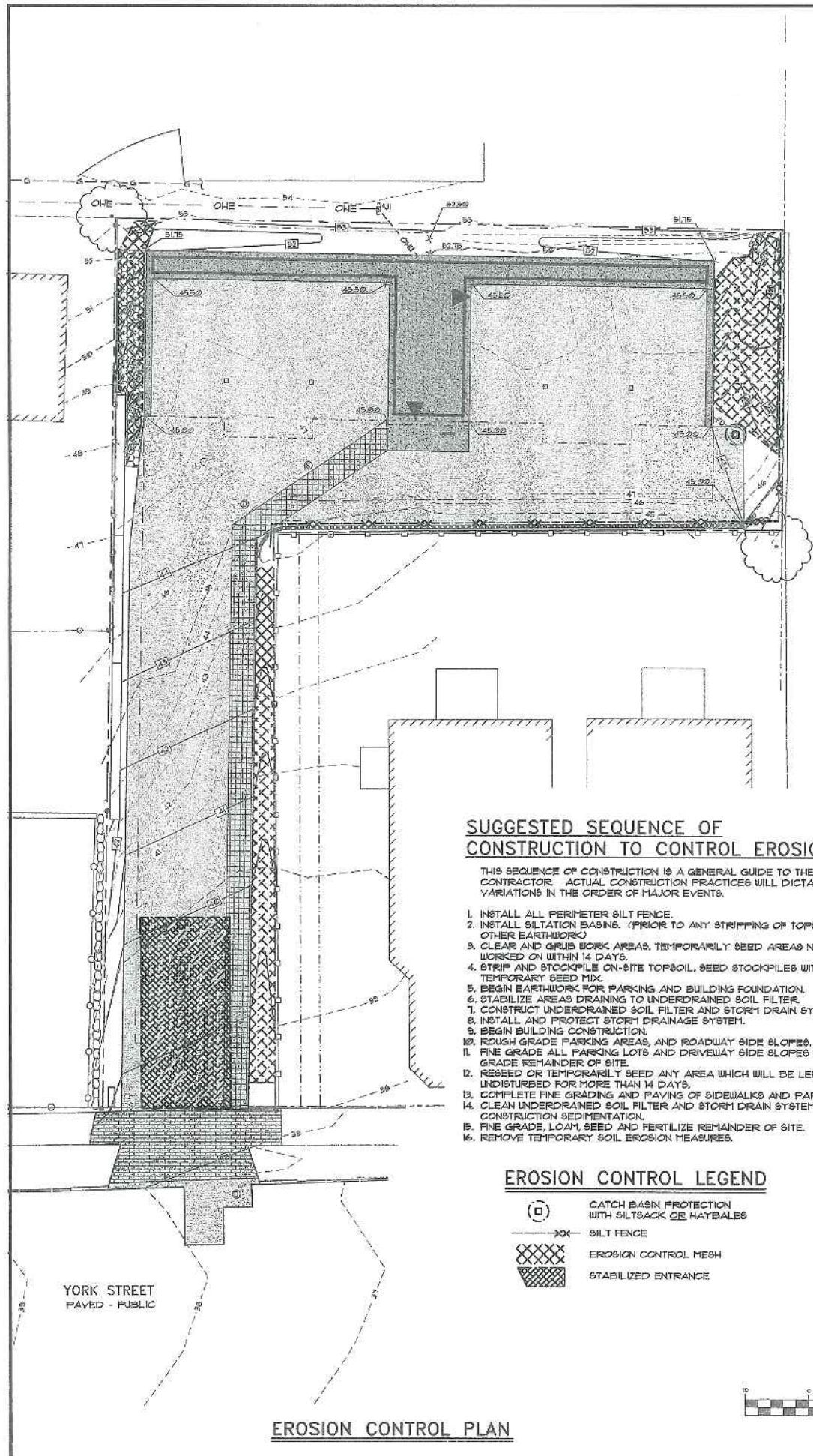
GRADING AND UTILITIES PLAN

SCALE: AS SHOWN DRN BY: JDC
DATE: JULY 24, 2013 DESG BY: TSG
PROJECT: 13105 CHK BY: TSG



C1.3

PLAN 5

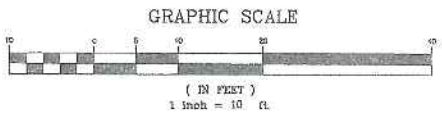


SUGGESTED SEQUENCE OF CONSTRUCTION TO CONTROL EROSION:

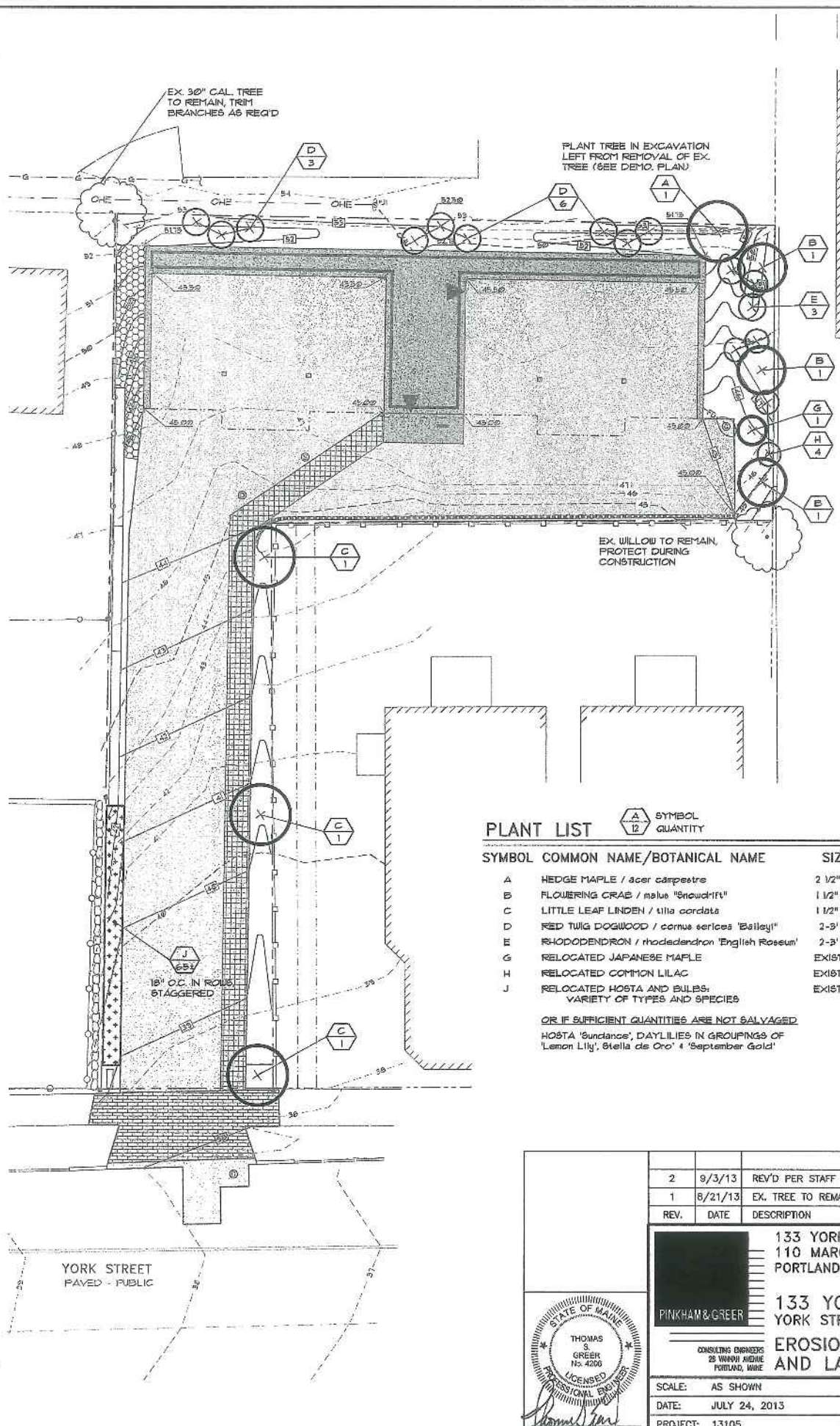
- THIS SEQUENCE OF CONSTRUCTION IS A GENERAL GUIDE TO THE CONTRACTOR. ACTUAL CONSTRUCTION PRACTICES WILL DICTATE VARIATIONS IN THE ORDER OF MAJOR EVENTS.
1. INSTALL ALL PERIMETER SILT FENCE.
 2. INSTALL SILTATION BASINS. (PRIOR TO ANY STRIPPING OF TOPSOIL OR OTHER EARTHWORK)
 3. CLEAR AND GRUB WORK AREAS. TEMPORARILY SEED AREAS NOT TO BE WORKED ON WITHIN 14 DAYS.
 4. STRIP AND STOCKPILE ON-SITE TOPSOIL. SEED STOCKPILES WITH TEMPORARY SEED MIX.
 5. BEGIN EARTHWORK FOR PARKING AND BUILDING FOUNDATION.
 6. STABILIZE AREAS DRAINING TO UNDERDRAINED SOIL FILTER.
 7. CONSTRUCT UNDERDRAINED SOIL FILTER AND STORM DRAIN SYSTEM.
 8. INSTALL AND PROTECT STORM DRAINAGE SYSTEM.
 9. BEGIN BUILDING CONSTRUCTION.
 10. ROUGH GRADE PARKING AREAS, AND ROADWAY SIDE SLOPES.
 11. FINE GRADE ALL PARKING LOTS AND DRIVEWAY SIDE SLOPES AND ROUGH GRADE REMAINDER OF SITE.
 12. RESEED OR TEMPORARILY SEED ANY AREA WHICH WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS.
 13. COMPLETE FINE GRADING AND PAVING OF SIDEWALKS AND PARKING AREAS.
 14. CLEAN UNDERDRAINED SOIL FILTER AND STORM DRAIN SYSTEM OF CONSTRUCTION SEDIMENTATION.
 15. FINE GRADE, LOAM, SEED AND FERTILIZE REMAINDER OF SITE.
 16. REMOVE TEMPORARY SOIL EROSION MEASURES.

