

CODE ANALYSIS

3 UNIT APARTMENTS - 35 YORK STREET
PORTLAND, MAINE

CODE ANALYSIS

NFPA 101 Life Safety Code - 2015 Edition
denotes if fully sprinkled - NFPA 13

Building Classification:	Chapter 30 - New Apartments (3,660 Gross sf) (3) 2 & 3-Bedroom Units
Construction Type:	V (000)
Hazard Classification:	Class II - Ordinary Hazard
Occupant Loads:	Residential 200 sf/occ. @ 3,660 sf net = 19 occ.
Dwelling Unit Separation Floors:	1 hour
Janitor, Mech, Stor Rating:	1 hour (none within unit if under 12sf)
Exit Stair Rating:	1 hour - 3 Stories or less @ exit enclosure
Minimum Stair width:	36" - less than 50 occupants
Maximum Riser height:	7"
Minimum Tread width:	11"
Minimum Headroom:	6'-8" at stairs; 7'-6" at occupied spaces
Maximum ht between landings:	12'-0"
Handrail height:	34-38"
Handrail top extension:	12" horz.
Handrail bottom extension:	11" angled + 12" horz.
Handrail diameter:	1-1/4" O.D.
Maximum baluster open space:	less than 4"
Max. Allowable Travel Distance:	100' Unit to Stair Enclosure (200' 75' within Unit to exit door (125')
Max. Allowable Common Path:	35' (50')
Max. Allowable Dead-End Corridor:	35' (50')
Minimum Egress Corridor Width:	36" - less than 50 occupants
Minimum Number of Required Exits:	2 per floor/unit; 1 if sprinkled and per 30.2.4.4
Minimum Horz Egress Enclosure rating:	1 hr.
Separation of exits:	0.5 the diagonal distance (33 if fully sprinkled)
Panic Hardware:	Not Required - less than 50 total occupants
Minimum Egress Door Width:	36" (32" clear) Self-closing at rated assembly
Exit Lighting:	Required
Emergency Lighting:	Not Required (less than 11 units)
Fire Sprinkler System:	Required - NFPA 13R
Fire Alarm System:	Not Required (less than 11 units)
Portable Fire Extinguishers:	Not Required (less than 11 units)
Smoke Detector/Alarms:	Required at all sleeping & living areas (inter-connected within dwelling unit)
Carbon Monoxide Detectors:	Required at all egress areas & common areas Required outside of sleeping rooms and fuel-burning rooms
Classification of Finishes:	Class A at Exit Enclosures Class A or Class B at Lobbies and non-rated corridors
City of Portland Compliance:	NFPA 1 & PFD Technical Standards

International Building Code - 2015 Edition
denotes if fully sprinkled per NFPA 13

Use Group Classification:	Residential (R-2) 3,660 gross sf (3) 2 & 3 Bedroom Units
Occupant Loads:	Residential 200 sf/occ. @ 3,660 net sf = 19
Tenant Separation Party Walls/Floors:	1 hour
Janitor, Mech & Storage Rooms:	1 hour
Building Limitations	
Construction Type:	VB Combustible/Unprotected/Sprinkled
Maximum Height/Floors:	3 Story/60' (NFPA 13R)
Maximum Area:	7,000 sf (NFPA 13R)
Fire Resistance Design Criteria	
Load Bearing Exterior Walls:	None
Load Bearing Interior Walls:	None
Floor/Roof Structure:	1 hr. at unit separations
Penetrations @ Rated Assemblies:	Firestopping required per Section 713
Fire Separation Exits (Stairs):	1 hour
Dwelling Unit Separations:	1 hour at walls and floors
Exit Corridors:	1 hour (none)
Attic Draftstop Area:	3,000 sf maximum
Minimum Number of Exits:	2, except 1 per Unit if less than 20 occupants per Unit, 4 Units maximum per structure/building, and fully sprinkled per NFPA 13 (1021.1, Exception 4; 1021.2, IBC 705.2 & NFPA 101)
Egress Windows:	Required per 1029 at Bedrooms above LED
Maximum Dead-End Corridor Length:	20' (50')
Maximum Common Travel Path:	75' (125')
Maximum Exit Travel Distance:	200' (250')
Minimum Stair/Corridor Width:	36" - less than 50 occupants
Maximum Riser Height:	7"
Minimum Tread Depth:	11"
Minimum Ramp Width:	36" - less than 50 occupants
Maximum Ramp Pitch:	1:12
Handrails & Guardrails:	Same as NFPA 101
Minimum Ceiling Height:	7'-6"
Fire Alarm System:	Not Required
Fire Sprinkler System:	Required - NFPA 13R
Smoke Detection/Alarm System:	Required @ living & sleeping areas & storage - Interconnected within units
Exit Lighting:	Not Required in Units; required at egress areas
Emergency Lighting:	Required @ egress areas
Portable Fire Extinguishers:	Not Required; except by AHJ
Finish Surfaces Classification:	Class B minimum
Wall/Floor Separation Acoustic Rating:	STC 50 at units
Building Live Loads	
Stairs:	100 psf (except 80 psf @ upper floor corridors)
Apartments:	40 psf

2009 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC)

MUBEC (Maine Uniform Building Energy Code)
MINIMUM INSULATION VALUES
Per 2009 IECC, Table 402.1.1 and 402.1.3
Chapter 4 - Residential Use

ZONE 6	R-VALUE	U-FACTOR	SHGC
Exterior wall*	13.0+7.5 ci	0.057	NA
Ceiling Attic	38.0	0.026	NA
Floor Joists	30.0	0.033	NA
Slab (24" band)	10.0	0.10	NA
Crawl Space (ci)	10.0	0.10	NA
Doors - Opaque 1.42	2.86	0.70	0.35
Windows		0.35	0.40

(ci) = continuous insulation
*R-21 per performance criteria for existing buildings

ISSUED FOR CONSTRUCTION
7-2-2018

135 YORK STREET

3 UNIT APARTMENT BUILDING

PORTLAND, MAINE
CBL: 044 - A007001

PEERLESS INVESTMENT L.L.C.

ABBREVIATIONS

GENERAL NOTES

MATERIALS

SYMBOLS

DRAWING INDEX

AFP	ABOVE FINISH FLOOR	HC	HANDICAP	S	SOUTH
ALUM or AL	ALUMINUM	HD WP	HARDWOOD	SAT	SUSPENDED ACUSTICAL
AMP	ACOUSTICAL WALL PANEL	HE	HEAD	SC	CEILING
BHT	BITUMINOUS	HWD	HARDWARE	SC	SHOWER CREST
BML	BENCH MARK	HM	HOLLOW METAL	SC	SCHEDULE
BOY	BEARING	HORZ	HORIZONTAL	SE	SECTION
BEG	BEARING	HT	HEIGHT	SEEP	SUPPLEMENT CAPSUM
BRK	BRICK	ID	INSIDE DIAMETER	SECT	BOARD CEILING
C	CARPET	IN	INCHES	SH	SHEET
CB	CORNER BOARD	INF	INTERIOR	SHD	SHOWER DRAIN DISPOSAL
CC	CENTER TO CENTER	INT	INTERIOR	SIM	SPECIFICATIONS
CH	CONCRETE FLOOR WITH HARDWARE	JNT or JT	JOINT	SNP	SCUMBLE
CL	CONTROL JOINT	KBC	KITCHEN EQUIPMENT CONSULTANT	SPRC	SPORTS SURFACE
CLG	CEILING	KP	KICK PLATE	SO	STANDARD
CMU	CONCRETE MASONRY UNIT	L	LAVATORY	SS	STEEL
CONC	CONCRETE	LBP	LABEL (LFB)	SST	STRUCTURAL
CONF	CONSTRUCTION	LNL	LINE	SIL	STRAIGHT VINYL BASE
CONST	CONTRACTOR	LOC	LOCATION	SJCT	SHEET VINYL
CONT	CERAMIC TILE	LS	LOCKSET	SV	SHEATHING
CT		M	MARBLE	T	TEMPERED (GLASS)
DBL	DOUBLE	MAS	MASONRY	TBP	TACK BOARD
DC	DOOR CLOSER	MAX	MAXIMUM	TI	THERMAL (INSULATED) THICKNESS
DA	DIAMETER	MB	MARKER BOARD	TK	TOP OF
DM	DIMENSION	MCH	MECHANICAL	TR	TOP OF BEAM
DNA	DIMS NOT APPLY	MFR	MANUFACTURER	TM	TOP OF MASONRY
DND	DOOR	MIN	MINIMUM	TO	TOP OF WALL
DTL	DETAIL	MISC	MISCELLANEOUS	TOB	TOILET PAPER DISPENSER TYPICAL
DWG	DRAWING	MO	MASONRY OPENING	TOP	TOP OF
E	EAST	MOB	MOISTURE RESISTANT GYPSUM BOARD	TRK	TRIM
EJ	EACH	MP	METAL PANEL	TO	TOP OF
EF	EXPANSION JOINT	MPL	METAL PANEL	TR	TRIM
EL	ELEVATION	NA	NORTH	TP	TRIM
ELEC	ELECTRICAL	NA	NOT APPLICABLE	TRP	TRIM PANEL
ELEV	ELEVATOR	NIC	NOT IN CONTRACT	TR	TRIM
EMHO	ELECTROMAGNETIC HOLD OPEN	NO	NOMINAL	TR	TRIM
EQ	EQUAL	NTS	NOT TO SCALE	TR	TRIM
EW	EACH WAY	OA	OVERALL	TR	TRIM
EXIST (or CE)	EXISTING	OC	ON CENTER	TR	TRIM
EXP	EXPANSION	OP	OPENING	TR	TRIM
EXT	EXTERIOR	OPF	OPPOSITE	TR	TRIM
FCS	FLOOR COATING SYSTEM	P	PAINT	TR	TRIM
FD	FLOOR DRAIN	PA	PANIC BAR	TR	TRIM
FDN	FOUNDATION	PB	PLYWOOD PANEL	TR	TRIM
FE	FIRE EXTINGUISHER	PL	PLATE	TR	TRIM
FIE	FINISH FLOOR ELEVATION	PLW	PLYWOOD	TR	TRIM
FIN	FINISH	PN	PANEL	TR	TRIM
FIN FL or FF	FINISH FLOOR	PLW	PLYWOOD	TR	TRIM
FIN GR	FINISH GRADE FLOOR	PS	PASSAGE LATCH SET	TR	TRIM
FL	FLOOR	PT	PRESSURE TREATED	TR	TRIM
FR	FIRE RATING	PT & D	PAPER TOWEL & WASTE DISPENSER PARTITION	TR	TRIM
FRAG	FRAGILE	RD	ROOF DRAIN	TR	TRIM
FT	FEET (FOOT)	RF	REFLECTOR	TR	TRIM
FV	FIELD VERIFY	RFN	REINFORCED	TR	TRIM
FWC	FABRIC WALL COVERING	RFN	REINFORCED	TR	TRIM
G	GRANITE	RFN	REINFORCED	TR	TRIM
GA	GAUZE	RFN	REINFORCED	TR	TRIM
GALV	GALVANIZED	RFN	REINFORCED	TR	TRIM
GC	GRAB BARS	RFN	REINFORCED	TR	TRIM
GD	GENERAL CONTRACTOR	RFN	REINFORCED	TR	TRIM
GMB	GYPSUM WALL BOARD	RFN	REINFORCED	TR	TRIM

1. ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION.
3. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA.
4. WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS. DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED.
5. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE BUILDING. SITE BURNING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH WORK DAY.
6. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS.
7. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
8. ALL CEILINGS SHALL BE LEVEL TO A TOLERANCE OF 1/8" IN A 20'-0" RADIUS WHEN CHECKED WITH A 10' STRAIGHT EDGE.
9. INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND HANDRAILS.
10. ALL GRAB BARS AND HANDRAILS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS. AT ANY POINT.
11. THESE ARCHITECTURAL DRAWINGS WERE PREPARED FOR THE OWNER AS PART OF AN ABBREVIATED SERVICES AGREEMENT, AND AS SUCH, DO NOT DELINEATE ALL ASPECTS OF THE WORK.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK INCLUDING, BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL DESIGN-BUILD ENGINEERING DISCIPLINES AND TRADES.
13. THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL.
14. ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
15. ALL NEW SHEETROCK IN WET AREAS SHALL BE MOISTURE-RESISTANT TYPE, UNLESS OTHERWISE NOTED.
16. ALL INTERIOR WALLS SHALL HAVE FULL-THICK ACOUSTICAL BATT INSULATION UNLESS NOTED OTHERWISE.
17. THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIALS PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK.
18. REFER TO THE ACCESSIBILITY DETAILS FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MHR) CONSTRUCTION CRITERIA.
19. SEAL ALL PENETRATIONS AT FIRE RATED ASSEMBLIES IN ACCORDANCE WITH IBC SECTION 713 AND APPLICABLE UL ASSEMBLIES. PROVIDE ALL WITH MATERIAL SPECIFICATIONS SHEETS FOR EACH PRODUCT INCORPORATED IN THE WORK. SEE DETAIL 10 / A7.

	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	GRAVEL
	SOIL
	STUD PARTITION (EXISTING)
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	PLYWOOD
	GYPSUM BOARD
	SUSPENDED ACOUSTICAL TILE
	BATT INSULATION
	RIGID INSULATION
	FINISH WOOD
	ONE HOUR RATED PARTITION
	TWO HOUR RATED PARTITION
	EXISTING PARTITION (SCREENED)
	NEW PARTITION

ROOM NUMBER
DOOR NUMBER
WINDOW NUMBER
BUILDING SECTION
WALL SECTION
DETAIL
CASEWORK ELEVATION
INTERIOR ELEVATION
VERTICAL ELEVATION
PARTITION TYPE
STRUCTURAL CENTERLINE

PROJECT LOCATION MAP

A-0 COVER SHEET-CODE ANALYSIS
A-1 ELEVATIONS
A-2 FIRST FLOOR PLAN & DOOR & WINDOW SCHEDULE
A-3 SECOND FLOOR PLAN
A-4 THIRD FLOOR PLAN
A-5 BUILDING SECTIONS
A-6 SECTIONS & DETAILS
S-1 FLOOR FRAMING PLANS
S-2 ROOF FRAMING PLAN
S-3 DETAILS, SECTIONS & NOTES

STRUCTURAL ENGINEER:
DANIEL GRANT, P.E.
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GORHAM, MAINE 04038

BUILDING PERMIT SET

Reviewed for Code Compliance
Permitting and Inspections Department
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08/29/2018

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PROJECT NAME
3 UNIT APARTMENT BUILDING
135 YORK STREET
PORTLAND, MAINE 04101

