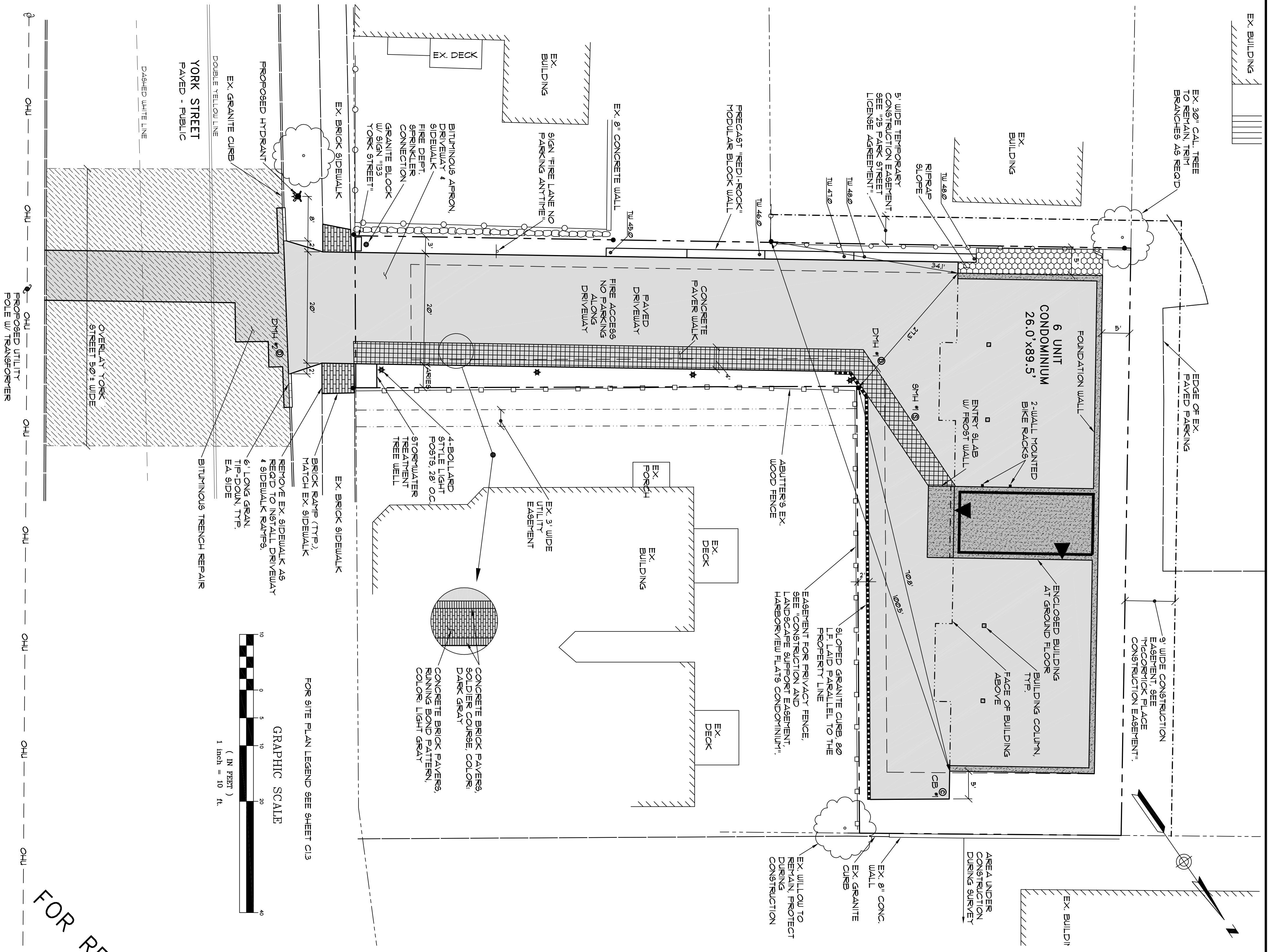


**CITY OF PORTLAND
SITE PLAN AND SUBDIVISION NOTES**

1. LANDSCAPING SHALL MEET THE "ARBORECUITURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND AND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION OR DEVIATION FROM THE APPROVED SITE PLAN INCLUDING WITHOUT LIMITATION: MODIFYING DRAINAGE, LANDSCAPING, RETENTION OF EXISTING TREES, CHANGING THE NUMBER, SIZE, LOCATION OR TYPE OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
4. SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TYPICAL RAMPAS AT ALL STREET CORNERS. CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION MARCH 2003.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADE.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. (A) THAT THE SITE BUILDING CONTRACTOR SHALL PROVIDE A PRECONSTRUCTION MEETING TO ALL CITY DEPARTMENTS AT THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE Erected OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. MATERIALS FOR PRESERVATION SHALL BE STORED OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.
10. SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN AN FIVE YEAR PERIOD UNLESS APPROVED BY SALE. ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE YEAR PERIOD AND THE DIVISION OF AN EXISTING INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PART OF A STRUCTURE WHICH THROUGH SALE OR LEASE IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, THE SHARE UNITS AND APARTMENTS.