EROSION CONTROL LEGEND

- CATCH BASIN PROTECTION WITH SILT SACK OR HAYBALES
- SILT FENCE
- EROSION CONTROL MESH
- STABILIZED ENTRANCE



EROSION CONTROL PLAN



PLANT LIST

SYMBOL	COMMON NAME/BOTANICAL NAME	SIZE	QUANTITY	ROOT
A	HEDGE MAPLE / acer carpestes	2 1/2" cal.	1	B4B
B	FLOWERING CRAB / malus 'snowdrift'	1 1/2" cal.	3	B4B
C	LITTLE LEAF LINDEN / tilia cordata	1 1/2" cal.	3	B4B
D	RED TWIG DOGWOOD / cornus sericea 'Bailey'	2-3' tall	9	POTTED
E	RHODODENDRON / rhododendron 'English Roseum'	2-3' tall	3	POTTED
G	RELOCATED JAPANESE MAPLE	EXISTING	1	
H	RELOCATED COMMON LILAC	EXISTING	4+	
J	RELOCATED HOSTA AND BULBS, VARIETY OF TYPES AND SPECIES	EXISTING	65+	

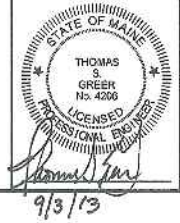
OR IF SUFFICIENT QUANTITIES ARE NOT SALVAGED
 HOSTA 'Sundance', DAYLILIES IN GROUPINGS OF 'Lemon Lily', Stella de Oro' & 'September Gold'

2	9/3/13	REV'D PER STAFF REVIEW COMMENTS
1	8/21/13	EX. TREE TO REMAIN PER CITY REVIEW
REV.	DATE	DESCRIPTION

133 YORK, LLC
 110 MARGINAL WAY, SUITE 292
 PORTLAND, MAINE

PINKHAM & GREER
 133 YORK STREET
 YORK STREET, PORTLAND MAINE

EROSION CONTROL AND LANDSCAPE PLAN



SCALE: AS SHOWN DRN BY: JDC
 DATE: JULY 24, 2013 DESG BY: TSG
 PROJECT: 13105 CHK BY: TSG

C1.4

9/3/13

PLAN 6



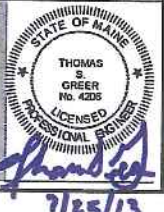
PARK STREET

HIGH STREET

YORK STREET

PROPOSED 6 UNIT BUILDING
PARKING UNDER THE BUILDING
20' WIDE DRIVEWAY & FIRE LANE

PROPOSED ACCESS TO FORECLOSURE LOTS
EXISTING ACCESS TO FORECLOSURE LOTS
EXISTING ACCESS TO FORECLOSURE LOTS
PROPOSED ACCESS TO FORECLOSURE LOTS



REV.	DATE	DESCRIPTION

133 YORK, LLC
110 MARGINAL WAY, SUITE 292

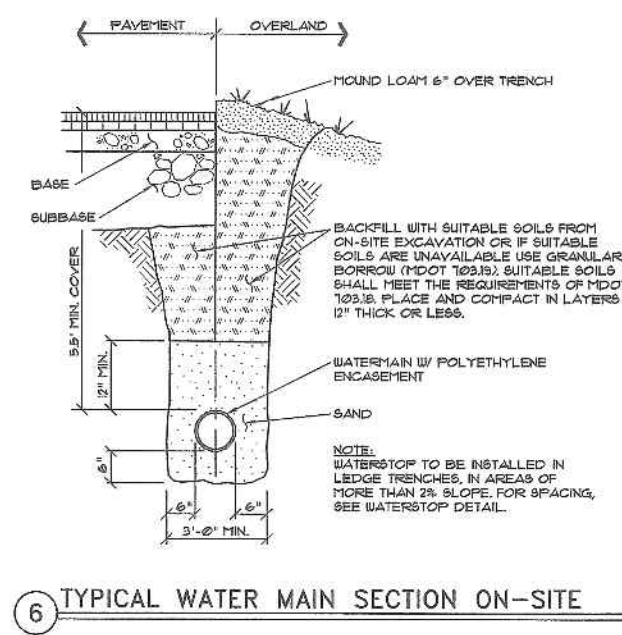
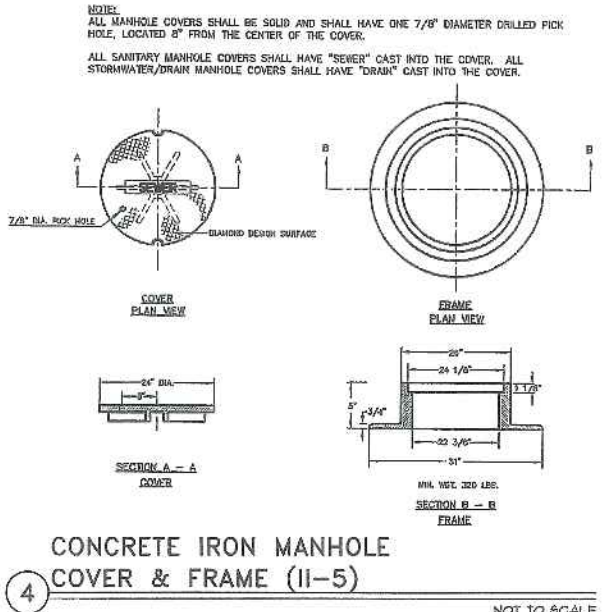
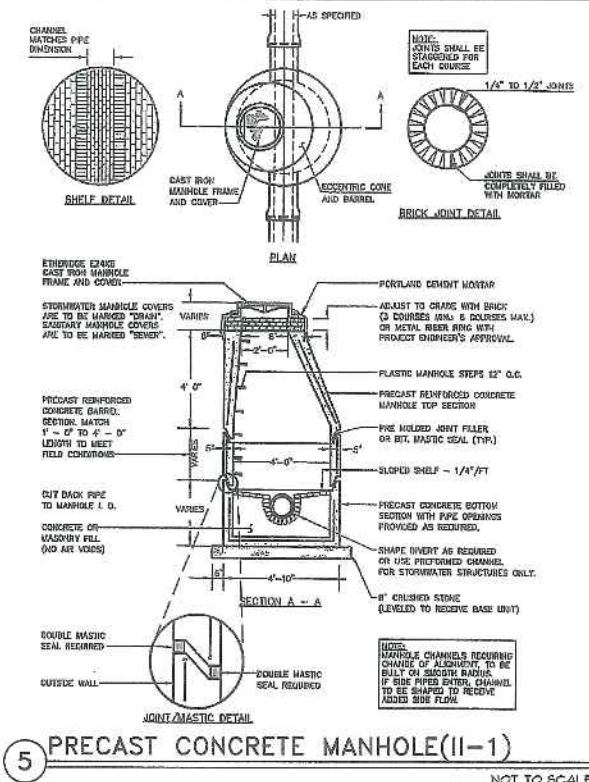
PARKMAN & GREER
133 YORK STREET
YORK STREET, PORTLAND MAINE

CONSULTING ENGINEERS
23 WILMAN AVENUE
PORTLAND, MAINE

NEIGHBORHOOD PLAN

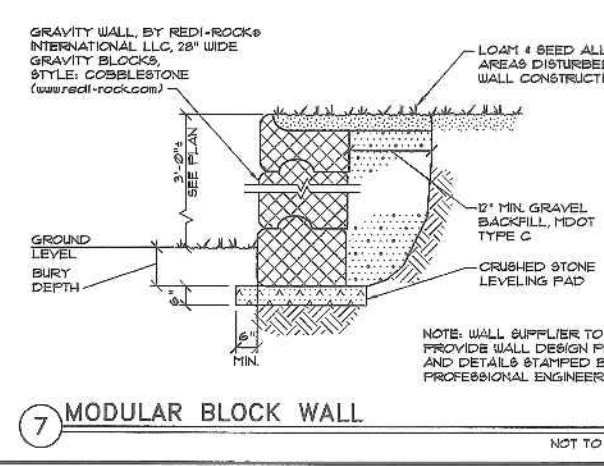
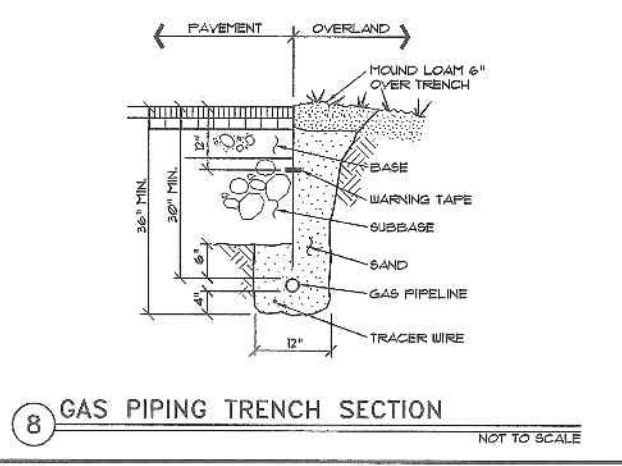
SCALE: AS SHOWN	DRN BY: JDC
DATE: JULY 24, 2013	DESIGN BY: TSG
PROJECT: 13105	CHK BY: <i>DC</i>

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POLYETHYLENE ENCASUREMENT GENERAL SPECIFICATIONS

1. TUBE TYPE POLYETHYLENE ENCASUREMENT SHALL BE INSTALLED ON ALL DUCTILE IRON PIPE AND FITTINGS IN ACCORDANCE WITH AWWA STANDARD C105 - LATEST REVISION, METHOD A.
2. POLYETHYLENE ENCASUREMENT SHALL BE EITHER LINEAR LOW-DENSITY POLYETHYLENE (LLDPE) FILM WITH A MINIMUM THICKNESS OF 8-MIL OR HIGH-DENSITY, CROSS-LAMINATED POLYETHYLENE (HDCLPE) FILM WITH A MINIMUM THICKNESS OF 4-MIL.
3. CIRCUMFERENTIAL WRAPS OF TAPE OR PLASTIC TIE STRAPS SHALL BE PLACED AT 2-FT. INTERVALS ALONG THE BARREL OF THE PIPE.
4. THE POLYETHYLENE ENCASUREMENT SHALL PREVENT CONTACT BETWEEN THE PIPE AND THE SURROUNDING BACKFILL AND BEDDING MATERIAL BUT IS NOT INTENDED TO BE A COMPLETELY AIRTIGHT OR WATERTIGHT ENCLOSURE. ALL LUMPS OF CLAY, MUD, CINDERS, AND SO FORTH, ON THE PIPE SURFACE SHALL BE REMOVED PRIOR TO INSTALLATION OF THE POLYETHYLENE ENCASUREMENT. DURING INSTALLATION, CARE SHALL BE EXERCISED TO PREVENT SOIL OR EMBANKMENT MATERIAL FROM BECOMING TRAPPED BETWEEN THE PIPE AND THE POLYETHYLENE.
5. THE POLYETHYLENE FILM SHALL BE FITTED TO THE CONTOUR OF THE PIPE TO EFFECT A SNUG, BUT NOT TIGHT, ENCASUREMENT WITH MINIMUM SPACE BETWEEN THE POLYETHYLENE AND THE PIPE. SUFFICIENT SLACK SHALL BE PROVIDED IN CONTOURING TO PREVENT STRETCHING THE POLYETHYLENE WHERE IT BRIDGES IRREGULAR SURFACES, SUCH AS BELL-SPIGOT INTERFACES, BOLTED JOINTS, OR FITTINGS, AND TO PREVENT DAMAGE TO THE POLYETHYLENE DUE TO BACKFILLING OPERATIONS. OVERLAPS AND ENDS SHALL BE SECURED WITH ADHESIVE TAPE, STRIPS, PLASTIC TIE STRAPS, OR ANY OTHER MATERIAL CAPABLE OF HOLDING THE POLYETHYLENE ENCASUREMENT IN PLACE UNTIL BACKFILLING OPERATIONS ARE COMPLETE.
6. THREE LAYERS OF POLYETHYLENE ADHESIVE TAPE SHALL BE WRAPPED AROUND ANY POLYWRAPPED PIPE WHERE A TAPPING MACHINE WILL BE PLACED. ALL COPPER SERVICES CONNECTED TO A PIPE WRAPPED IN POLYETHYLENE ENCASUREMENT SHALL BE WRAPPED WITHIN THREE FEET OF THE PIPE.