COVER SHEET

DATE 06 DEC 2017
SCALE A/ NOTED
DRAWN JAM/MFH
JOB NO. -

AO
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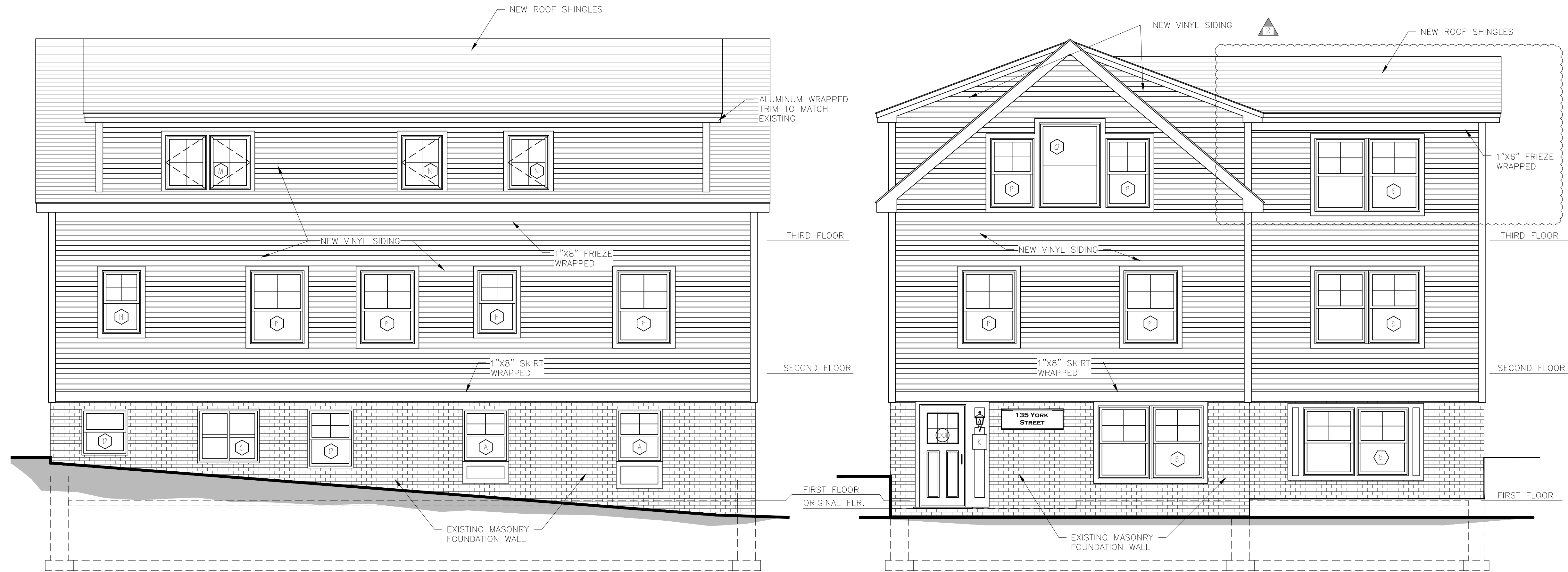
PARK STREET ELEVATION



YORK STREET ELEVATION

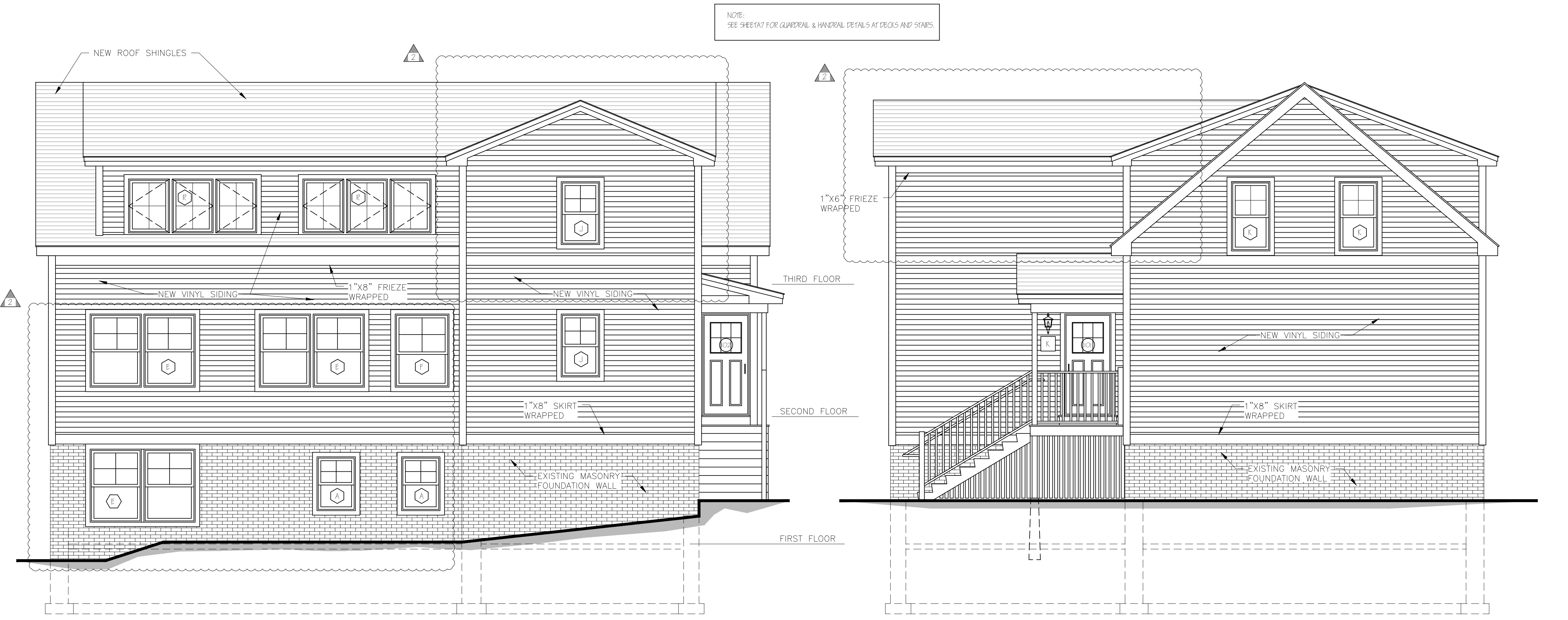


EXISTING REAR STAIR ELEVATION



PARK STREET ELEVATION

YORK STREET ELEVATION



REAR ELEVATION

WEST ELEVATION

ISSUED FOR CONSTRUCTION
7-2-2018



Reviewed for Code Compliance
Permitting and Inspections Department
08/29/2018

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LICENSED ARCHITECT
MICHAEL F. HAYS
No. 1724
Michael F. Hays

REV/NO/DATE
2/01/02/2018 FLOOR PLAN REVISION

PROJECT NAME
3 UNIT APARTMENT BUILDING
135 YORK STREET

PEERLESS INVESTMENTS, L.L.C.
1 PORTLAND SQUARE
PORTLAND, MAINE 04101

SHEET
ELEVATION

DATE
06 DEC 2017

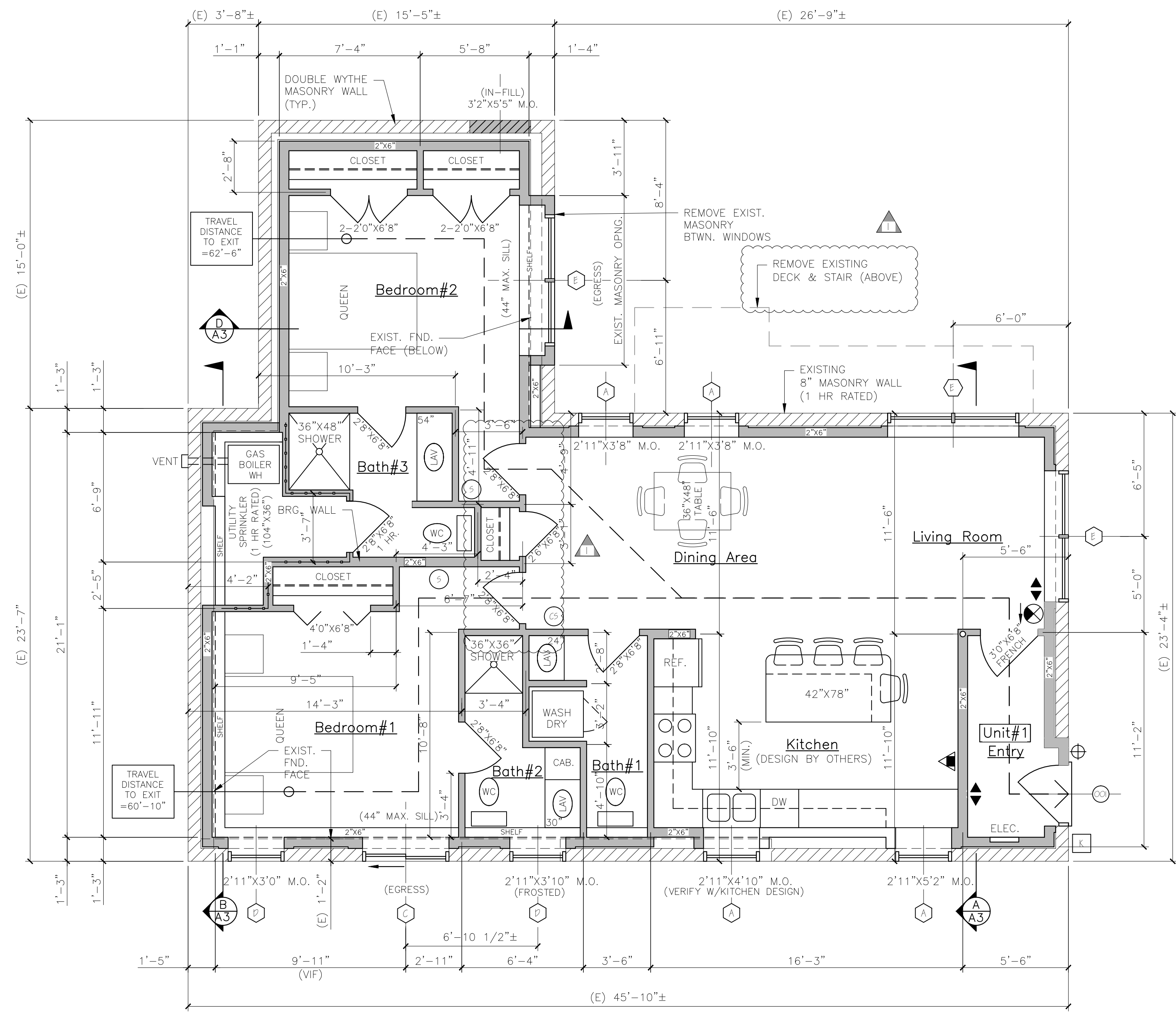
SCALE
1/4" = 1'-0"

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JAM/MFH

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-

SHEET
A1

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UNIT #1-1ST FLOOR PLAN

LEGEND	
SYMBOL	DESCRIPTION
	NEW WALL
	NEW WALL/EXISTING WALL W/INFILL
	EXISTING WALL
	THIN LINEWEIGHT DENOTES EXISTING CONDITIONS
	HEAVY LINEWEIGHT DENOTES NEW CONDITIONS
	DEMOLISHED OR REMOVED STRUCTURE OR EQUIPMENT

- ### GENERAL NOTES
- ALL HORIZONTAL UNIT SEPARATIONS (FLOOR/CEILING/ROOF) ASSEMBLIES SHALL BE 1 HR. FIRE RATED/SIC 90.
-SEE & &
 - ALL STAIR ENCLOSURES SHALL BE 1 HR. FIRE RATED.
-SEE
 - SEE SHEET A6 FOR INTERIOR STAIR HANDRAIL DETAILS
 - SEE SHEET A7 FOR EXTERIOR DECK/STAIR DETAILS
 - SEE SHEET A6 FOR FIRE RATING AT UNDERSIDE OF STAIR RUNS.

- ### LIFE SAFETY NOTES
- THE BUILDING SHALL HAVE AN NFPA 13R FIRE SUPPRESSION SPRINKLER SYSTEM INSTALLED. SPRINKLER SYSTEM SHALL BE INSTALLED BY A CERTIFIED SPRINKLER CONTRACTOR AND SHALL BE REVIEWED AND APPROVED BY THE STATE OF MAINE FIRE MARSHAL AS WELL AS THE LOCAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR THE DESIGN AND INSTALLATION OF THE SYSTEM FOR OCCUPANCY.
 - ALL ALARMS AND DETECTORS SHALL BE INTERCONNECTED.
 - REFER TO THE WINDOW SCHEDULE FOR EGRESS WINDOWS.

NFPA LEGEND

	EXIT LIGHT
	FIRE EXTINGUISHER
	EMERGENCY LIGHT
	SMOKE DETECTOR W/ SOUNDER BASE & SHROBE (INTERCONNECTED)
	COMBINATION CARBON MONOXIDE / SMOKE DETECTOR W/ SOUNDER BASE & SHROBE (INTERCONNECTED)
	KNOX BOX-LOCATE PER ANJI
	1 HR RATED PARTITION
	1 HR RATED SEPARATION PARTITION
	EGRESS LIGHT

NOTE: WINDOW SUPPLIER SHALL PROVIDE IRM PACKAGE AND ADJUST MILLED UNITS ROUGH OPENINGS AS REQUIRED.
NOTE: ** CONTRACTOR SHALL VERIFY ROUGH OPENINGS BEFORE FRAMING OPENINGS
NOTE: SEE ELEVATIONS FOR GRILLE PATTERNS, ORDER ACCORDINGLY.

DOOR SCHEDULE

NO.	SIZE (W/H) (E)=EXISTING	INSUL	FIRE RATING	HARDWARE	SWING	REMARKS
10	3'-0"x6'-8"	R-7	1 HR	HW-1	SEE PLAN	* DOOR/FRAME ASSEMBLY, SELF CLOSING, 1/3 VIEW GLAZING
11	3'-0"x6'-8"	R-7	1 HR	HW-1	SEE PLAN	* DOOR/FRAME ASSEMBLY, SELF CLOSING, 1/3 VIEW GLAZING
12	3'-0"x6'-8"	R-7	1 HR	HW-1	SEE PLAN	* DOOR/FRAME ASSEMBLY, SELF CLOSING, 1/3 VIEW GLAZING
HW-1	3 BUTTS; DOOR ENTRY LEVEL LOCKSET; THREE SHROUD WEATHER STRIPPING; DOOR BOTTOM, DOOR VIEWER					* GC OPTION: SELF CLOSING BUTTS OR DOOR CLOSERS
INTERNAL UNIT DOORS	3 BUTTS; LEVER LATCH SET, EXCEPT PRIVACY SET AT BATHROOMS					* GC OPTION: SELF CLOSING BUTTS OR DOOR CLOSERS

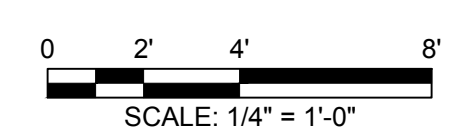
WINDOW SCHEDULE

NO.	SIZE (W/H)	TYPE	FIRE RATING	GLAZING	ROUGH OPENING (W/H)	REMARKS
A	2452	DOUBLE-HUNG	NONE	INSUL. GL.	2'-6"X9'-5 1/2"	HARVEY
B	2452	DOUBLE-HUNG	NONE	TEMPERED, INSUL. GL.	2'-6"X9'-5 1/2"	HARVEY - PROSSED BOTTOM SASH
C	RM4656	SLIDER	NONE	INSUL. GL.	4'-6"X5'-6"	HARVEY - EGRESS WITH DR STYLE GRILL
D	REPLACEMENT	DOUBLE-HUNG	NONE	INSUL. GL.	FIELD VERIFY	HARVEY WITH DR STYLE GRILL
E	3446-2	DOUBLE-HUNG	NONE	INSUL. GL.	6'-10 1/4"X4'-9 1/2"	HARVEY - EGRESS
F	3446	DOUBLE-HUNG	NONE	INSUL. GL.	5'-6"X4'-9 1/2"	HARVEY - EGRESS
G	2052	DOUBLE-HUNG	NONE	TEMPERED, INSUL. GL.	2'-2"X5'-5 1/2"	HARVEY
H	2450	DOUBLE-HUNG	NONE	INSUL. GL.	2'-6"X4'-1 1/2"	HARVEY
I	2450	DOUBLE-HUNG	NONE	TEMPERED, INSUL. GL.	2'-6"X4'-1 1/2"	HARVEY
J	2442	DOUBLE-HUNG	NONE	INSUL. GL.	2'-6"X4'-5 1/2"	HARVEY
K	2442	DOUBLE-HUNG	NONE	TEMPERED, INSUL. GL.	2'-6"X4'-5 1/2"	HARVEY
L	2856-2	CASEMENT	NONE	INSUL. GL.	5'-4"X5'-6"	HARVEY - EGRESS) EGRESS HINGE REQUIRED
M	2856	CASEMENT	NONE	INSUL. GL.	2'-8"X5'-6"	HARVEY
N	2846	DOUBLE-HUNG	NONE	INSUL. GL.	2'-10"X4'-9 1/2"	HARVEY
O	4052 PW	PICTURE	NONE	TEMPERED, INSUL. GL.	4'-2"X5'-5 1/2"	HARVEY
P	2856-3	CASEMENT	NONE	INSUL. GL.	8'-0 1/2"X3'-6"	HARVEY