SITE PLAN AND SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE _____



ZONE INFORMATION	
ZONE: R-6, RESIDENTIAL	PERMITTED USE: MULTIFAMILY DWELLING
SPACE STANDARD	REQUIRED
MINIMUM LOT 9' x 25'	3,000 SQ. FT. @
MINIMUM AREA PER DWELLING UNIT	1,483 SQ. FT.
MINIMUM FRONT YARD	1200/1200 SQ. FT. @
MINIMUM STREET FRONTAGE	40 FEET
MINIMUM FRONT YARD	10 FEET
MINIMUM REAR YARD	5 FEET @
MINIMUM SIDE YARD	5 FEET @
MINIMUM LOT COVERAGE	50%
MINIMUM LOT WIDTH	40 FEET
MINIMUM BUILDING HEIGHT	45 FEET
OPEN SPACE RATIO	20%
OFF STREET PARKING	1 SPACE PER UNIT
OFF STREET PARKING	1 PER UNIT
① PER SECTION 14-433	
② EXISTING STRUCTURE: 1200 SQ. FT. PER DWELLING UNIT	
BLDG ADDITION/NEW CONSTRUCTION: 1200 SQ. FT. FOR EACH DWELLING UNIT AFTER THE FIRST 3 UNITS. 6,000 REQUIRED	

GENERAL NOTES	
1.	QUINCY/BELLOPER, 133 YORK, LLC, 110 MARGINAL WAY, SUITE 202, PORTLAND MAINE 04101 DEED RECORDED IN THE CURBERLAND COUNTY REGISTER OF DEEDS BK. 30895, PG. 10, DATE JULY 22, 2013.
2.	ENGINEER, PINKHAM & GREER CONSULTING ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04103.
3.	TOPOGRAPHIC AND BOUNDARY INFORMATION: QUEN HASKELL, INC. 390 US ROUTE 9, FALMOUTH, MAINE BENCHMARK: CITY DATUM, "M" MONUMENT AT THE CORNER OF YORK AND HIGH STREETS. ELEVATION 5139.
4.	SOIL MAPPING TAKEN FROM SOIL CONSERVATION STUDY OF CUMBERLAND COUNTY AND CLASSIFIED AS MUCKLETY (M1), GENERALLY SANDY LOAM, 3-8% SLOPES, HYDROLOGICAL GROUP "A".
5.	ZONE: R-6, RESIDENTIAL
6.	PROPOSED USE: MULTIFAMILY DWELLING
7.	TAX MAP REFERENCE: MAP 44 / BLOCK A / LOTS 29 & 31
8.	TOTAL PARCEL: 0.172 acres
9.	CALL DIG-SAFE PRIOR TO COMMENCING WORK 1-800-DIG-SAFE.
10.	BUILDING SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
11.	LOT TO BE SERVICED BY PUBLIC WATER AND SEWER.
12.	POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
13.	ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE MAINE REGIONAL AND STATE ENGINEERING BOARD'S DESIGN OF LAND AND WATER QUALITY MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION LATEST EDITION, MARCH 2003.
14.	THIS APPROVAL IS DEFENDANT UPON AND LIMITED TO THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD. EXCEPT FOR DE MINOR CHANGES WHICH THE DIRECTOR OF THE PLANNING AND ZONING MAY APPROVE.
15.	ALL WORK WITHIN THE RIGHT OF WAY IS TO MEET CITY OF PORTLAND STANDARDS. EXTERNAL CONDENSERS FOR HEATING OR COOLING UNITS SHALL BE SCREENED OR LOCATED OUT OF SIGHT OR NEIGHBORS AND INCLUDE SOUND BARRIERS SO THAT THE SOUND LEVEL AT THE PROPERTY LINE IS AT OR BELOW 45DBA BETWEEN 10PM AND 7AM, AND BELOW 50DBA BETWEEN 7AM AND 10PM.

DRAWINGS INCLUDED IN THIS PROJECT

NO.	DESCRIPTION	DATE
C10	SUBDIVISION RECORDING PLAN	4-1-2011
C11	EXISTING CONDITIONS AND DEMOLITION PLAN	4-1-2011
C12	GRADING AND UTILITIES PLAN	4-1-2011
C13	EROSION CONTROL AND LANDSCAPE PLAN	4-1-2011
C14	CONDOMINIUM PLAN	4-1-2011
C15	DETAILS	4-1-2011
C16	DETAILS	4-1-2011
C17	DETAILS	4-1-2011
C18	DETAILS	4-1-2011
C19	DETAILS	4-1-2011
C20	DETAILS	4-1-2011
C21	DETAILS	4-1-2011
C22	DETAILS	4-1-2011
C23	DETAILS	4-1-2011
C24	DETAILS	4-1-2011

FOR REVIEW 6/19/14

REV.	DATE	DESCRIPTION
1	12/9/13	REV'D PER CONDITIONS OF APPROVAL & STAFF COMMENTS
2	10/21/13	REV'D PER CITY REVIEW
3	10/11/13	SUBMITTED FOR FINAL APPROVAL
4	9/3/13	REV'D PER STAFF REVIEW COMMENTS

CONSULTING ENGINEERS 28 VANNAH AVENUE PORTLAND, MAINE	PINKHAM & GREER
SITE PLAN	MAP 44/BLOCK A/LOTS 29 & 31
SCALE: AS SHOWN	DRN. BY: JDC
DATE: JULY 24, 2013	DESIGN BY: TSG
PROJECT: 13105	CHK. BY:

133 YORK, LLC
110 MARGINAL WAY, SUITE 292
PORTLAND, MAINE
133 YORK STREET
YORK STREET, PORTLAND MAINE