UNDERGROUND UTILITIES WARNING TAPE

IDENTIFICATION TAPE TO BE INSTALLED ABOVE ALL NEW UNDERGROUND UTILITIES AND ABOVE ANY EXISTING UTILITIES THAT MAY BE EXPOSED BY THIS CONSTRUCTION.

DETECTABLE UNDERGROUND MARKING TAPE TO BE PERMANENT, BRIGHT-COLORED, CONTINUOUS-PRINTED PLASTICIZED ALUMINUM TAPE, INTENDED FOR DIRECT-BURIAL SERVICE NOT LESS THAN 3" WIDE x 5 MILS THICK. PROVIDE TAPE WITH BLACK PRINTING IDENTIFYING THE UTILITY. DETECTABLE WARNING TAPE REQUIRED OVER ALL WATER, SEWER, DRAINAGE, OR GAS UTILITIES. TAPE TO BE TERRA TAPE BY REEF INDUSTRIES, INC. www.reefindustries.com, OR EQUAL.

APWA UNIFORM COLOR CODE:

WHITE	PROPOSED EXCAVATION
PINK	TEMPORARY SURVEY MARKINGS
RED	ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
YELLOW	GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
ORANGE	COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
BLUE	POTABLE WATER
PURPLE	RECLAIMED WATER, IRRIGATION AND SLURRY LINES
GREEN	SEWERS AND DRAIN LINES

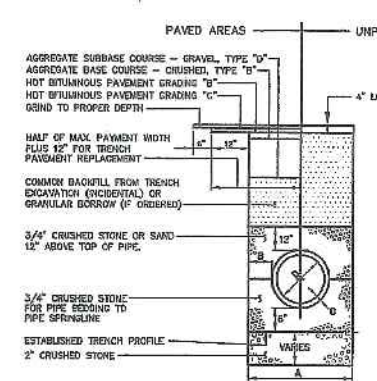
1 UNDERGROUND UTILITIES WARNING TAPE

GENERAL NOTES FOR MANHOLES AND CATCH BASINS

1. ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI, PER SQ. INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
2. MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
3. PRECAST REINFORCED CONE BARREL MANHOLES MANUFACTURED PER ASTM SPEC. C-478.
4. ALL STORM AND SEWER MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE LOCATED 8" FROM THE CENTER OF THE COVER.
5. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER. ALL STORMWATER/DRAIN MANHOLE COVERS SHALL HAVE "DRAIN" CAST INTO THE COVER.
6. ALL MANHOLE RISERS SHALL BE ETHEREDGE 24" OR APPROVED EQUAL.
7. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE OH C-32-53, GRADE MA AND SA.
8. ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.
9. CATCH BASIN FRAMES FOR TYPE A4 CATCH BASIN CURB INLETS SHALL BE ETHEREDGE DRSA OR APPROVED EQUAL.
10. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35.
11. EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
12. ALL CATCH BASIN OUTLETS SHALL BE INSTALLED WITH A CASCO TRAP. SEE FIGURE II-02.

2 GENERAL NOTES FOR MANHOLES AND CATCH BASINS (II-4)

NOTES:
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
ANY ALTERNATE TRENCHING OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.



NOTES:

1. ALTERNATIVE CONSTRUCTION METHODS OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
2. IN PAVED AREAS, DEPTH OF GRAVEL AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE DEPTH OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE MANHOLES OF THE PIPES, NOT IN ALL CASES.
4. DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER, D, AS SET FORTH BY THE FOLLOWING TABLE.

PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	5.0
14	5.0
16	5.0
18	5.0
20	5.0
24	5.0
27	5.0
30	5.0
36	5.0
42	5.0
48	7.0

3 TYPICAL PIPE TRENCH INSTALLATION (11-12)
NOT TO SCALE

REV.	DATE	DESCRIPTION
1	9/3/13	REV'D PER STAFF REVIEW COMMENTS

133 YORK, LLC
110 MARGINAL WAY, SUITE 292, PORTLAND

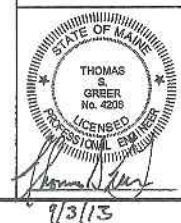
133 YORK STREET CONDOMINIUMS
133 YORK STREET, PORTLAND ME

THOMAS & GREER
CONSULTING ENGINEERS
28 WARRIAT AVENUE
PORTLAND, MAINE

DETAILS

SCALE: AS SHOWN	DRN BY: JDC
DATE: JULY 23, 2013	DESG BY: TSG
PROJECT: 13105	CHK BY: TSG

C2.2

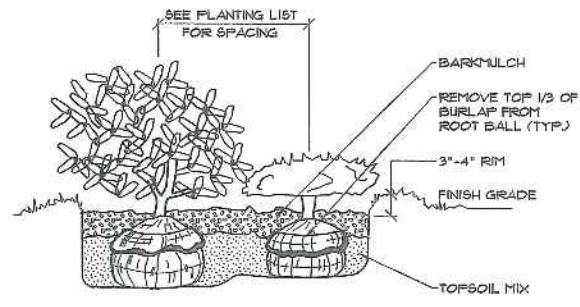


9/3/13

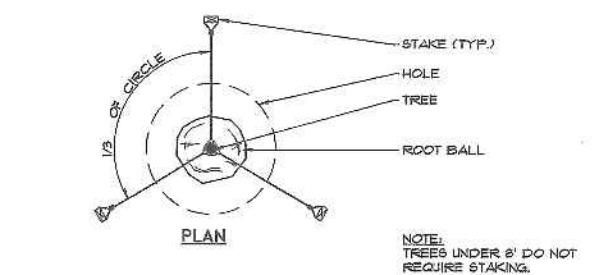
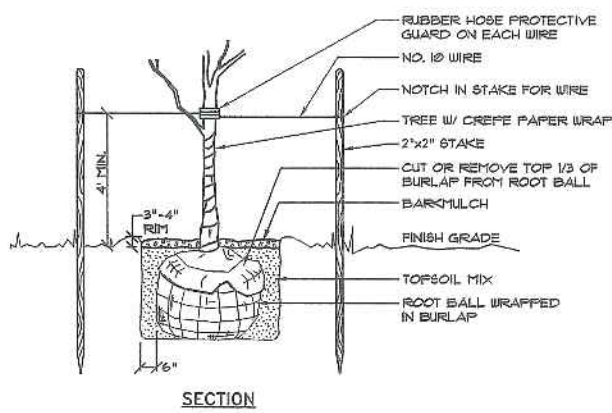
LANDSCAPE NOTES

GENERAL:

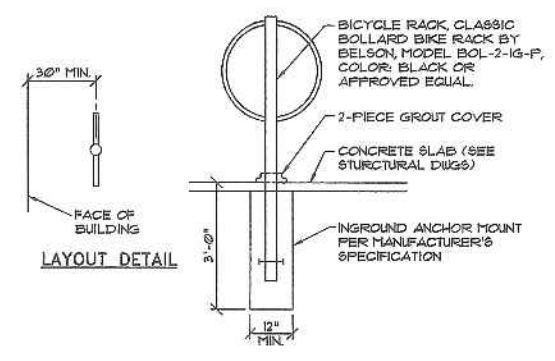
1. SAVE EXISTING TREES AS SHOWN. DO NOT CUT OR CLEAR ANY VEGETATION BEYOND THE IMPACT LIMIT LINE.
2. ALL PLANT MATERIALS INSTALLED ARE TO MEET THE SPECIFICATIONS OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PROPOSED PLANT LOCATIONS SHALL BE AS SHOWN ON PLANS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING AND WILL NOTIFY OWNER'S REPRESENTATIVE IN THE EVENT OF CONFLICTS.
4. PLANT LOCATIONS ARE TO BE SCALED FROM THE LANDSCAPE PLAN UNLESS NOTED OTHERWISE.
5. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
6. FINAL QUANTITY FOR EACH PLANT TYPE IS NOTED IN THE PLANT LIST. THIS NUMBER SHALL TAKE PRECEDENCE IN THE CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE LIST AND ON THE PLAN.
7. ANY PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
8. ALL DISTURBED AREAS TO BE LOAMED AND SEEDDED.



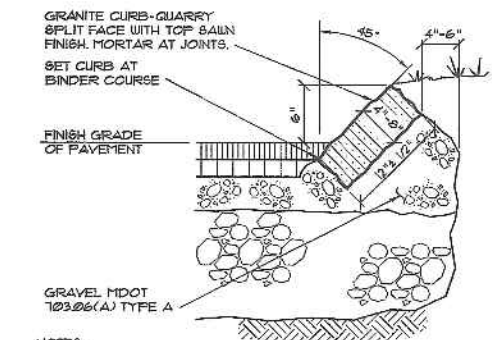
8 SHRUB PLANTING DETAIL
NOT TO SCALE



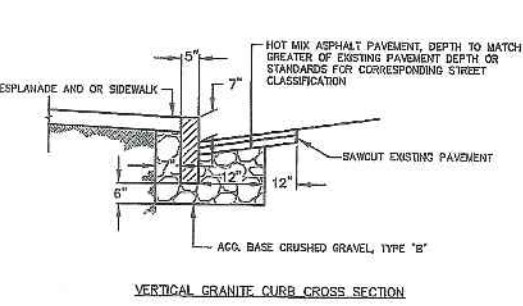
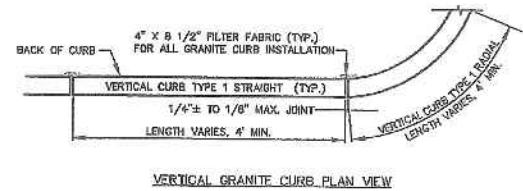
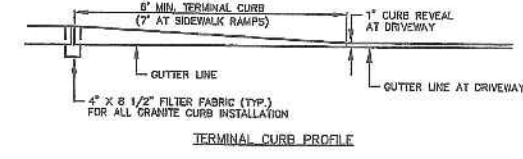
9 TREE PLANTING DETAIL
NOT TO SCALE