NOTE: VERIFY ALL WINDOW AND DOOR SIZES AND STYLES WITH OWNER BEFORE ORDERING.
NOTE: CONTRACTOR SHALL VERIFY WITH WINDOW SUPPLIER THAT ALL WINDOW ORDERED SHALL MEET EGRESS REQUIREMENTS, FIT AS SHOWN, FALL PROTECTION CLIPS, AND MEET REQUIRED MAXIMUM SILL HEIGHTS BEFORE ORDERING.
NOTE: SEE STRUCTURAL HEADER SCHEDULE FOR HEADER SIZE

WINDOW & DOOR SCHEDULE & HARDWARE SETS

ISSUED FOR CONSTRUCTION
7-2-2018



REVISIONS
1 01/19/2018 EDITS PER PLAN REVIEW
2 07/02/2018 FLOOR PLAN REVISION

PROJECT NAME

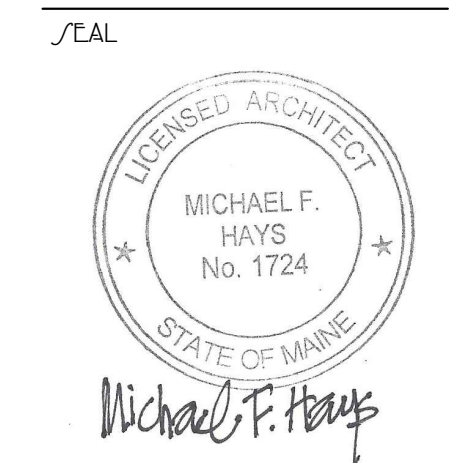
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135 YORK STREET
PEERLESS INVESTMENTS, L.L.C.
1 PORTLAND SQUARE
PORTLAND, MAINE 04101

SHEET

FIRST FLOOR PLAN

DATE: 06 DEC 2017
SCALE: 1/4"=1'-0"
DRAWN: JAM/MFH
JOB NO.:

SHEET
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REVISIONS
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 2. 07/02/2018 FLOOR PLAN REVISION

PROJECT NAME

3 UNIT APARTMENT BUILDING
135 YORK STREET
 PEERLESS INVESTMENTS, LLC.
 1 PORTLAND SQUARE
 PORTLAND, MAINE 04101

SHEET

SECOND FLOOR PLAN

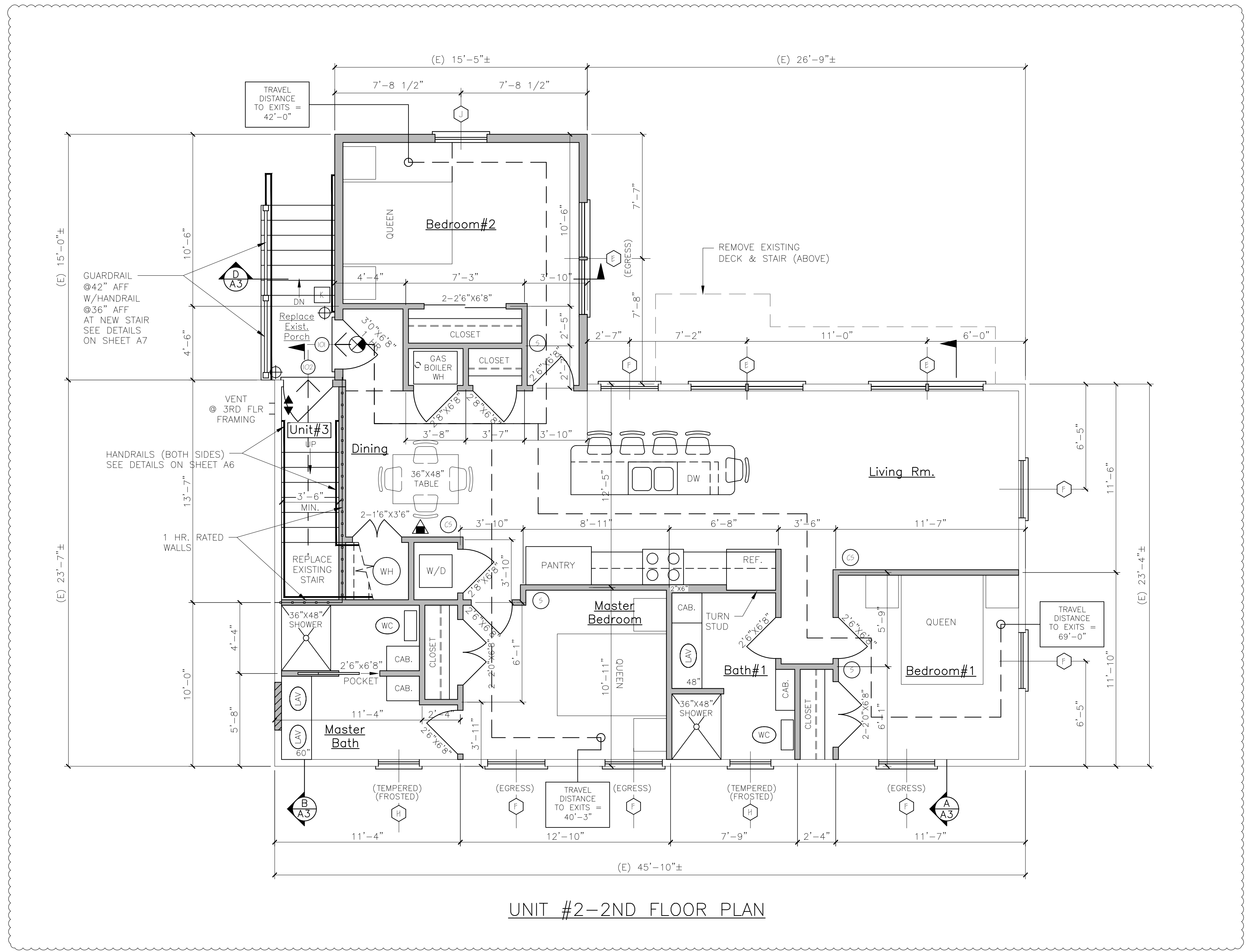
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NFPA LEGEND	
	EXIT LIGHT
	FIRE EXTINGUISHER
	EMERGENCY LIGHT
	SMOKE DETECTOR W/ SOUNDER BASE & STROBE (INTERCONNECTED)
	COMBINATION CARBON MONOXIDE / SMOKE DETECTOR W/ SOUNDER BASE & STROBE (INTERCONNECTED)
	KNOX BOX-LOCATE PER AWJ
	1 HR RATED PARTITION
	1 HR RATED SEPARATION PARTITION
	EGRESS LIGHT

- GENERAL NOTES**
- ALL HORIZONTAL UNIT SEPARATIONS (FLOOR/CEILING/ROOF) ASSEMBLIES SHALL BE 1 HR. FIRE RATED / SIC 90.
 -SEE (S/A6) & (10/A6) & (14/A6)
 - ALL STAIR ENCLOSURES SHALL BE 1 HR. FIRE RATED.
 -SEE (8/A6)
 - SEE SHEET A6 FOR INTERIOR STAIR HANDRAIL DETAILS
 - SEE SHEET A7 FOR EXTERIOR DECK/ STAIR DETAILS
 - SEE SHEET A6 FOR FIRE RATING AT UNDERSIDE OF STAIRS RUNS.
 (4/A6)

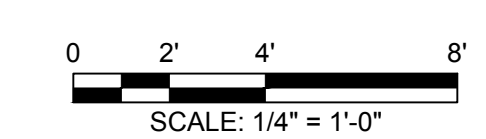
- LIFE SAFETY NOTES**
- THE BUILDING SHALL HAVE AN NFPA 13R FIRE SUPPRESSION SPRINKLER SYSTEM INSTALLED. SPRINKLER SYSTEM SHALL BE INSTALLED BY A CERTIFIED SPRINKLER CONTRACTOR AND SHALL BE REVIEWED AND APPROVED BY THE STATE OF MAINE FIRE MARSHAL AS WELL AS THE LOCAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR THE DESIGN AND INSTALLATION OF THE SYSTEM FOR OCCUPANCY.
 - ALL ALARMS AND DETECTORS SHALL BE INTERCONNECTED.
 - REFER TO THE WINDOW SCHEDULE FOR EGRESS WINDOWS.

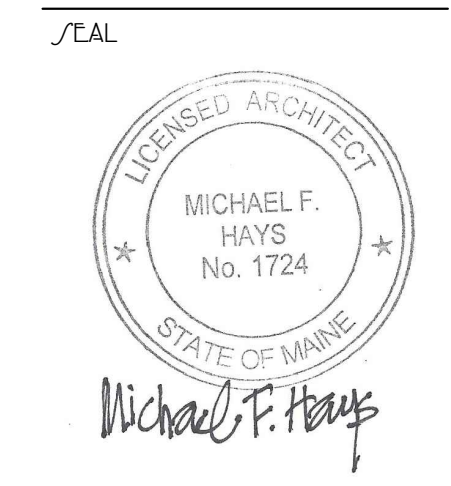


UNIT #2-2ND FLOOR PLAN

LEGEND	
SYMBOL	DESCRIPTION
	NEW WALL
	NEW WALL/EXISTING WALL W/INFILL
	EXISTING WALL
	THIN LINEWEIGHT DENOTES EXISTING CONDITIONS
	HEAVY LINEWEIGHT DENOTES NEW CONDITIONS
	DEMOLISHED OR REMOVED STRUCTURE OR EQUIPMENT

ISSUED FOR CONSTRUCTION
 7-2-2018





REVISIONS
 1 01/02/2018 FLOOR PLAN REVISION

PROJECT NAME

3 UNIT APARTMENT BUILDING
135 YORK STREET
 PEERLESS INVESTMENTS, L.L.C.
 1 PORTLAND SQUARE
 PORTLAND, MAINE 04101

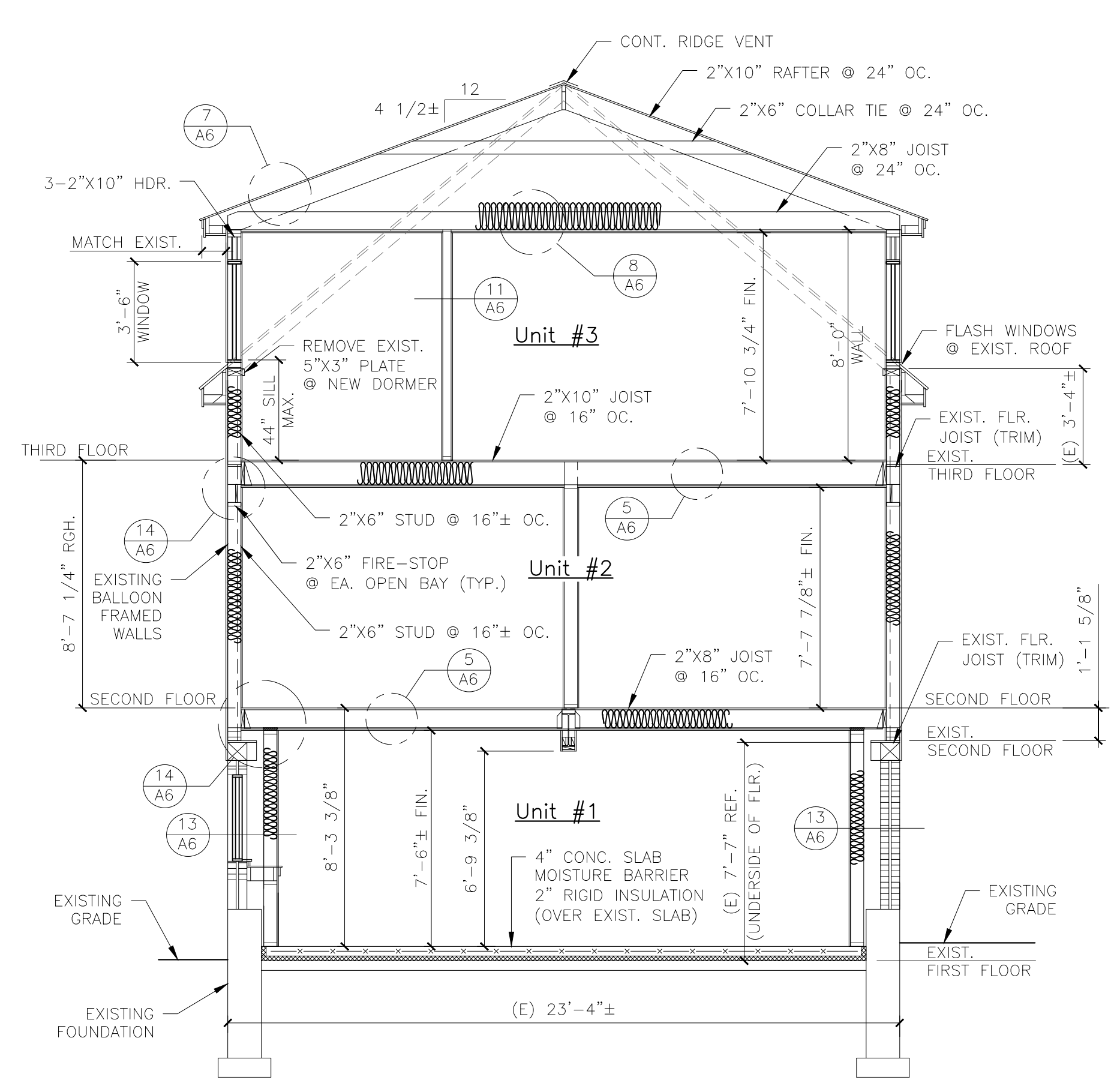
SHEET

BUILDING SECTION

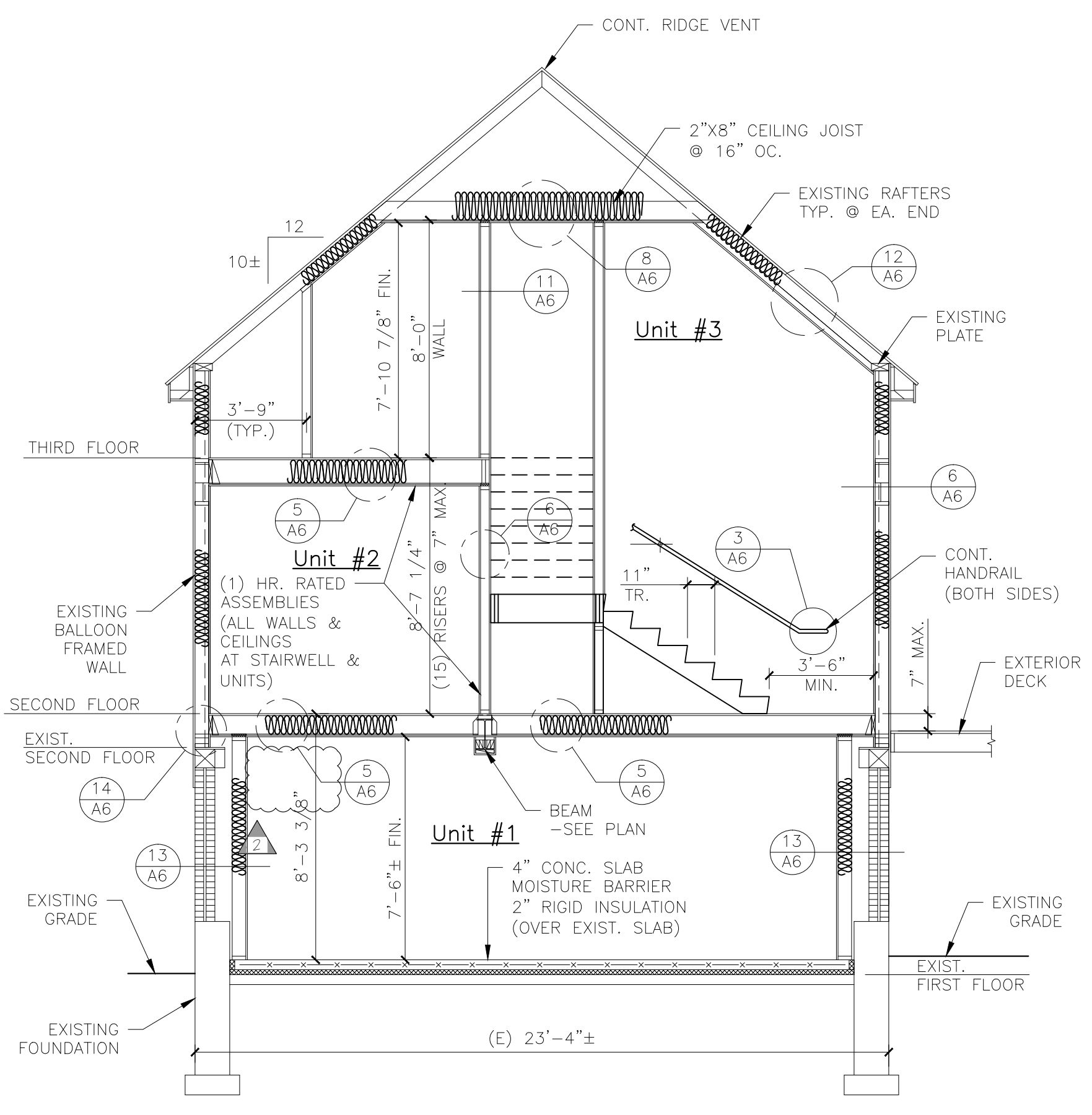
DATE: 06 DEC 2017
 SCALE: AS NOTED
 DRAWN: JAM/MFH
 JOB NO. -

SHEET

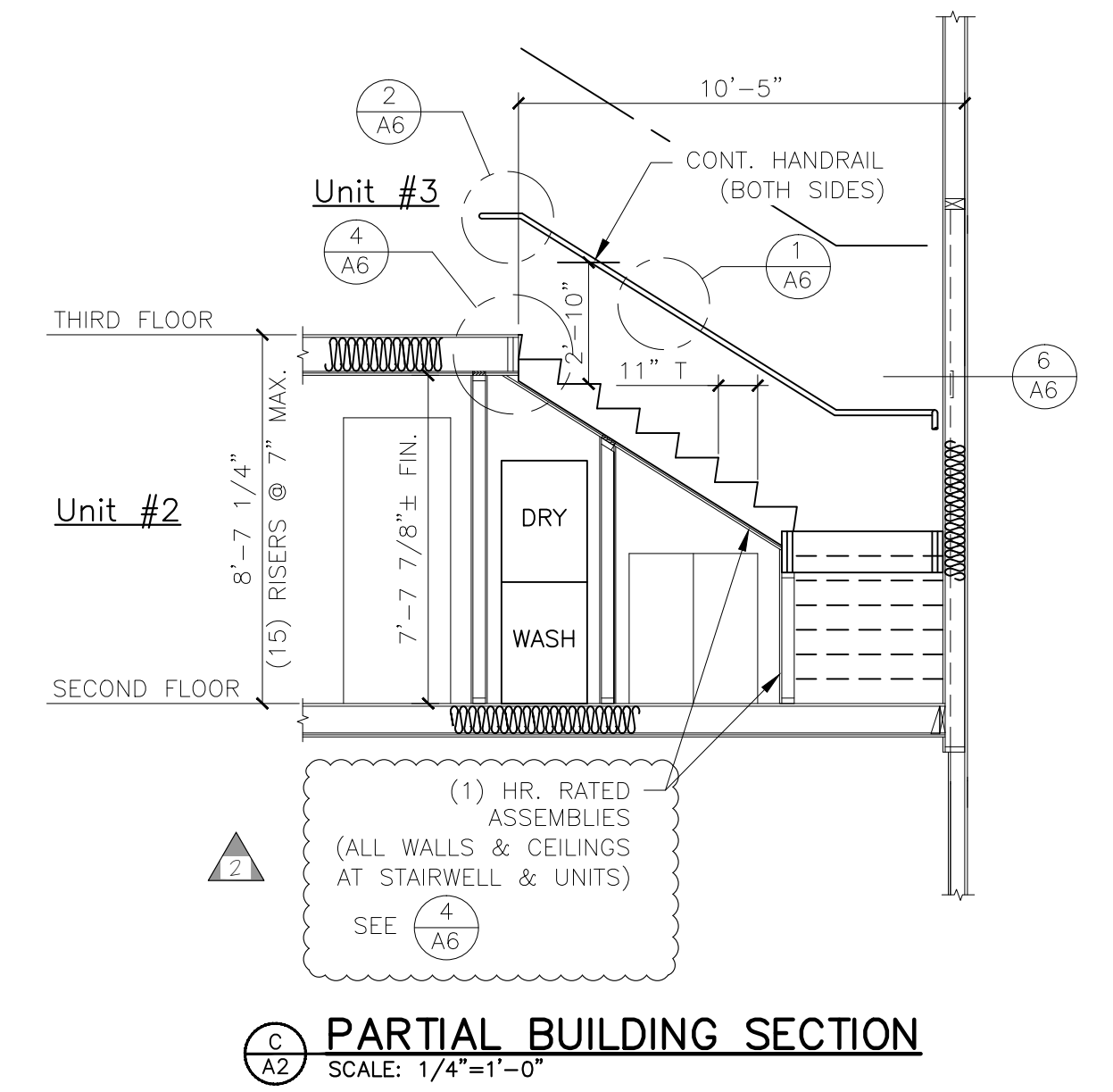
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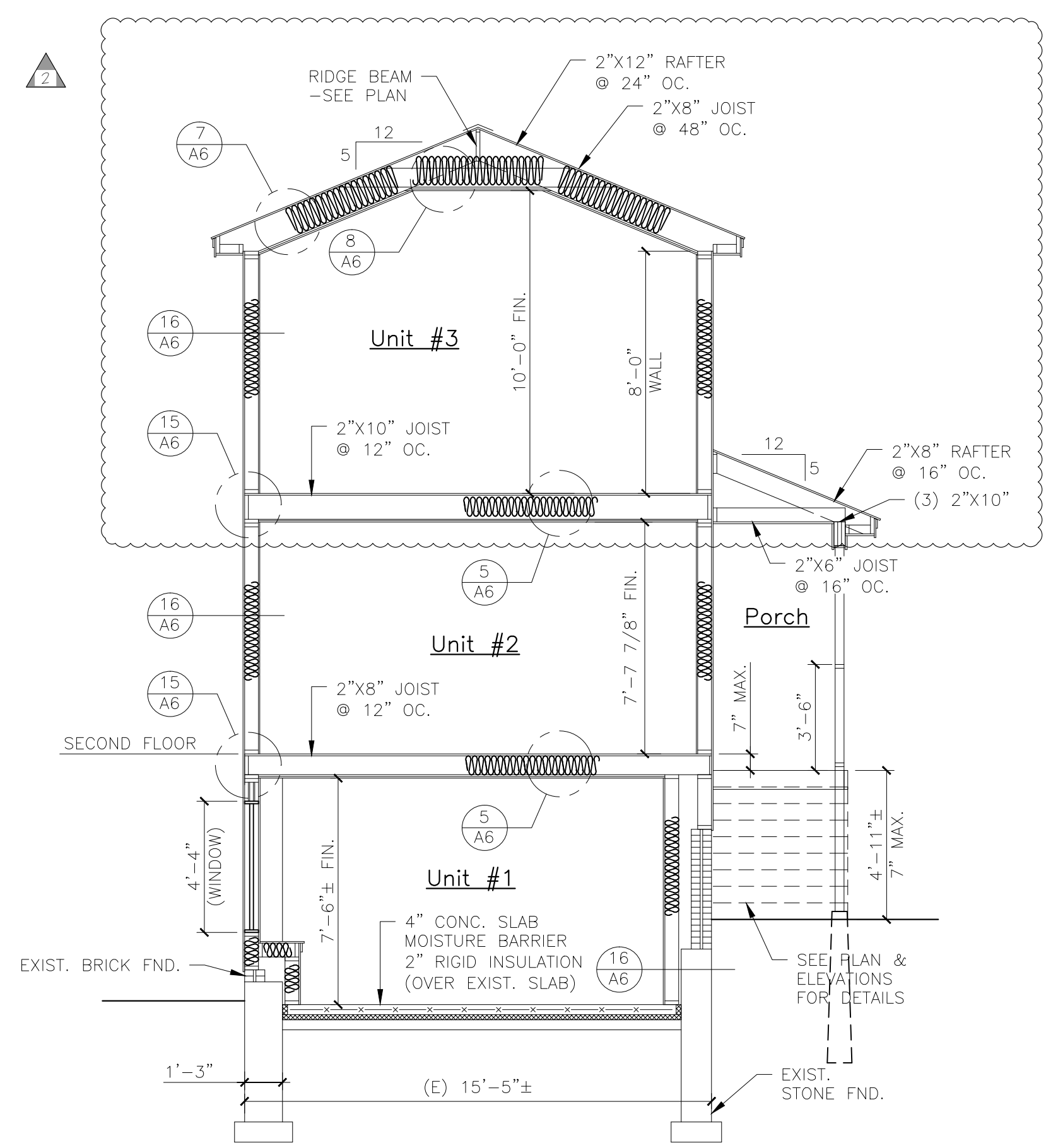
A BUILDING SECTION
 SCALE: 1/4"=1'-0"



B BUILDING SECTION
 SCALE: 1/4"=1'-0"



C PARTIAL BUILDING SECTION
 SCALE: 1/4"=1'-0"



D BUILDING SECTION
 SCALE: 1/4"=1'-0"

CONSTRUCTION STANDARD NOTES:

(THE FOLLOWING NOTES ARE FOR INFORMATION USE ONLY. THEY SHOULD NOT BE INTERPRETED AS CODE OR VIEWED AS THE COMPLETE CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE CITY ADOPTED CODE BEFORE ANY CONSTRUCTION BEGINS AND SHALL FULLY IMPLEMENT THE CODE DURING CONSTRUCTION.)

- STAIRS**
1. ALL STAIRS SHALL COMPLY WITH THE CITY ADOPTED STAIR CODE. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 42" ABOVE SURFACE OF TREAD. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4". GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR ORNAMENTAL PATTERNS THAT RESULT IN A LADDER EFFECT.
 2. ALL PORCHES, BALCONIES, & DECKS AND RASSED SURFACES MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE GUARDS NOT LESS THAN 42" IN HEIGHT. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4". GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR ORNAMENTAL PATTERNS THAT RESULT IN A LADDER EFFECT.
 3. ALL STAIRS SHALL MAINTAIN A MINIMUM OF 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE AND MAINTAIN MINIMUM CLEAR WIDTH AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREAD AND LANDINGS. STAIR WIDTH SHALL NOT BE LESS THAN 31.5", WHERE A HANDRAIL IS INSTALLED ON BOTH SIDES.
 4. THE MIN. HEADROOM OF THE STAIRWAY SHALL NOT BE LESS THAN 8'-0" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM SURFACE OF LANDING OR PLATFORM.
 5. THE MAXIMUM RISER HEIGHT SHALL BE 7" AND WINDOW SHALL BE 4". THE MINIMUM TREAD DEPTH SHALL BE 11" (MEASURED FROM LEADING EDGE OF TREAD TO LEADING EDGE OF TREAD). A NOSING NOT BE LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE REQUIRED ON TREADS WHERE THE DEPTH IS LESS THAN 11". OPENINGS IN RISERS SHALL NOT EXCEED 4". THE GREATEST TREAD DEPTH AND RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

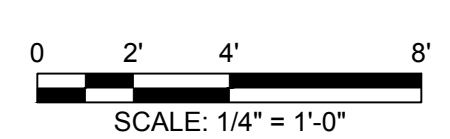
- SMOKE/CO ALARMS**
1. ALL ALARMS SHALL BE A COMBINATION SMOKE AND CO ALARMS AND SHALL BE LISTED IN ACCORDANCE WITH UL 217. THEY SHALL BE INSTALLED IN PROVISION TO THE CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
 2. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND SMOKE/CO ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ALSO ONE SHALL BE INSTALLED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT. IN NEW CONSTRUCTION SMOKE/CO ALARMS SHALL BE CONNECTED TO THE PRIMARY BUILDING POWER AND HAVE A BATTERY BACKUP.