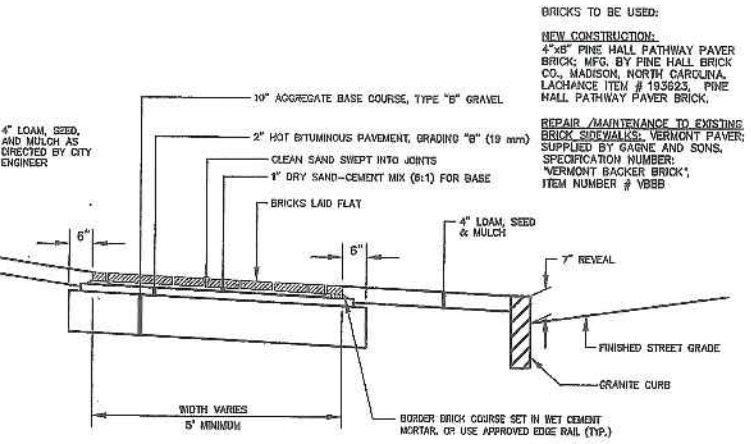
10 BIKE RACK DETAIL
NOT TO SCALE



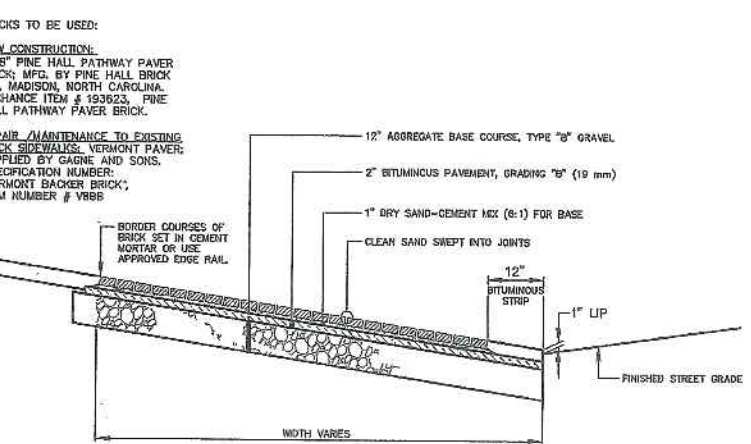
7 SLOPED GRANITE CURB SECTION ON-SITE
NOT TO SCALE



6 VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREET (1-17)
NOT TO SCALE



4 BRICK SIDEWALK WITH BITUMINOUS BASE (1-10)
NOT TO SCALE

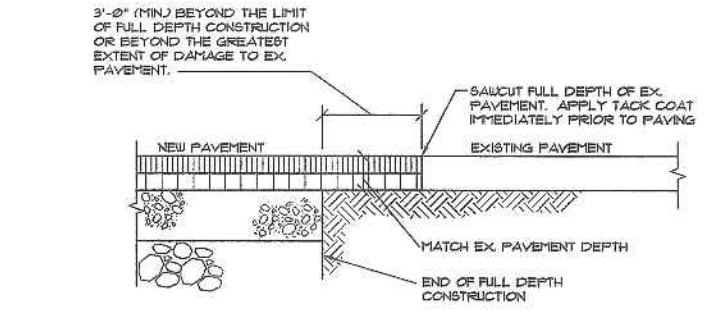


5 BRICK DRIVEWAY APRON WITH BITUMINOUS BASE (1-11)
NOT TO SCALE

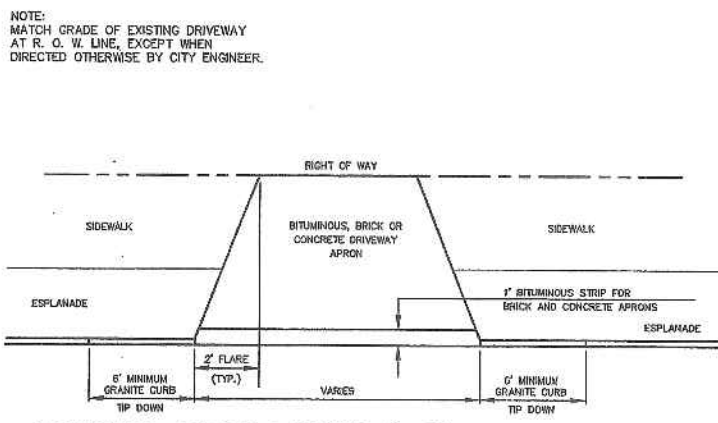
CONSTRUCTION	USE
1 1/4" HMA MDOT 9.5mm 2 1/4" HMA MDOT 19.0mm 4" COMPACTED AGGREGATE BASE, MDOT 103.06(a) TYPE A 15" COMPACTED AGGREGATE SUBBASE, MDOT 103.06(b) TYPE D COMPACTED SUBGRADE	BITUMINOUS FULL DEPTH CONSTRUCTION
4" TOPSOIL, NO STONES OVER 3/4" DIA. GRANULAR MATERIAL IN FILL AREAS COMPACTED SUBGRADE	GRASS ALL DISTURBED AREAS
3" BARKMULCH PREPARED SUBGRADE	PLANT BED BARKMULCH

- NOTES:
1. HMA = HOT MIX ASPHALT.
MDOT = MAINE DEPARTMENT OF TRANSPORTATION.
 2. ALL COURSE THICKNESS AFTER FINAL COMPACTION.

1 SCHEDULE OF SURFACE FINISHES ON-SITE
NOT TO SCALE



2 PAVEMENT CUTTING & MATCHING SECTION
NOT TO SCALE



3 DRIVEWAY APRON LAYOUT (1-9)
NOT TO SCALE

REV.	DATE	DESCRIPTION

133 YORK, LLC
110 MARGINAL WAY, SUITE 292, PORTLAND

133 YORK STREET CONDOMINIUMS
133 YORK STREET, PORTLAND ME

PINKHAM & GREER
CONSULTING ENGINEERS
28 WARDWICK AVENUE
PORTLAND, MAINE

THOMAS & GREER
No. 4205
LICENSED PROFESSIONAL ENGINEERS

SCALE: AS SHOWN DRN BY: JDC
DATE: JULY 23, 2013 DESG BY: TSG
PROJECT: 13105 CHK BY: TSG

PLAN 9

C2.3

7/23/13

DESIGN

TREE FILTER WELL BMP SIZING

DETERMINE WATER QUALITY VOLUME (WQV)
 TRIBUTARY IMPERVIOUS AREA (SF) _____ SF
 CRITICAL AREA USE 1.0*
 OTHER AREA USE 0.5*
 ENTER DECIMAL IN INCHES _____ DIRECT RUNOFF
 REQUIRED WQV _____ CF
 TREE WELL WQV _____ CF

TREE WELL DIAMETER (4" OR 5") _____ FT. IN DIAMETER (*SEE DESIGN NOTE #8 BELOW)
 GROWTH MEDIUM (2" MIN.) DEPTH* _____ FT. IN DEPTH *15% VOIDS AVAILABLE ONLY
 TREE WELL DEPTH (FT.) _____ FT. IN DEPTH STONE NOT GROWTH MEDIUM
 WQV PROVIDED _____ CF

NUMBER OF TREE FILTER WELLS NEEDED _____
 DETERMINE INFILTRATION CAPACITY

SOIL	INFILTRATION RATE (IN/HR)
SAND	8.27
LOAMY SAND	2.41
SANDY LOAM	1.02
LOAM	0.52
SILT LOAM	0.27
SANDY CLAY LOAM	0.17
CLAY LOAM	UNSATURABLE
SILTY CLAY LOAM	UNSATURABLE
SANDY CLAY	UNSATURABLE
SILTY CLAY	UNSATURABLE
CLAY	UNSATURABLE

SPECIFY INFILTRATION RATE _____ IN/HR
 SPECIFY SURROUNDING STONE THICKNESS _____ FT

INFILTRATION FOR EACH TREE FILTER WELL _____ CFS
 BOTTOM INFILTRATION RATE _____ CFS
 SIDEWALL INFILTRATION RATE PER FOOT OF DEPTH _____ CFS
 TOTAL SIDEWALL INFILTRATION RATE* _____ CFS *ASSUMES 2 ADDITIONAL FEET OF SIDEWALL DUE TO GROWTH MEDIUM.

TOTAL INFILTRATION RATE _____ CFS

INVERT SCHEDULE

DESCRIPTION	ELEVATION
TOP OF RISER	_____
BOTTOM OF MULCH	_____
BOTTOM OF MEDIA/RISER	_____
12" PERF. PVC SUBDRAIN	_____
BOTTOM OF 1/2" WASHED STONE	_____
ESHOWE (2" MIN. SEPARATION)	_____

GREEN STREET SYSTEMS, LLC
 427 COLUMBIA ROAD - HANOVER, MA 02339
 TEL. (781) 312-7236 FAX. (781) 826-6685
 www.greenstreetssystems.com

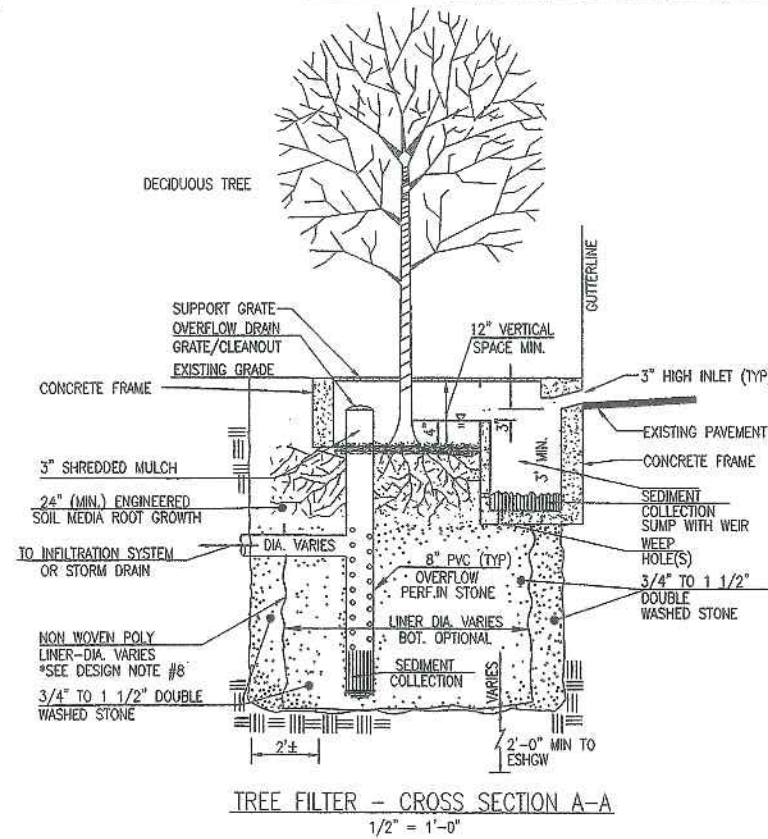
TREE FILTER DESIGN GUIDE NOTES:

- GREEN STREET SYSTEMS ARE INTENDED TO BE ECONOMICAL, LOW IMPACT DEVELOPMENT (LID), STORMWATER MANAGEMENT TREATMENT SYSTEM(S) TO ENHANCE A SITE'S OVERALL STORMWATER SYSTEM.
- THE DESIGN ENGINEER IS RESPONSIBLE TO COMPLETE SUBSURFACE SOIL EXAMINATIONS, CLASSIFICATIONS, PERMEABILITY RATES AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATION DETERMINATIONS TO FACILITATE THE PROPER SIZING AND INSTALLATION OF THE SYSTEM(S).
- DO NOT INSTALL THE SYSTEM AT LOW POINTS OR IN AREAS WHICH RECEIVE DIRECT SHALLOW CONCENTRATED OR CHANNEL FLOWS INTO THE SYSTEM. GRADING WILL ACCOMMODATE LINEAR FLOWS INTO THE SYSTEM. GRADE FLOW IN ONE DIRECTION LINEARLY PAST THE THROAT INLET. OPPOSING FLOWS INTO THE THROAT INLET WILL CAUSE MAINTENANCE PROBLEMS AND DISTURBANCE OF THE MEDIA.
- DESIGN SYSTEM TO RECEIVE INITIAL CRITICAL AREA RUNOFF, WITH BYPASS FLOWS INCORPORATED INTO THE DESIGN TO ACCOMMODATE HIGHER FREQUENCY STORMS. ENSURE THE BYPASS ELEVATIONS ALLOW FOR POSITIVE FLOW PAST THE SYSTEM.
- POSITIVE DRAINAGE IS REQUIRED FOR PROPER TREATMENT OF SURFACE RUNOFF ENTERING INTO THE SYSTEM. DESIGN FOR A 2 FOOT MINIMUM VERTICAL SEPARATION FROM ESTIMATED SEASONAL HIGH GROUNDWATER.
- PROVIDE A 3" (MIN.) TRAP THROAT HEIGHT TO ENSURE SMALL DIMENSION FLOATABLES ARE CAPTURED IN THE ENTRANCE SUMP.
- ENSURE OUTLET DRAINS ARE SIZED TO ACCOMMODATE SEPARATION FROM GROUNDWATER, DESIGN STORM FLOWS AND POSITIVE DRAINAGE.
- THE SHAPE AND SIZE OF THE LINER CAN VARY TO ACCOMMODATE SITE CONSTRAINTS AND DRAINAGE AREAS.

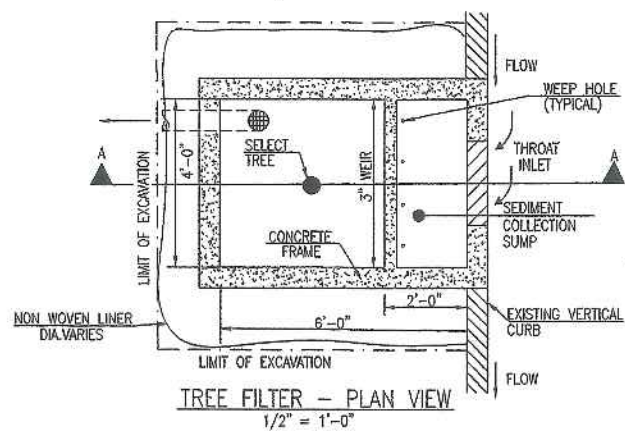
MAINTENANCE SCHEDULE	
ACTIVITY	FREQUENCY
INSPECT/CLEANING	SURFACE CLEANING (TRASH (MONTHLY))
INSPECT/REPLENISH MULCH	ANNUALLY
REMOVE DEAD VEGETATION	ANNUALLY
REPLACE DEAD VEGETATION	AS NECESSARY
PRUNE	AS NECESSARY
SEDIMENT TRAP CLEANING	QUARTERLY
IRRIGATE	DURING TIMES OF EXTREME DROUGHT

ALL INSPECTIONS ARE TO BE PERFORMED AND DOCUMENTED IN ACCORDANCE WITH FEDERAL, STATE, AND MUNICIPAL REQUIREMENTS. OWNER WILL KEEP PERMANENT RECORDS OF THE INSPECTIONS.

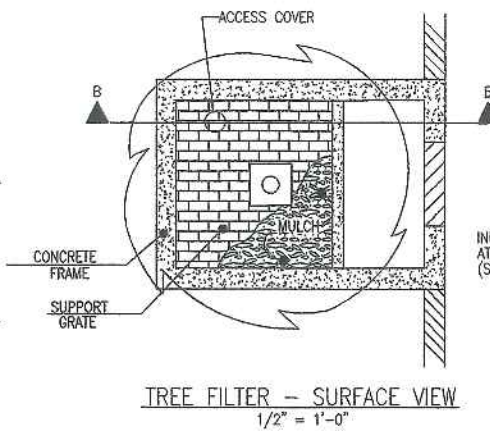
DETAILS AND SECTIONS



TREE FILTER - CROSS SECTION A-A
1/2" = 1'-0"



TREE FILTER - PLAN VIEW
1/2" = 1'-0"



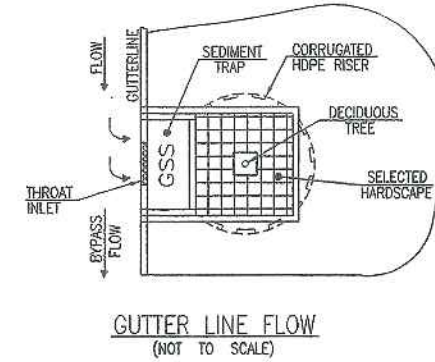
TREE FILTER - SURFACE VIEW
1/2" = 1'-0"

CONSTRUCTION NOTES AND SPECIFICATIONS

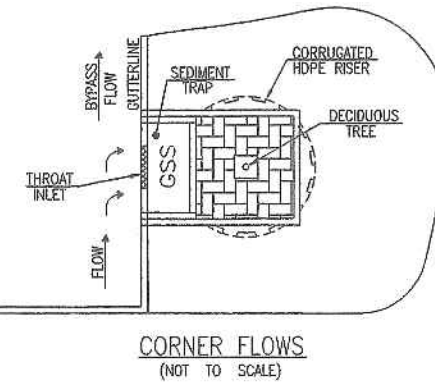
TREE FILTER CONSTRUCTION NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORD INFORMATION AND MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES CONFLICTING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND UTILITY PERMITS AND VERIFY THE PROPOSED LOCATION OF UTILITIES WITH UTILITY COMPANIES.
- GREEN STREET SYSTEMS, LLC, TREE FILTER TO BE DESIGNED AND INSTALLED AS PER FEDERAL, STATE, LOCAL, AND GREEN STREET SYSTEMS, LLC, REQUIREMENTS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED/REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR BE SEEDED FOR TEMPORARY VEGETATIVE COVER.
- DURING CONSTRUCTION OF THE TREE FILTER SYSTEM, THE FOLLOWING MEASURES SHALL BE TAKEN:
 - ALL STOCKPILES SHALL BE STORED DOWN GRADIENT OF THE EXCAVATION TO ENSURE THAT ANY POTENTIAL SEDIMENT DOES NOT REACH THE LOW IMPACT DEVELOPMENT (LID) AREA.
 - ALL WATER RESULTING FROM DENATURING ACTIVITIES SHALL BE DIRECTED AWAY FROM THE LID AREAS TO AN AREA DETERMINED BY THE ENGINEER.
 - NO STORMWATER SHALL BE DISCHARGED INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE FULLY STABILIZED WITH PAVEMENT, VEGETATION OR OTHER PERMANENT SURFACE.
- SILT BAGS OR HAYBALES SHALL BE UTILIZED AT ALL EXISTING AND PROPOSED TREE FILTERS SUBJECT TO STORMWATER RUNOFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE TREE FILTER OR EXCAVATION AREA.
- THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
- RUNOFF WILL NOT BE ALLOWED TO ENTER THE TREE FILTER SYSTEM UNTIL ALL AREAS ARE PAVED, LANDSCAPED AND PERMANENTLY STABILIZED OR VEGETATED.

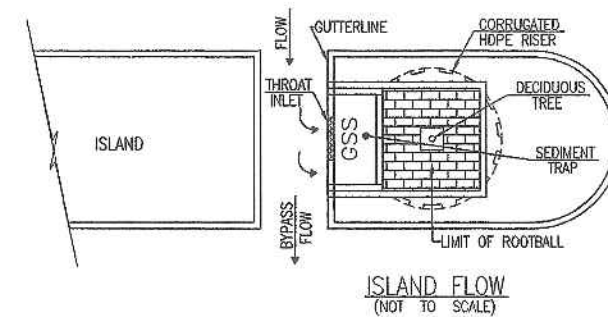
VARIOUS CONFIGURATIONS



GUTTER LINE FLOW
(NOT TO SCALE)



CORNER FLOWS
(NOT TO SCALE)



ISLAND FLOW
(NOT TO SCALE)

SIMILAR SYSTEM TO BE USED FOR 133 YORK STREET

IMPORTANT NOTES

- THE PURPOSE AND INTENT OF THIS SHEET IS TO PROVIDE GENERAL DESIGN GUIDANCE, CONSTRUCTION DETAILS AND SPECIFICATIONS TO ASSIST IN THE PLANNING AND IMPLEMENTATION OF THE TREE FILTER.
- USE OF THIS INFORMATION IS WITH THE SPECIFIC PERMISSION OF GREEN STREET SYSTEMS, LLC. (PATENT PENDING).
- REVISED AND GENERAL CONTRACTORS SHOULD CONTACT GREEN STREET SYSTEMS, LLC AND ETC.

PLAN 10

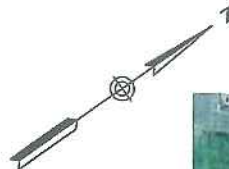
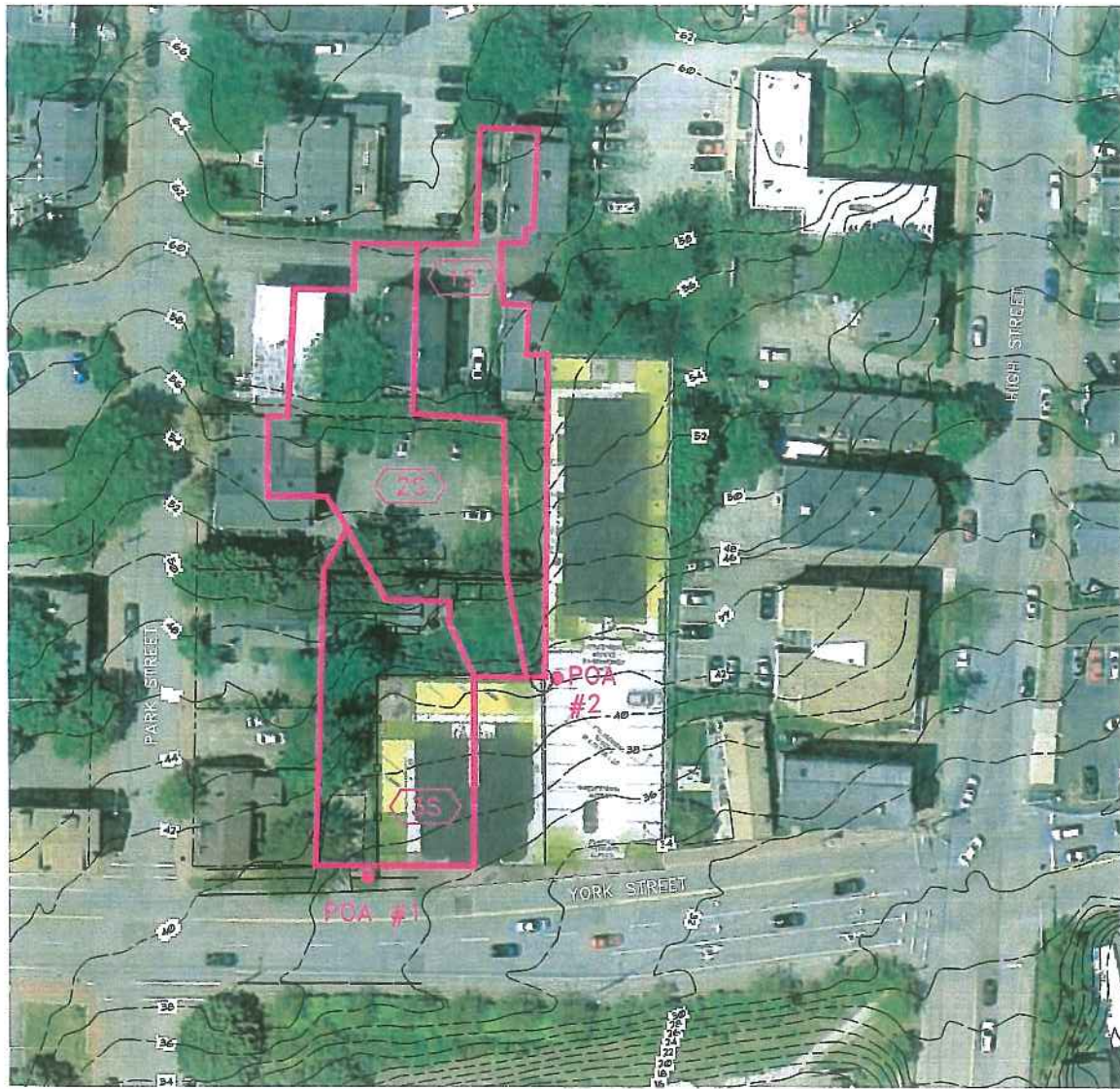
DRAWN BY: JR/SK/PI
 DESIGNED BY: PI/RCM
 CHECKED BY: RCM