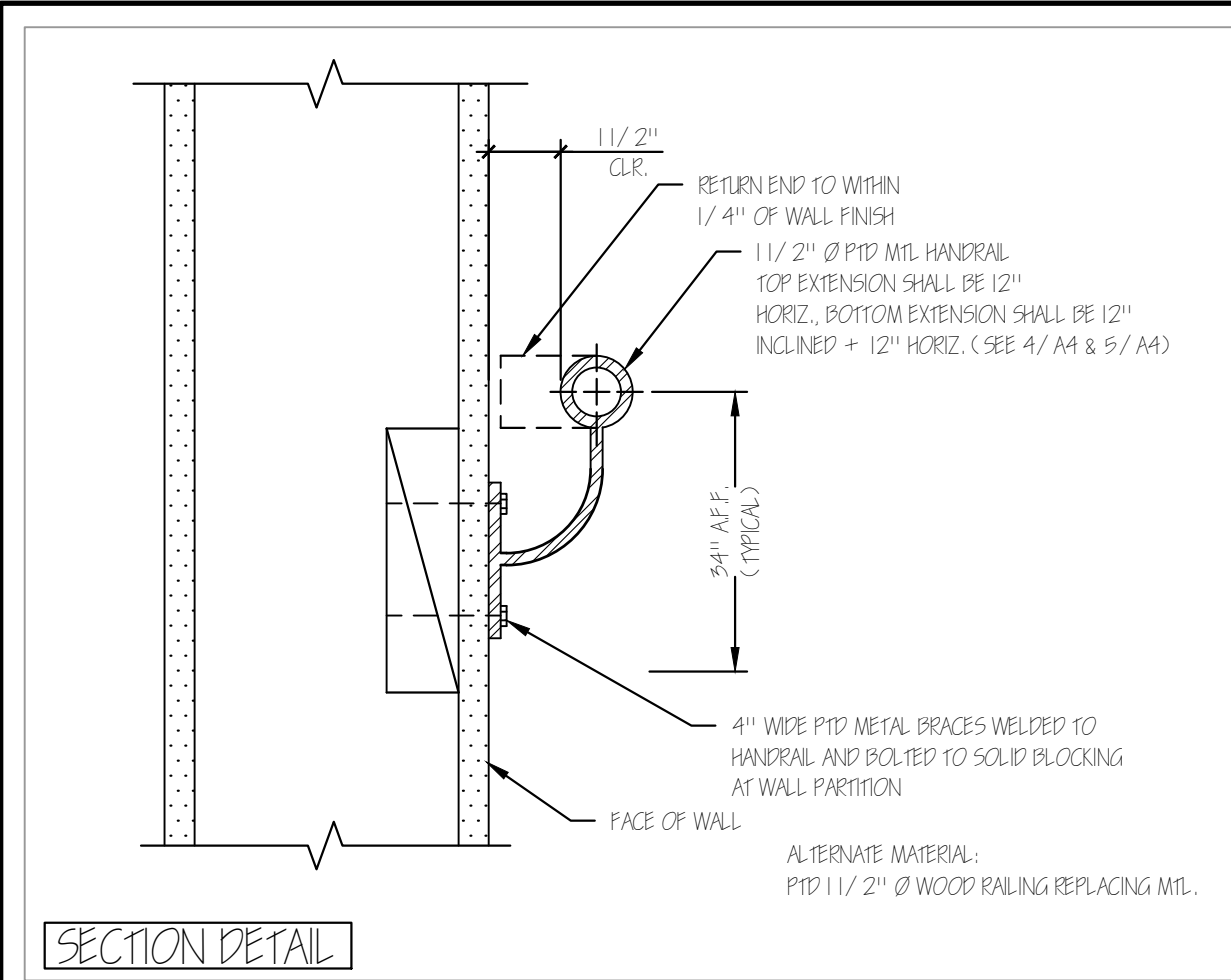
- WINDOWS**
1. BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING EXTING DIRECTLY TO THE OUTSIDE. EGRESS WINDOWS SHALL MEET NET OPENING REQUIREMENTS OF 5.0 SQ. FT. (GRADE FLOOR) AND 5.7 SQ. FT. (OTHER FLOORS) WITH A MIN. CLEAR OPENING HEIGHT OF 24", A MIN. CLEAR OPENING WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISH FLOOR.
 2. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS:
 - GLAZING IN BATHROOMS WHERE IT IS LOWER THAN 60" FROM ANY VERTICAL SURFACE.
 - GLAZING LESS THAN 60" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION.
 - GLAZING BOTTOM LESS THAN 24" ABOVE THE FLOOR.
 - GLAZING ENCLOSING STAIRWAY LANDINGS OR WITHIN 60" OF TOP & BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 3. FALL PREVENTION CLIPS SHALL BE INSTALLED ON ALL WINDOWS WHERE THE SILL IS LOCATED MORE THAN 72" ABOVE FINISH GRADE OR SURFACE BELOW, AND THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" ABOVE FINISH FLOOR.

- DWELLING UNIT SEPARATION**
1. DWELLING UNITS IN A THREE FAMILY SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES WITH A 1-HOUR FIRE RESISTANCE RATING AND EXTEND TO EXTERIOR WALL SHEATHING. 1/2 HOUR FIRE RESISTANT RATING IS REQUIRED WITH AN AUTOMATIC SPRINKLER SYSTEM.
 2. ATTIC ACCESS SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQ. FT. AND HAVE A VERTICAL HEIGHT OF 30" OR MORE. THE ROUGH OPENING SHALL BE NOT LESS THAN 22" X 30" LOCATED IN A READILY ACCESSIBLE LOCATION.

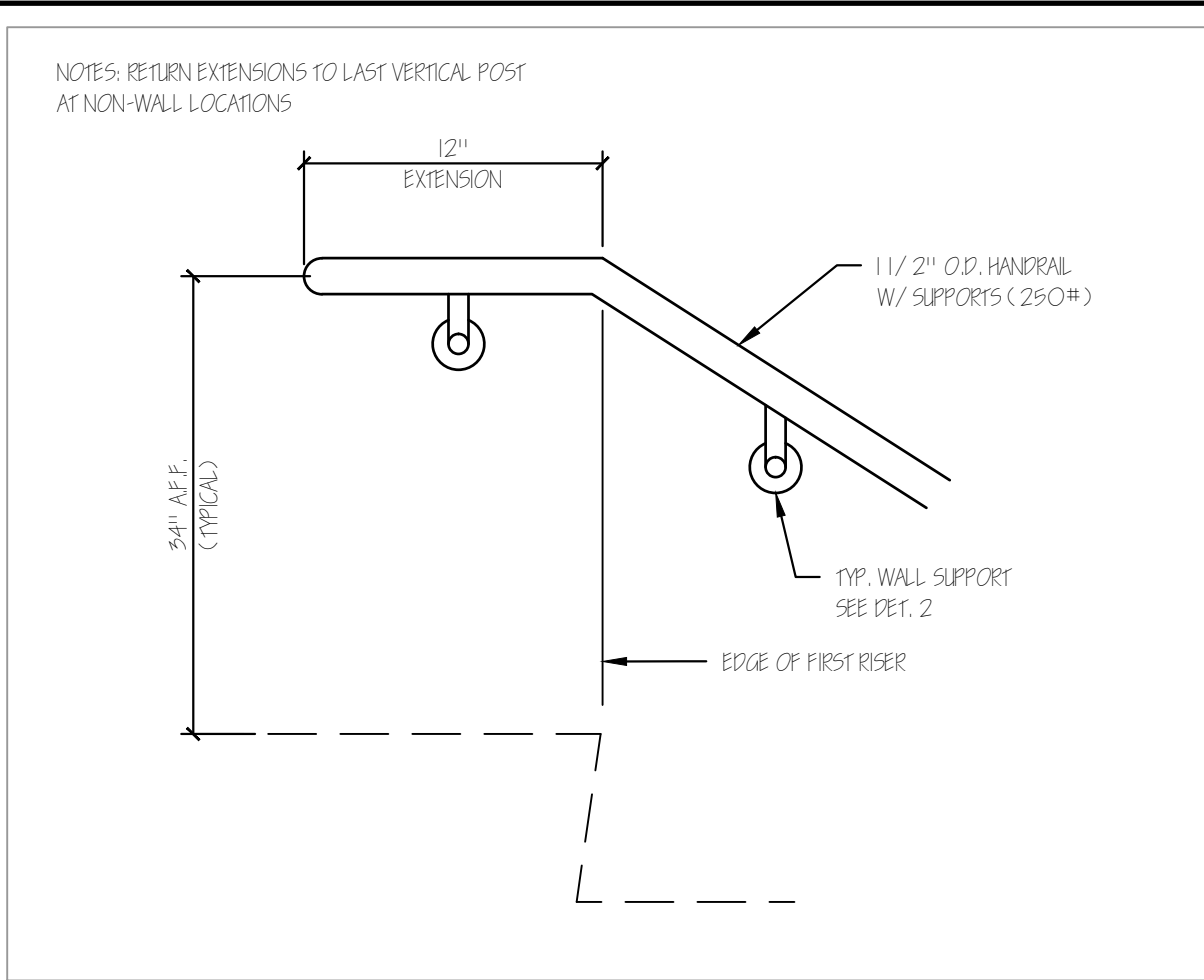
- INSULATION & VENTILATION**
1. COMPLY WITH MAINE UNIFORM BUILDING AND ENERGY CODE
 LOCATION: CUMBERLAND COUNTY, MAINE
 HSB: 7200-849
 MINIMUM INSULATION R-VALUES:
 GLAZING: U-0.30 MINIMUM
 SKYLIGHT: U-0.80 MINIMUM
 CEILING: R-49 SLOPED OR CATHEDRAL: R-30 OR 38 IF > 500 SQ. FT
 DOOR: U-0.35
 WOOD FRAMED WALLS: R-21
 WOOD FLOORS (OVER HEATED SPACE): R30
 BASEMENT WALLS: R-10 CONTINUOUS OR 19 CAVITY
 SLAB (HEATED SPACE R-10) & DEPTH: R-10 TO 4 FT. PERIMETER
 CRAWL SPACE: R-10 CONTINUOUS OR 13 CAVITY
 2. UNHEATED CRAWL SPACES SHALL HAVE VENTILATION OPENINGS OF A MINIMUM OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA, AND SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING. UNVENTED CRAWL SPACES SHALL HAVE A VAPOR RETARDANT WITH 4' OVERLAPPED SEALED SEAMS AND EDGES THAT SHALL EXTEND UP AT ON THE STEM WALLS WHICH SHALL BE ATTACHED AND SEALED. UNVENTED CRAWL SPACE SHALL HAVE A CONTINUOUSLY OPERATING MECHANICAL EXHAUST SYSTEM OR CONDITIONED AIR SUPPLY PER IRC CODE REQUIREMENTS.

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 7-2-2018

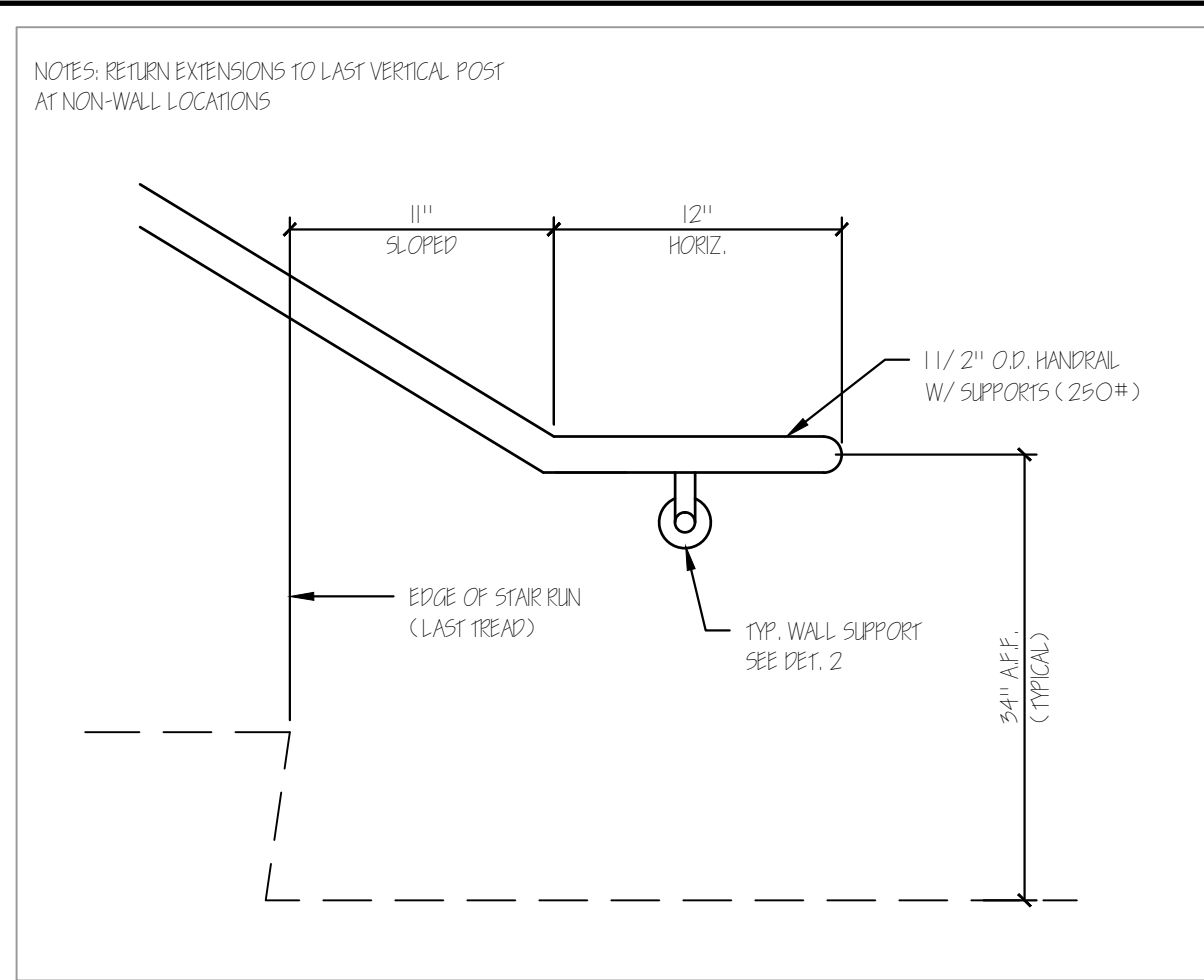




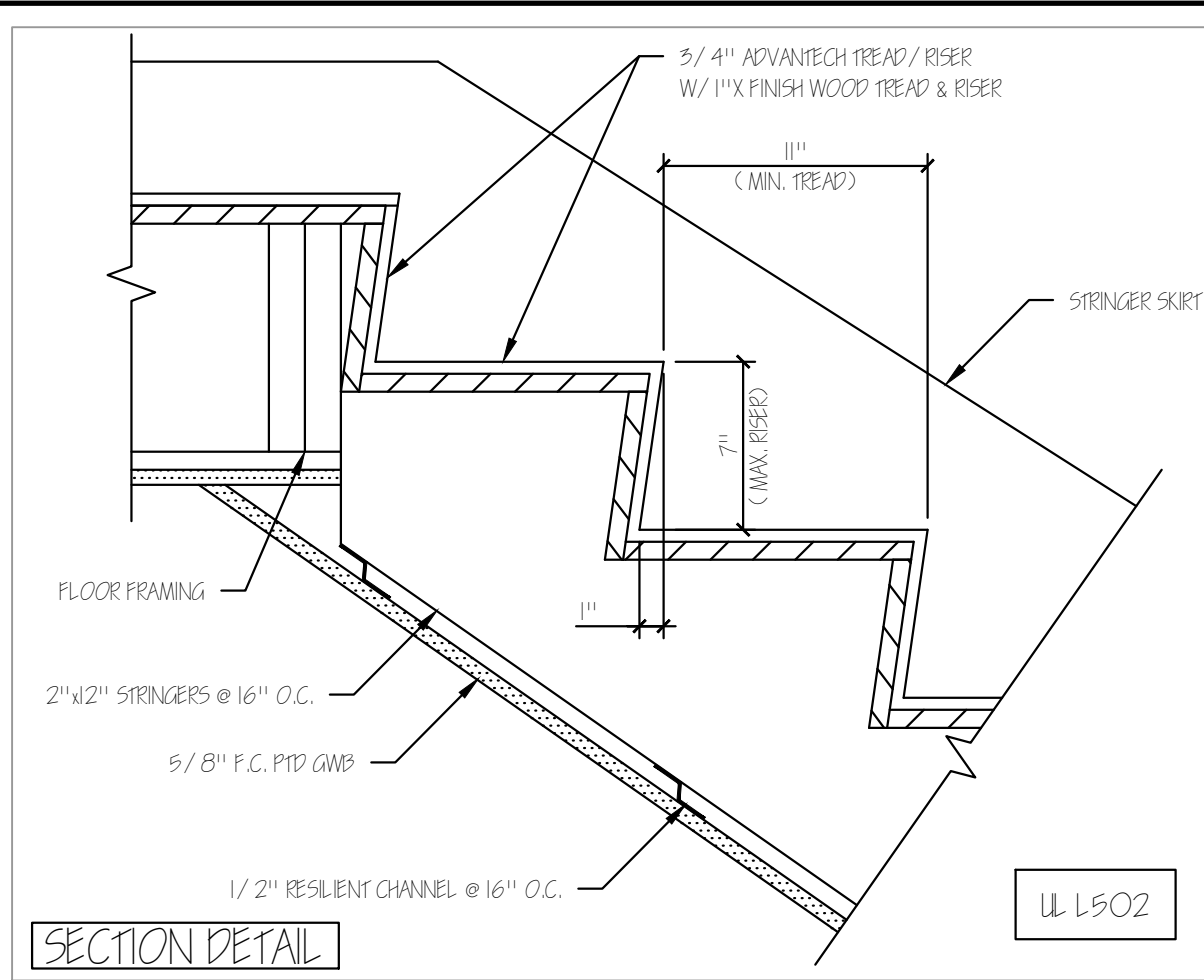
1 TYPICAL WALL HANDRAIL SECTION 3"=1'-0"



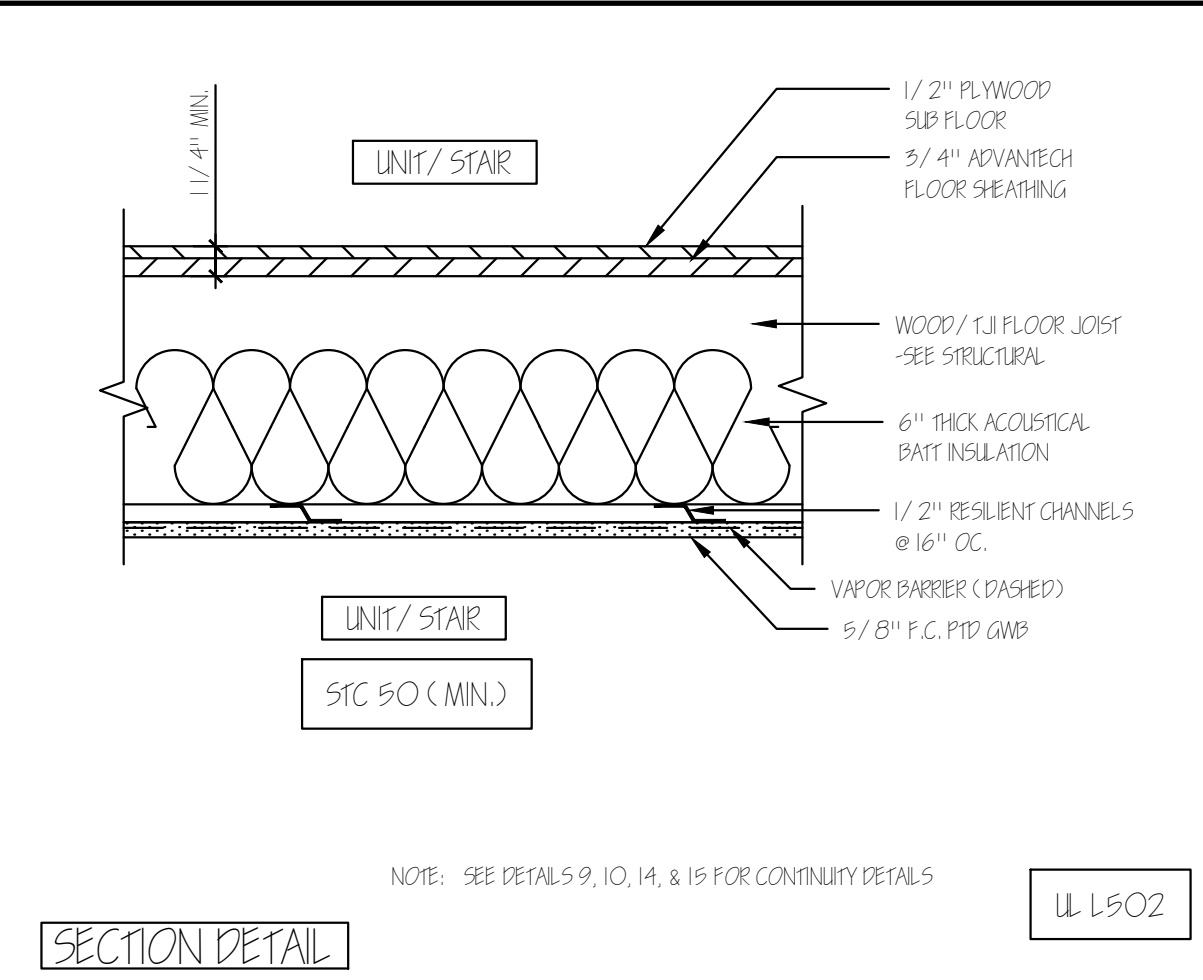
2 TYPICAL WALL HANDRAIL-TOP 3"=1'-0"



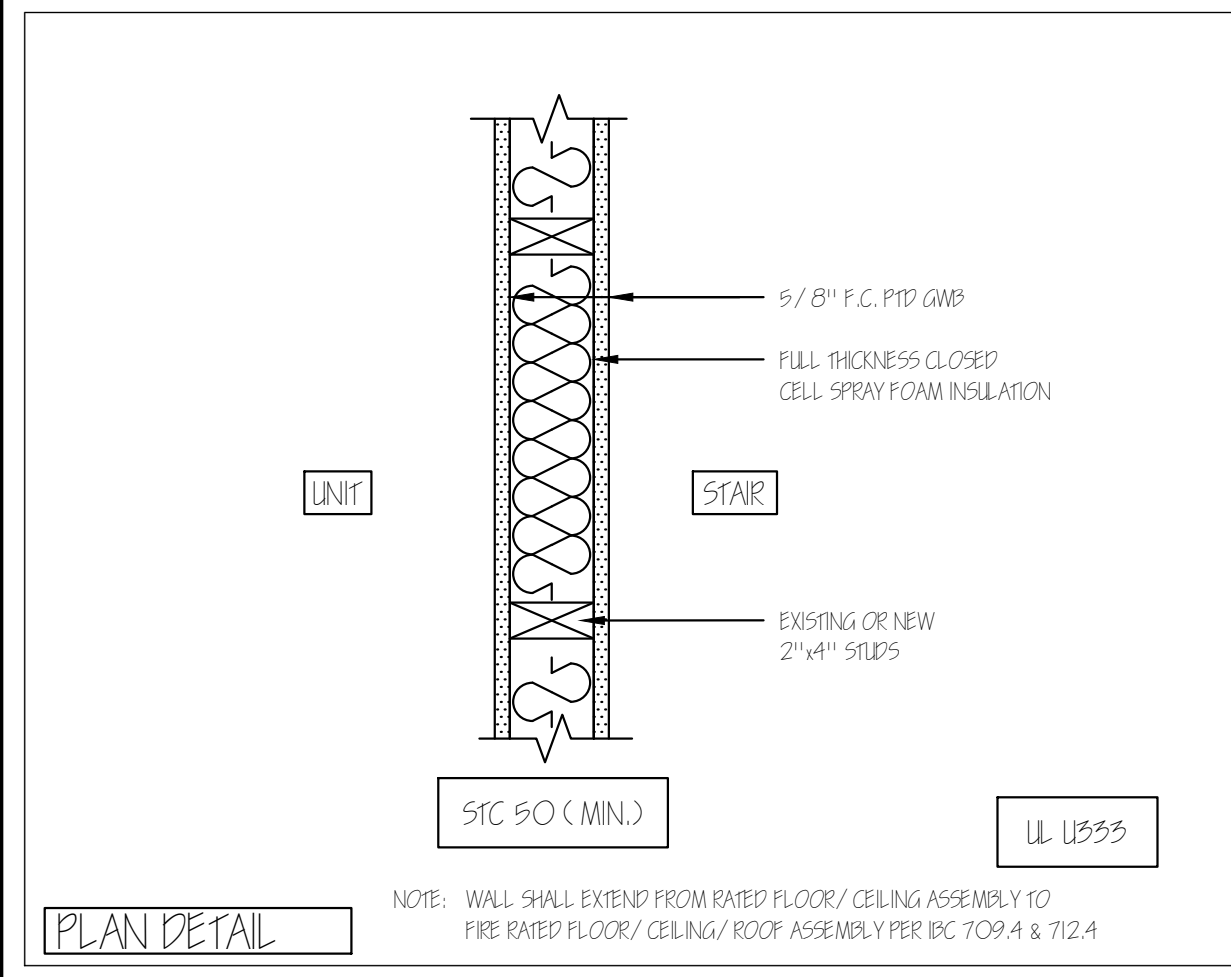
3 TYPICAL WALL HANDRAIL-BOTTOM 3"=1'-0"



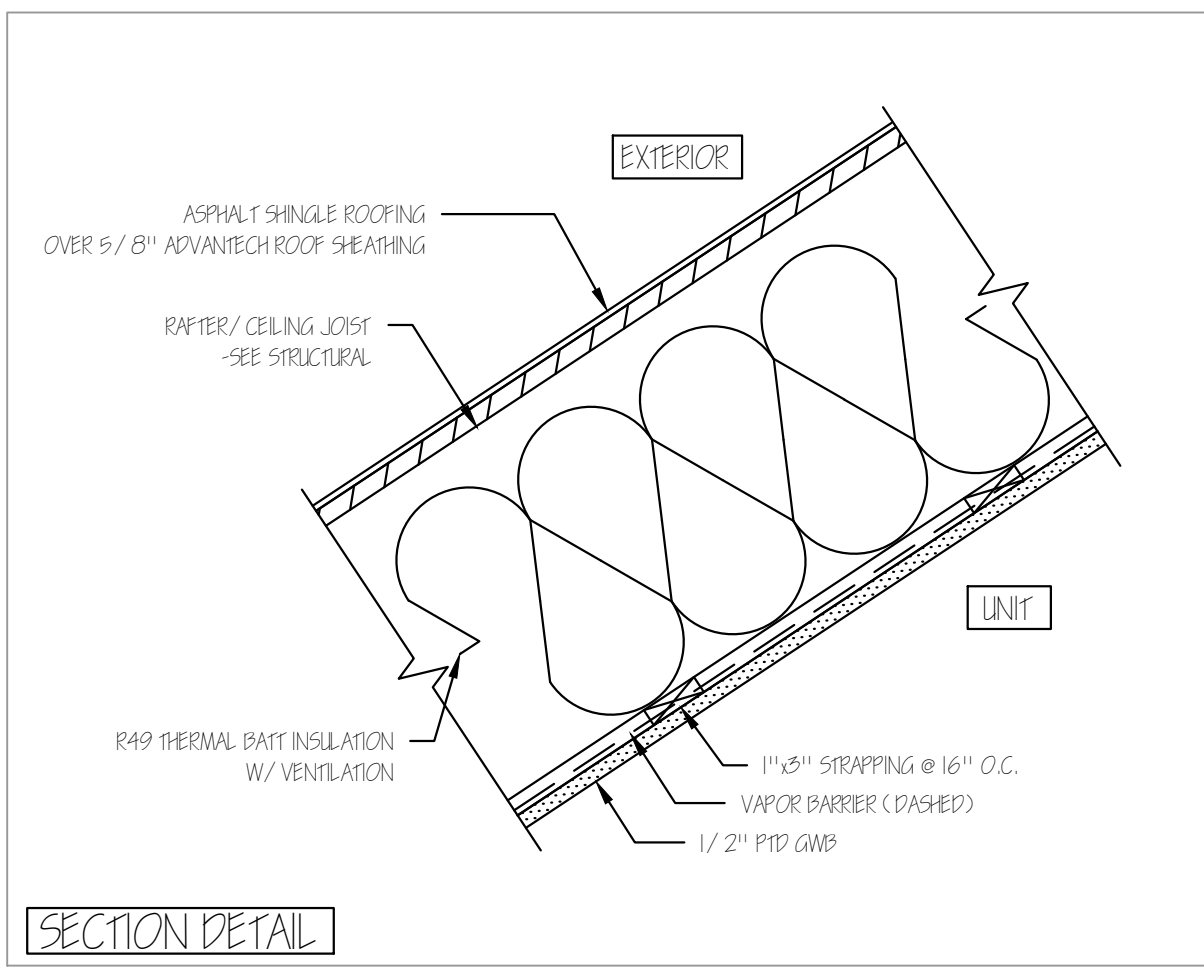
4 INTERIOR STAIR RISER/ TREAD DETAIL 1 1/2"=1'-0"



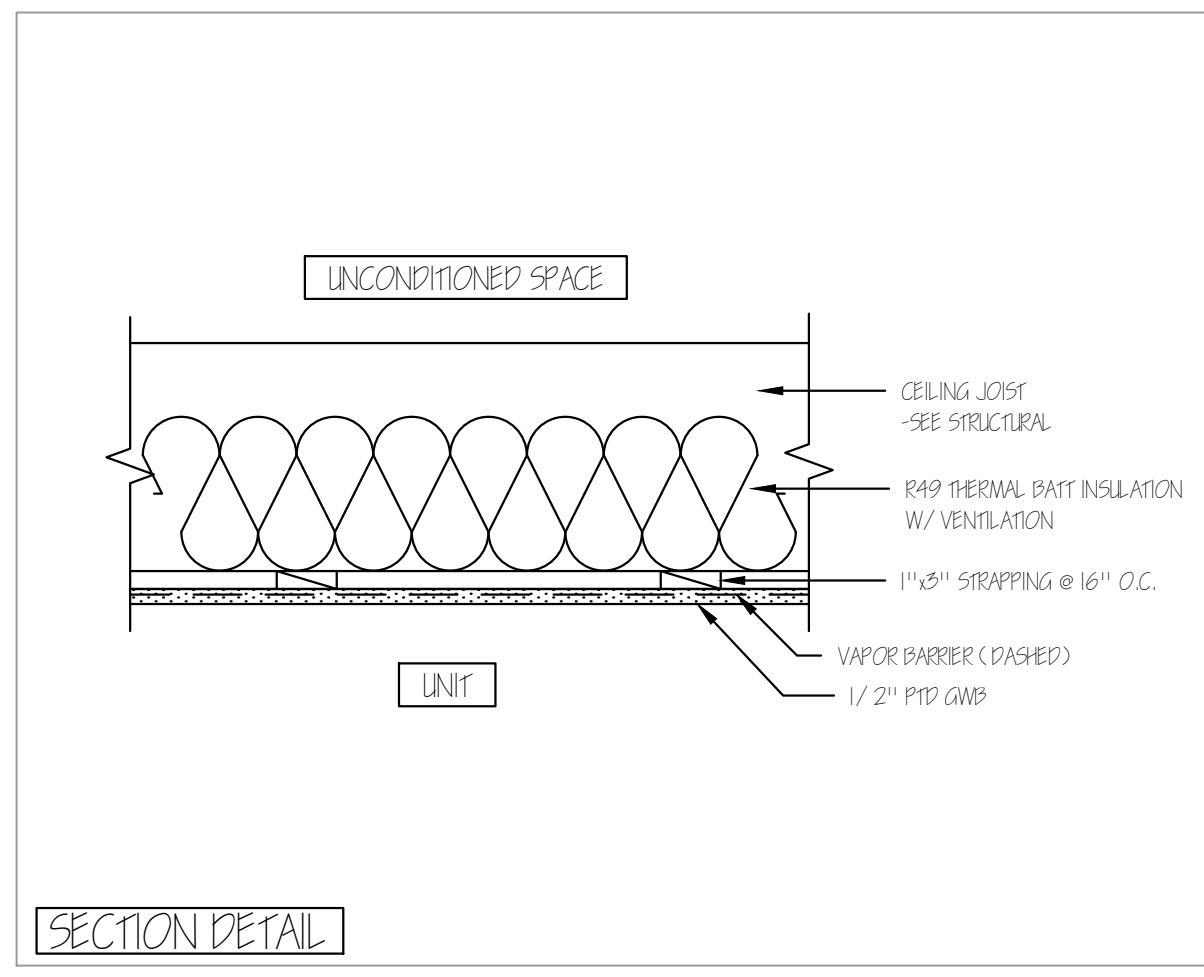
5 1 HR RATED FLOOR/ CEILING ASSEMBLY 1 1/2"=1'-0"