GREEN STREET SYSTEMS, LLC
 427 COLUMBIA ROAD - HANOVER, MA 02339
 TEL. (781) 312-7236 FAX. (781) 826-6685
 www.greenstreetssystems.com

TREE FILTER
 GENERAL DESIGN
 CONSTRUCTION DETAILS
 AND SPECIFICATIONS

VERSION 1.00
 JUNE 26, 2009
 SCALE: AS NOTED
 GENERAL DESIGN
 DETAILS & SPECIFICATIONS
 C2.4

GREEN STREET SYSTEMS TREE FILTER



DRAINAGE LEGEND

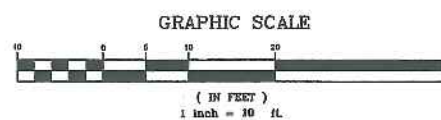
- SUBCATCHMENT PERIMETER
- 10S SUBCATCHMENT NUMBER
- POA #1 POINT OF ANALYSIS

EXISTING CONDITIONS

DRAINAGE LEGEND

- SUBCATCHMENT PERIMETER
- 10.0S SUBCATCHMENT NUMBER
- POA #1 POINT OF ANALYSIS

PROPOSED CONDITIONS



REV.	DATE	DESCRIPTION

THOMAS & GREER
No. 4208
LICENSED PROFESSIONAL ENGINEER

133 YORK, LLC
110 MARGINAL WAY, SUITE 292

133 YORK STREET
YORK STREET, PORTLAND MAINE

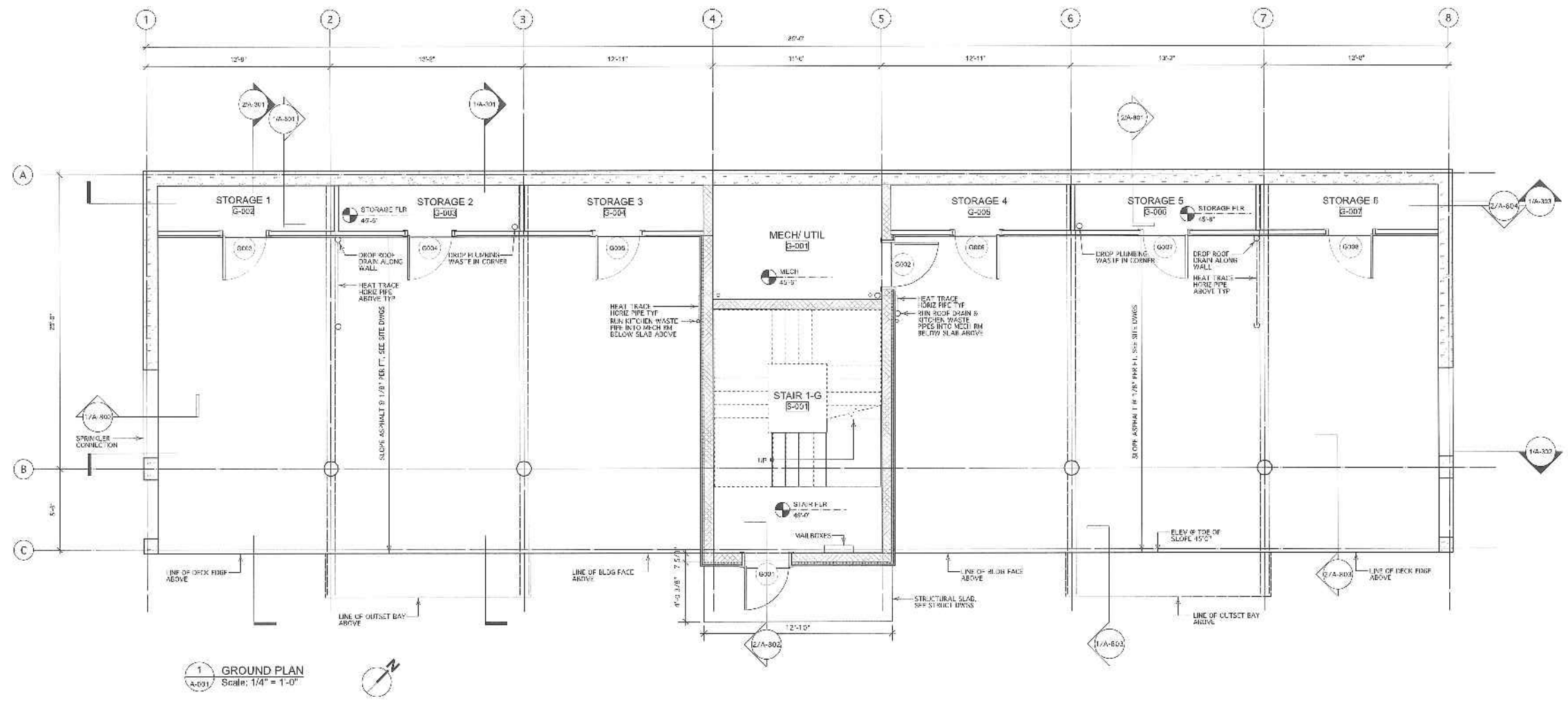
CONSULTING ENGINEERS
25 WINDY RIDGE
PORTLAND, MAINE

DRAINAGE ANALYSIS

SCALE: AS SHOWN	DRN BY: JDC
DATE: JULY 24, 2013	DESG BY: TSG
PROJECT: 13105	CHK BY: <i>TSG</i>

7/25/13

PLAN 12



1 GROUND PLAN
Scale: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

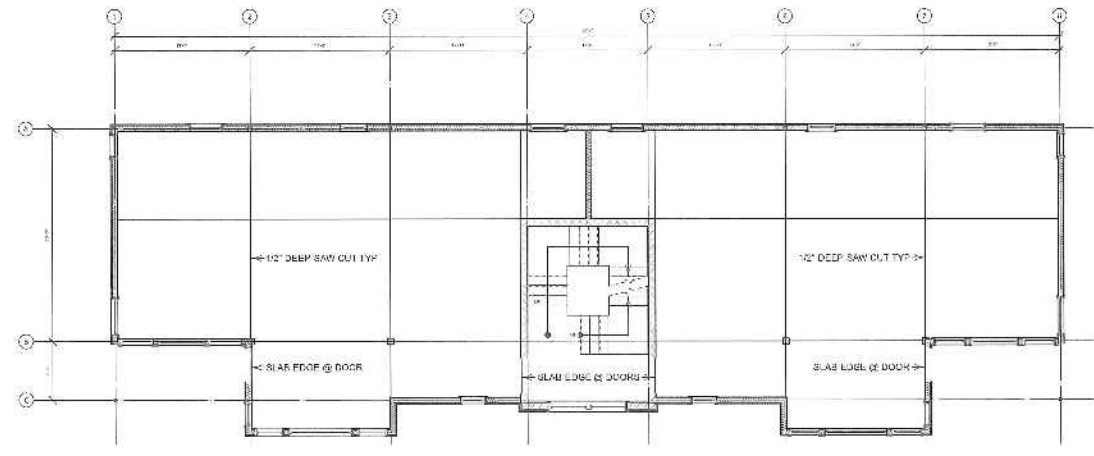
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File name: York St model 2.vwx

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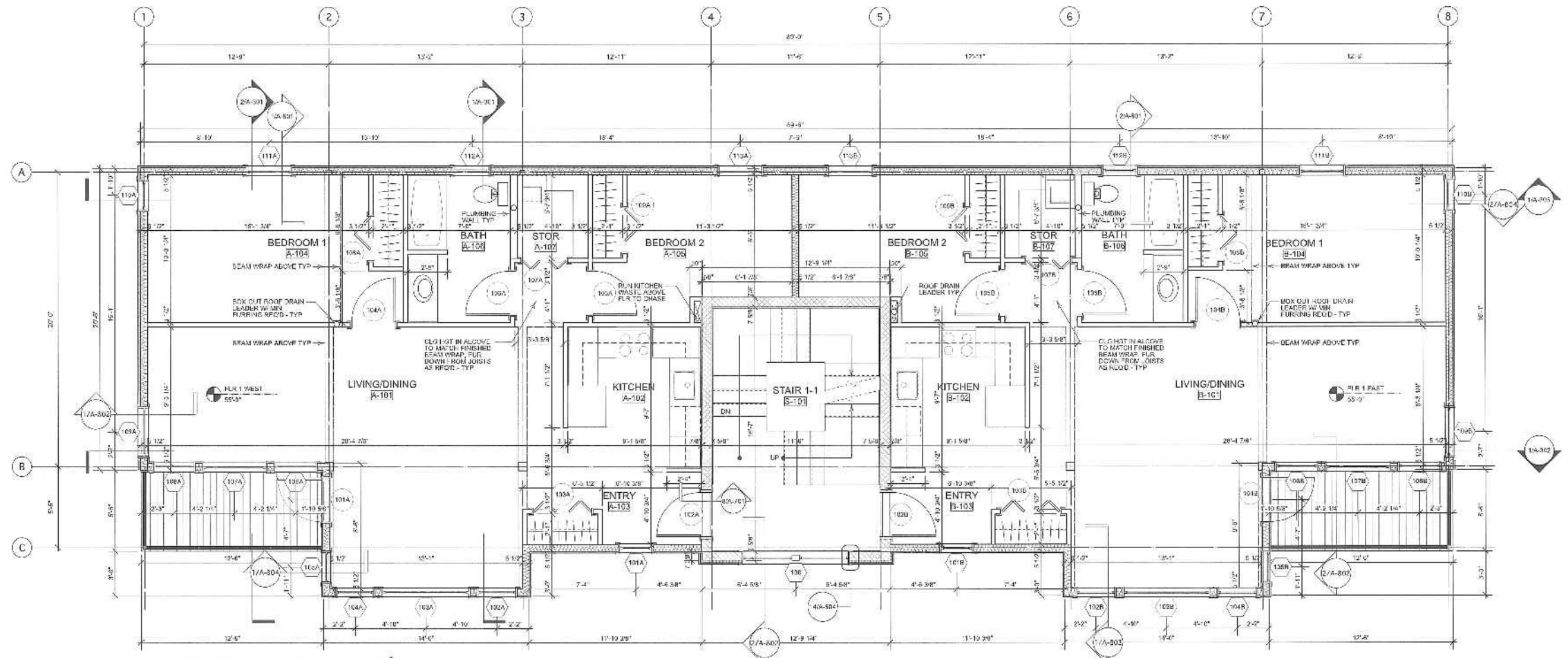
Project: Residential Townhouse Project
133 York Street
Portland, Maine
Sheet: Scale
A-001
of
No. Sheets