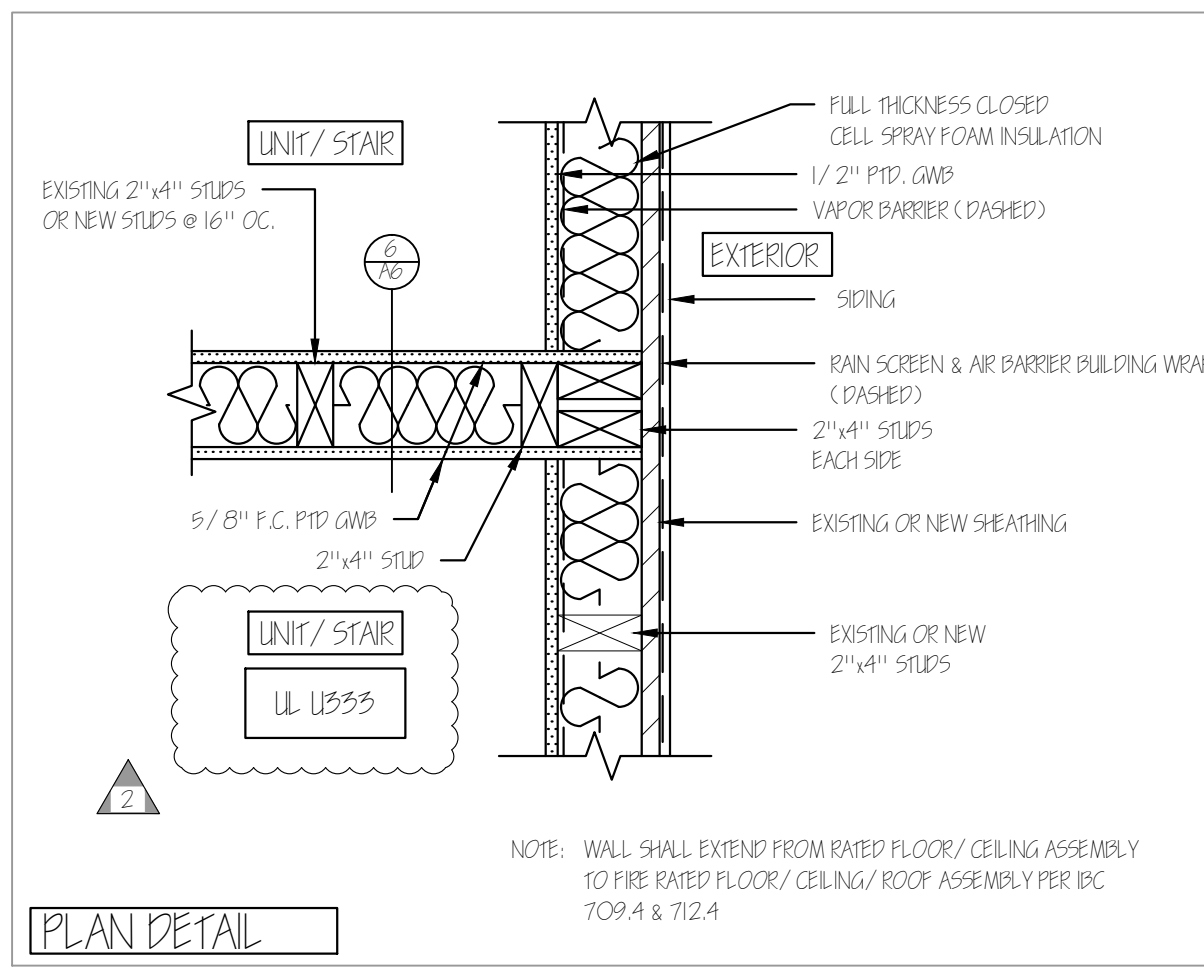
6 1 HR RATED PARTITION AT STAIR 1 1/2"=1'-0"



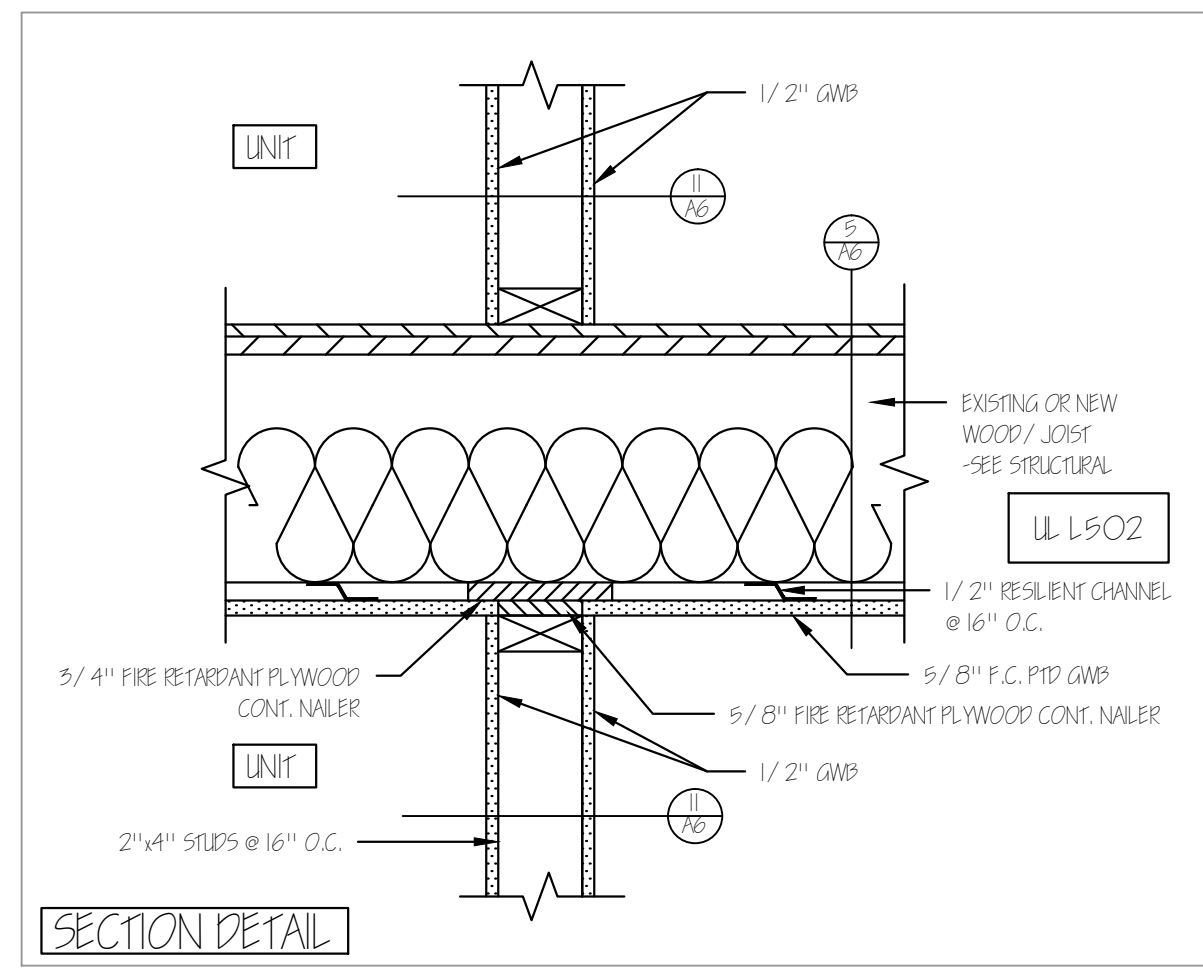
7 NON-RATED NEW ROOF 1 1/2"=1'-0"



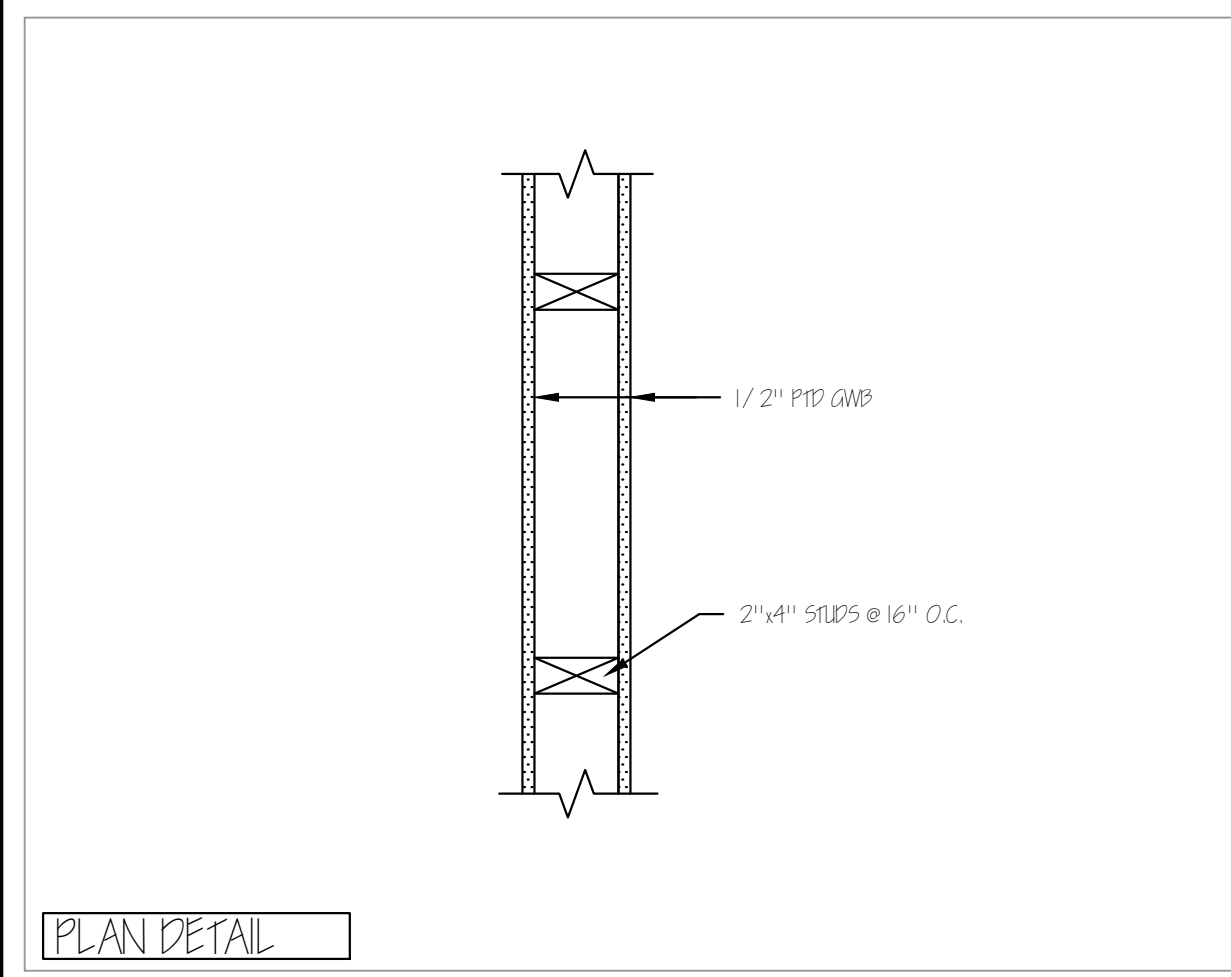
8 NON-RATED NEW CEILING 1 1/2"=1'-0"



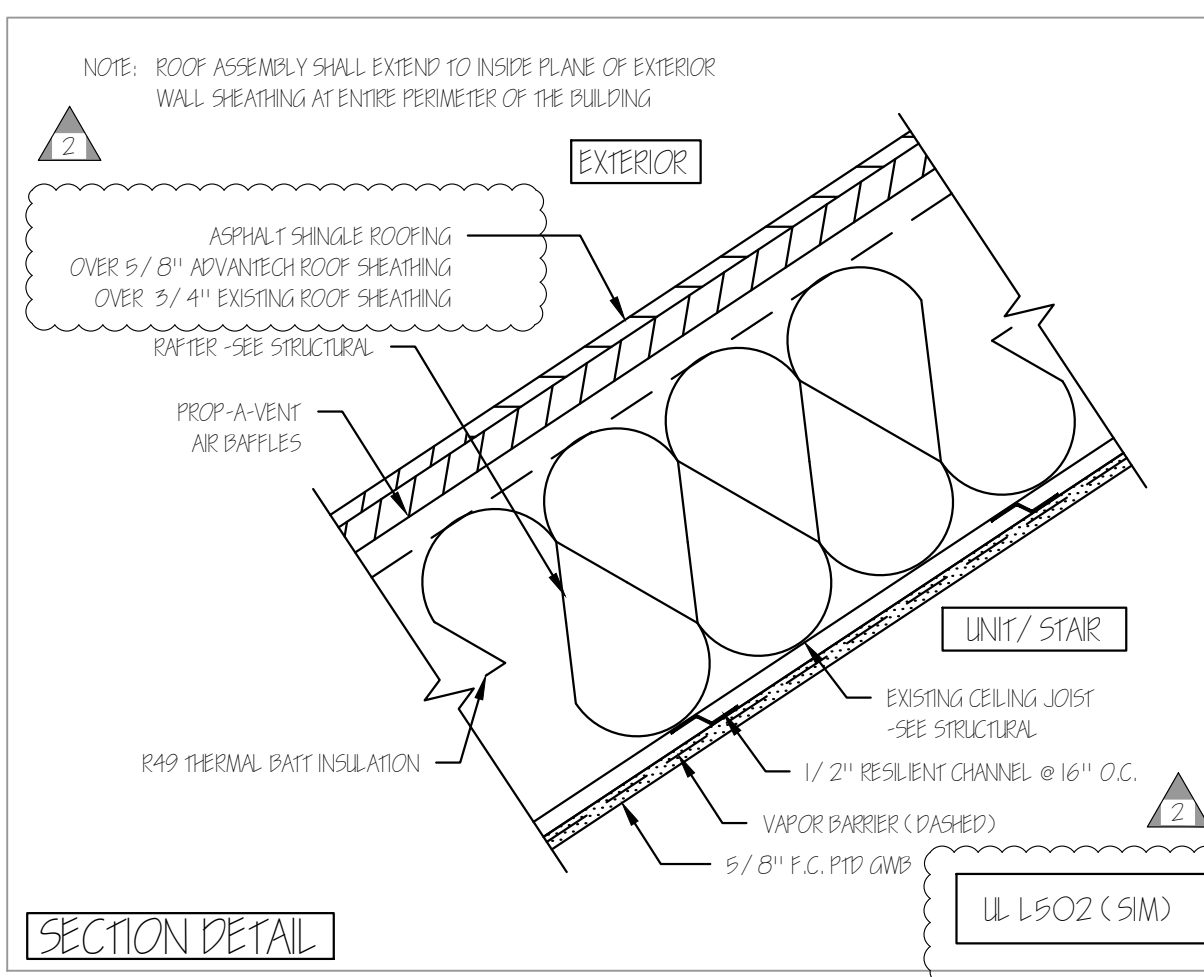
9 1 HR RATED PARTITION @ NON-RATED EXTERIOR WALL ASSEMBLY 1 1/2"=1'-0"