PROJECT	Residential Townhouse Project 133 York Street Portland, Maine
CLIENT	Pinkham & Groer Consulting Engineers 28 Varnum Avenue Portland, Maine 04103
DATE	6/27/13
SCALE	1/4" = 1'-0"
NO. SHEETS	1 of 1
NO.	1
DATE	
ISSUE NOTES	
NO.	
DATE	
REVISION NOTES	
ZONE	
APP	

PLAN 13



2 FIRST FLOOR SLAB PLAN
Scale: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Date: 6/27/13
File name: York St model 2.vwx

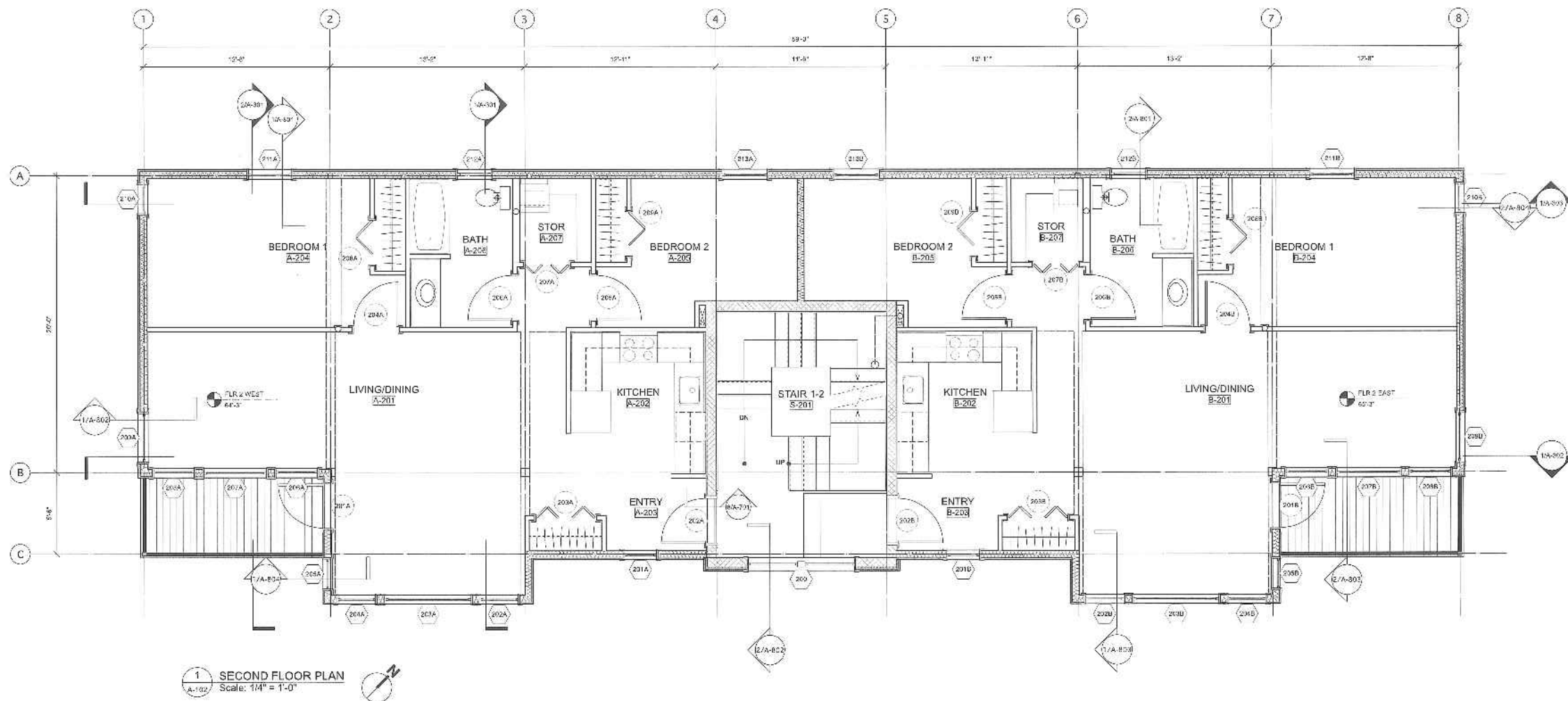
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A-101
No. Sheets

Project No.	0000000
Revision No.	0000000
Issue No.	0000000
Date	
No.	
Zone	ABCD
Revision Notes	
Author	ref
Drawn By	ref
Checked By	ref
Reviewed By	ref
Submitted By	ref
Project Name	Residential Townhouse Project 133 York Street Portland, Maine
Sheet Scale	
Project Location	Portland, Maine 04101
Project Description	Floor Plan-1
Client	Pinkham & Groer Consulting Engineers 28 Varney Avenue Portland, Maine 04103
Project No.	0000000
Revision No.	0000000
Issue No.	0000000
Date	
No.	
Zone	ABCD
Revision Notes	
Author	ref
Drawn By	ref
Checked By	ref
Reviewed By	ref
Submitted By	ref

PLAN 1A



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

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Date: 6/27/13
File name: York St model 2.vwx

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Portland, Maine 04101
Date: 6/27/13
File name: York St model 2.vwx

Residential Townhouse Project
133 York Street
Portland, Maine
Floor Plan-2
A-102
No. Sheets

Drawn By	00000000
Checked By	
Reviewed By	
Submitted By	
Project	20130000
Discipline	Architectural
Revision Code	
Revision	

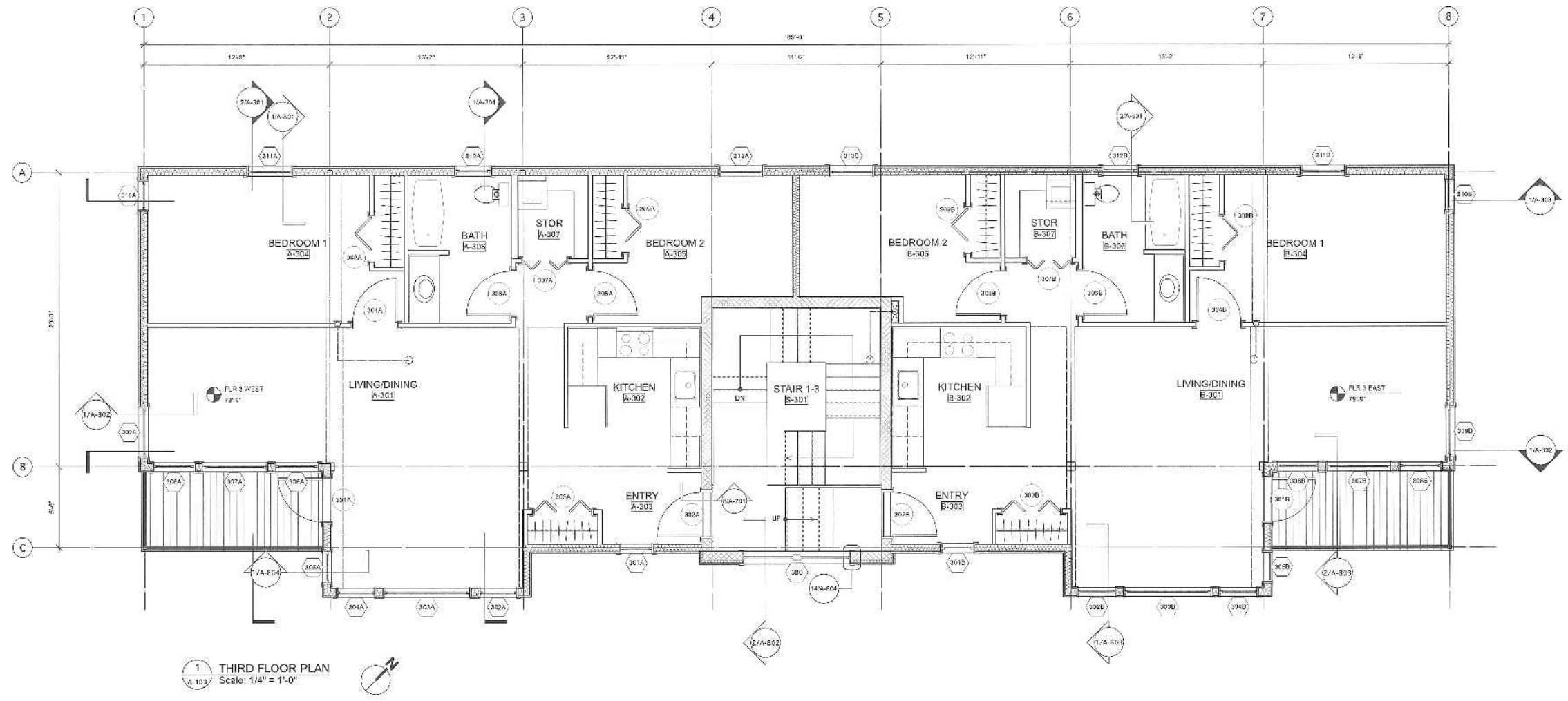
HKTA/architects
482 Congress Street
Suite 502
Portland, Maine 04101

Pinkham & Greer Consulting Engineers
28 Van Ness Avenue
Portland, Maine 04103

Residential Townhouse Project
133 York Street
Portland, Maine
Floor Plan-2
A-102
No. Sheets

No.	Date	Issue Notes	No.	Date	Revision Notes	Zone	APP
						A	

PLAN 15



1 THIRD FLOOR PLAN
 Scale: 1/4" = 1'-0"
 V. 10/13

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Date: 6/27/13
 File name: York St model 2.vwx

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Sheet Scale
A-103
 of
 No. Sheets

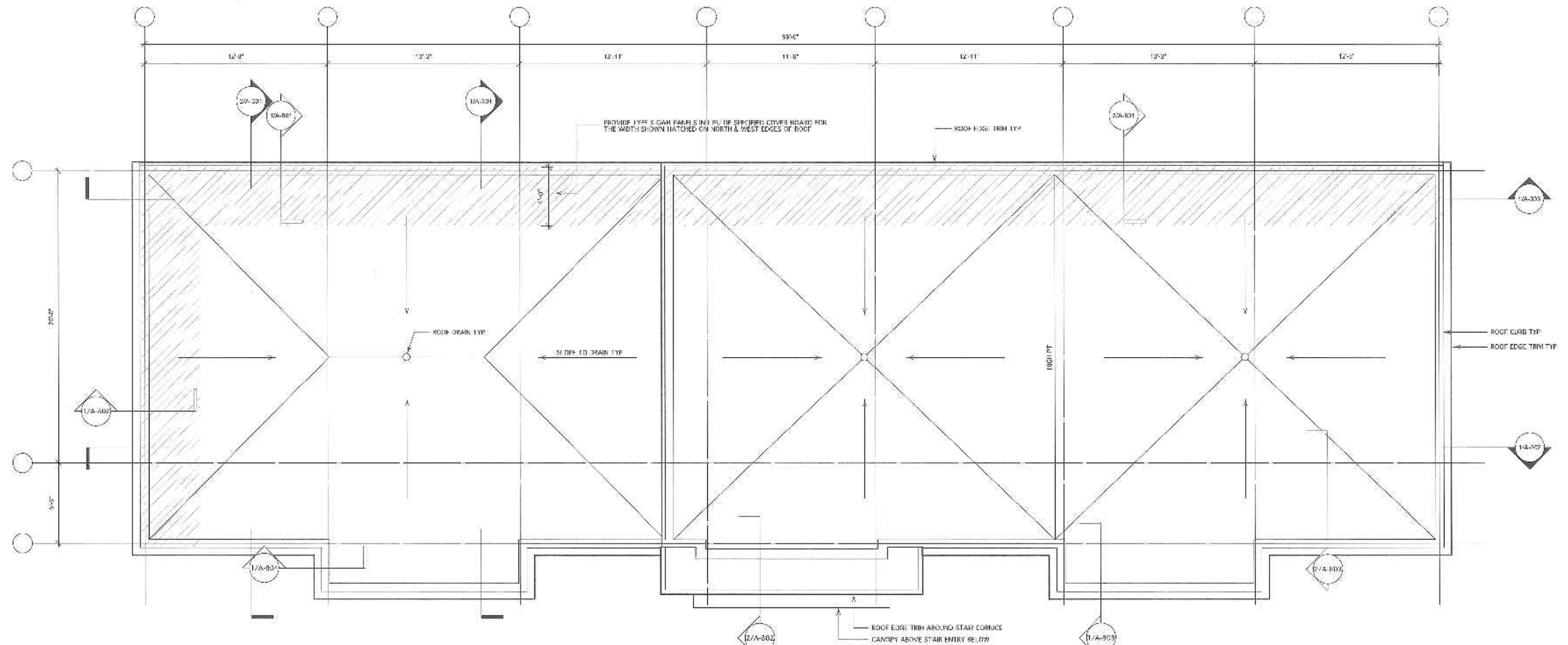
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No.	Date	Issue Note

Created By:	ref
Drawn By:	ref
Checked By:	ref
Reviewed By:	ref
Submitted By:	ref
Project No.:	0000000
Revision:	2073005
Drawing Code:	100-133 YorkSt
Sheet No.:	0000000

Project:	Residential Townhouse Project 133 York Street Portland, Maine
Client:	HKTA/architects 482 Congress Street Suite 502 Portland, Maine 04101
Engineer:	Pinkham & Greer Consulting Engineers 28 Vermont Avenue Portland, Maine 04103
Sheet:	Floor Plan-3

PLAN 160



1 ROOF PLAN
A-104
Scale: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Date: 6/27/13
File name: York St model 2.vwx

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133 York Street
Portland, Maine

A-104
of
No. Sheets

No.	Date	Issue Note	No.	Date	Issue Note	Zone	Appr		
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						B			
						C			
						D			
						E			
		OWNER: res DESIGNED BY: res CHECKED BY: res DATE PLOTTED: 10/27/13 BY: 133 York St		PROJECT: Residential Townhouse Project 133 York Street Portland, Maine		DRAWN BY: res DATE: 08/20/10		REVISION: 20130805 207/3005 10/27/13 133 York St	
HKTA/architects 482 Congress Street Suite 502 Portland, Maine 04101				Pinkham & Greer Consulting Engineers 28 Varnish Avenue Portland, Maine 04103					
Project: Residential Townhouse Project 133 York Street Portland, Maine				Sheet: A-104 Title: Roof Plan					

PLAN 17



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

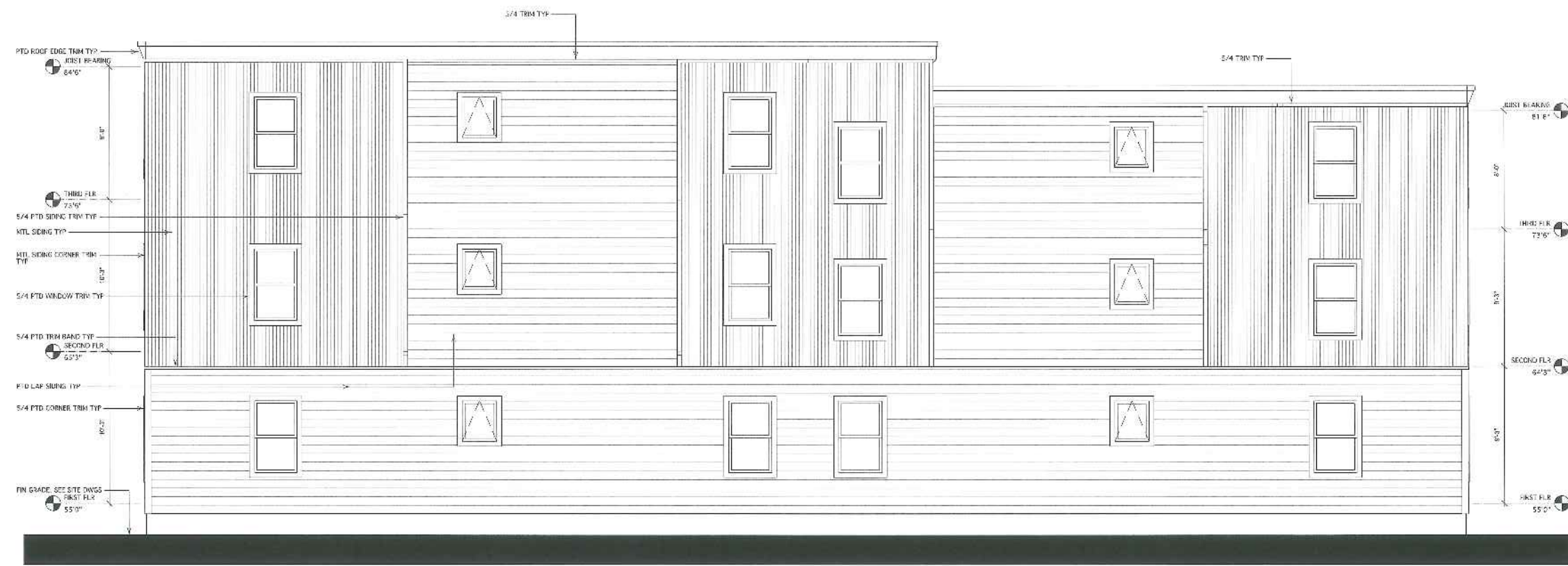
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File name: York St model 2.vvw

HKTA architects
133 York Street
Portland, Maine 04101
Date: 6/27/13
File name: York St model 2.vvw
email: hktain@maine.rr.com

Project Name	Residential Townhouse Project
Address	133 York Street Portland, Maine
Project No.	Elevations-1
Sheet No.	A-201
Scale	As Shown
Revision	00000000
Drawn By	Jeff
Checked By	Jeff
Reviewed By	Jeff
Submitted By	Jeff
Drawn Date	20130605
Reviewed Date	20130605
Submitted Date	20130605
Project No.	00000000
Sheet No.	00000000
Scale	As Shown
Revision	00000000
Drawn By	Jeff
Checked By	Jeff
Reviewed By	Jeff
Submitted By	Jeff
Drawn Date	20130605
Reviewed Date	20130605
Submitted Date	20130605
Project Name	Residential Townhouse Project
Address	133 York Street Portland, Maine
Project No.	Elevations-1
Sheet No.	A-201
Scale	As Shown
Revision	00000000
Drawn By	Jeff
Checked By	Jeff
Reviewed By	Jeff
Submitted By	Jeff
Drawn Date	20130605
Reviewed Date	20130605
Submitted Date	20130605

PLAN 18



1
A-202
NORTH ELEVATION
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

Date: 6/27/13
File name: York St model 2.vwx

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Revision No.	Date	Issue Notes	No.

Drawn By	Checked By	Registered By	Submitted By
john	john	john	john

Drawn By	Checked By	Registered By	Submitted By
john	john	john	john

No.	Date	Issue Notes

Revised	By	Reason
00000000		Revision
2013005		2013005
2013006		2013006
133 yvk.vwx		133 yvk.vwx
00000000		00000000

Project	Client
Residential Townhouse Project 133 York Street Portland, Maine	HKTA/architects 452 Congress Street Suite 502 Portland, Maine 04101
Elevations-2	Client: Pinkham & Greer Consulting Engineers 28 Varnah Avenue Portland, Maine 04103

Project	Client
Residential Townhouse Project 133 York Street Portland, Maine	HKTA/architects 452 Congress Street Suite 502 Portland, Maine 04101
Elevations-2	Client: Pinkham & Greer Consulting Engineers 28 Varnah Avenue Portland, Maine 04103

No.	Date	Issue Notes

No.	Date	Issue Notes

No.	Date	Issue Notes

Sheet Scale
A-202
of
No. Sheets

PLAN 19



2 WEST ELEVATION
SCALE: 1/4"=1'-0"

1 EAST ELEVATION
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION

Date: 6/27/13
File name: York St model 2.vwx

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Project		Project Name	
Residential Townhouse Project	133 York Street Portland, Maine	Elevations-3	
Architect		Engineer	
HKTA/architects	482 Congress Street Suite 502 Portland, Maine 04101	Pinkham & Croer Consulting Engineers	28 Vanish Avenue Portland, Maine 04103
Revision Log			
No.	Date	Issue Notes	Author
1			
2			
3			
Drawing Code			
Revision	2013005	Drawing Code	
Drawn By	ash	Reviewed By	ash
Checked By		Submitted By	
Date	20130620	File No.	B000000

Sheet Scale
A-203
of
No. Sheets