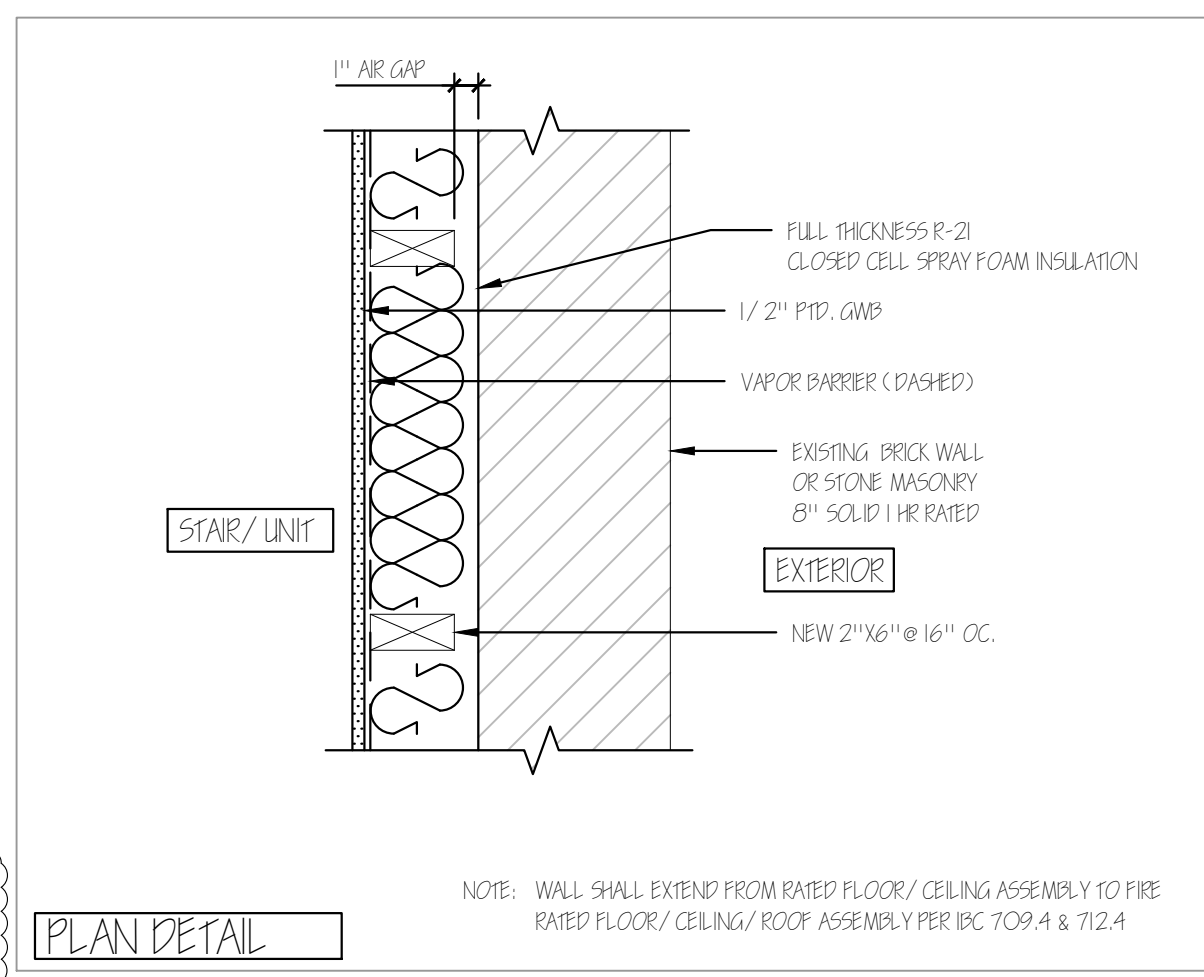
10 NON-RATED PARTITION @ 1 HR FIRE RATED FLOOR/ CEILING ASSEMBLY 1 1/2"=1'-0"



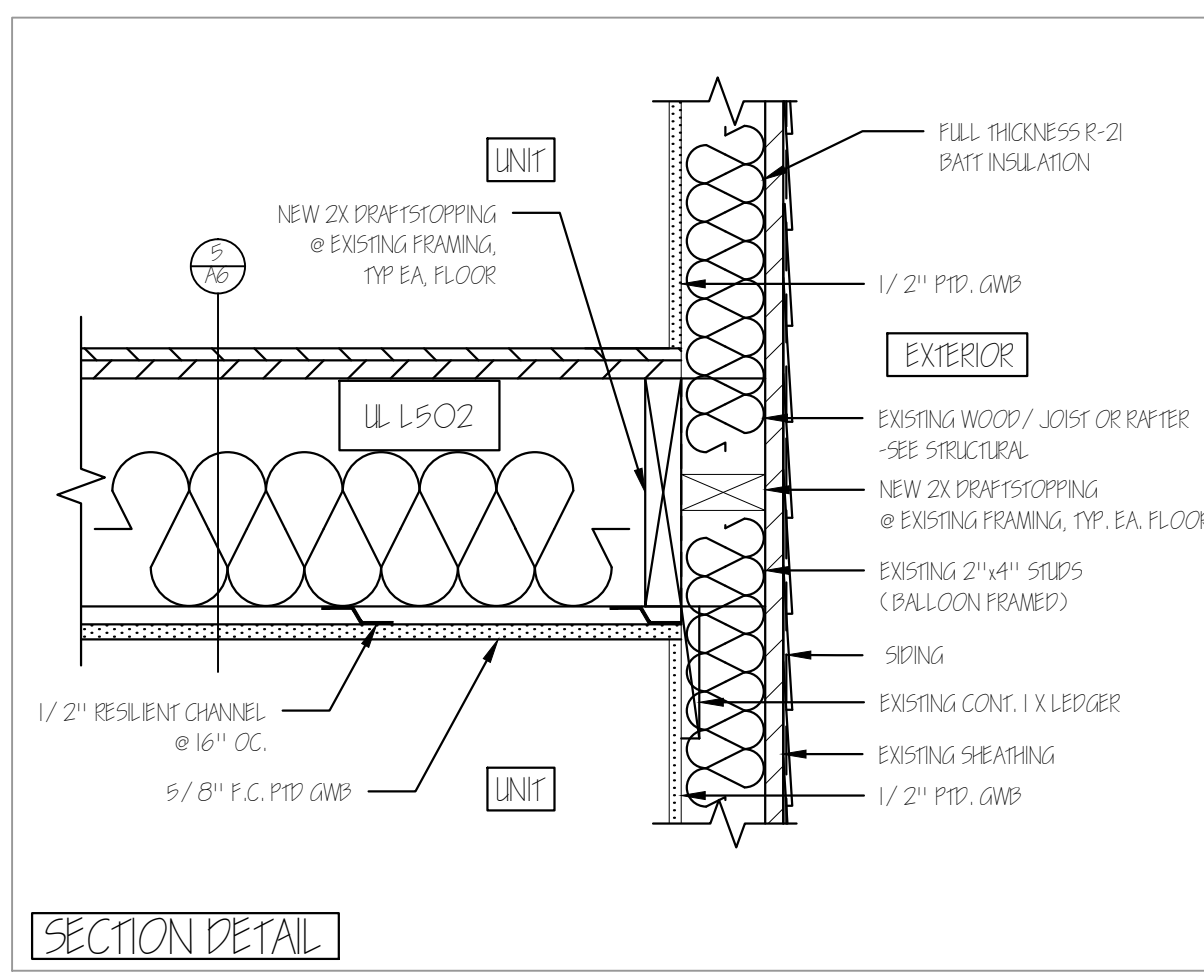
11 NON-RATED INTERIOR PARTITION 1 1/2"=1'-0"



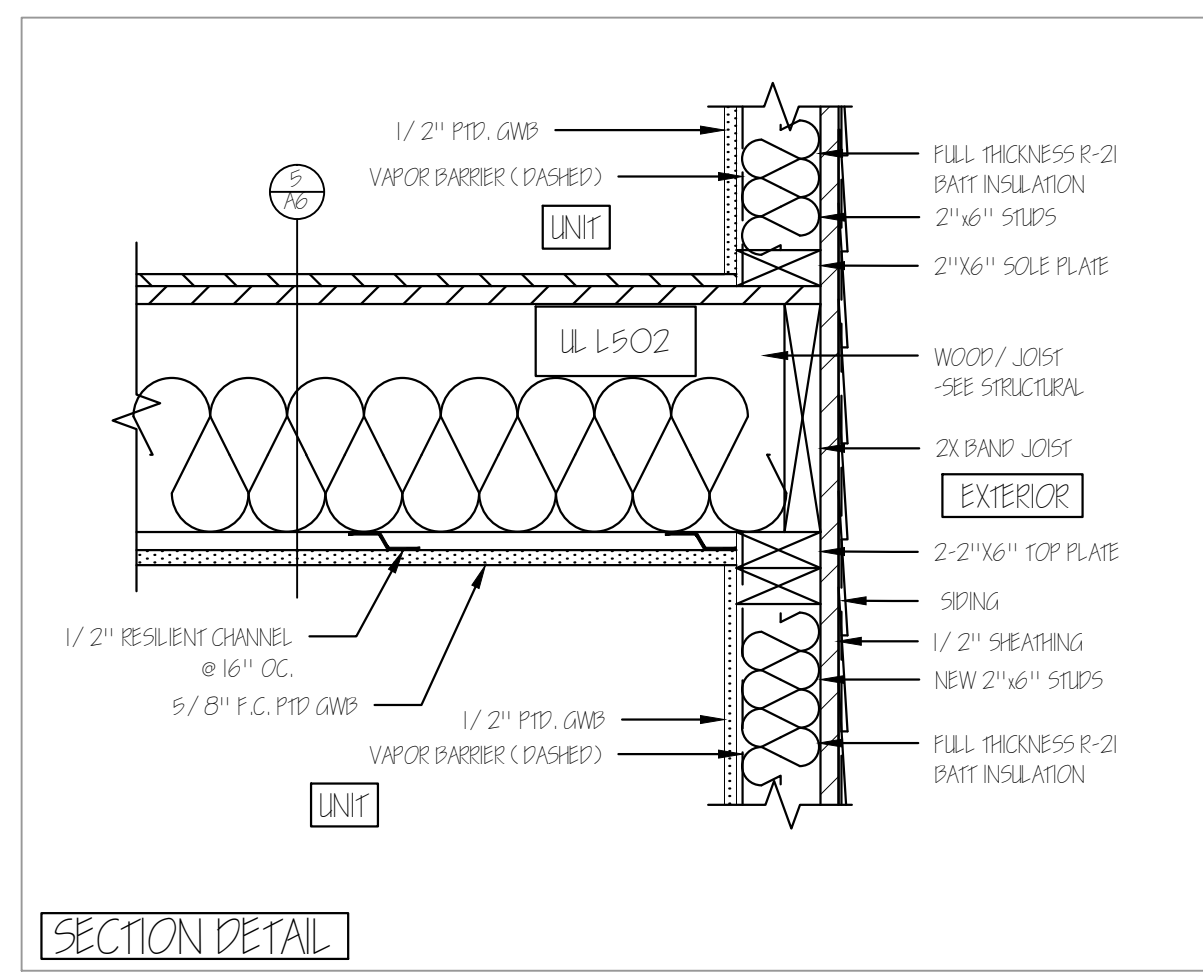
12 1 HR RATED CEILING ROOF ASSEMBLY 1 1/2"=1'-0"



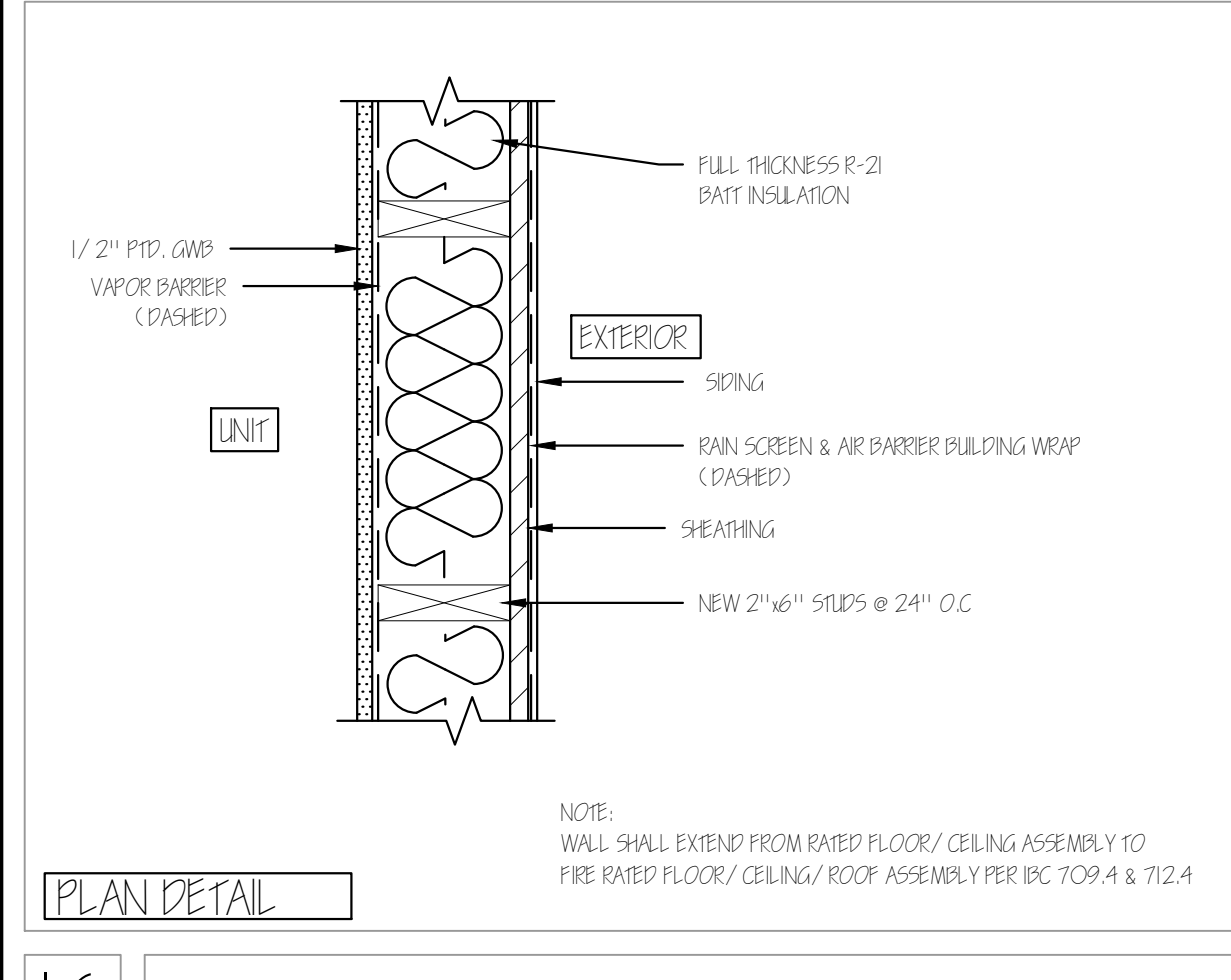
13 EXTERIOR WALL (BRICK/ STONE) 1 1/2"=1'-0"



14 NON-RATED EXISTING EXTERIOR WALL 1 1/2"=1'-0"



15 NON-RATED NEW EXTERIOR WALL 1 1/2"=1'-0"



16 NON-RATED NEW EXTERIOR WALL 1 1/2"=1'-0"

Reviewed for Code Compliance
 Permitting and Inspections Department
GRANT HAYS ASSOCIATES
 ARCHITECTURE & INTERIOR DESIGN
 P.O. BOX 6179 FALMOUTH MAINE, 04103
 207.871.5900 www.granthays.com

LICENSED ARCHITECT
 MICHAEL F. HAYS
 No. 1724
 STATE OF MAINE
 Michael F. Hays

REVISION
 07/02/2018 FLOOR PLAN REVISION

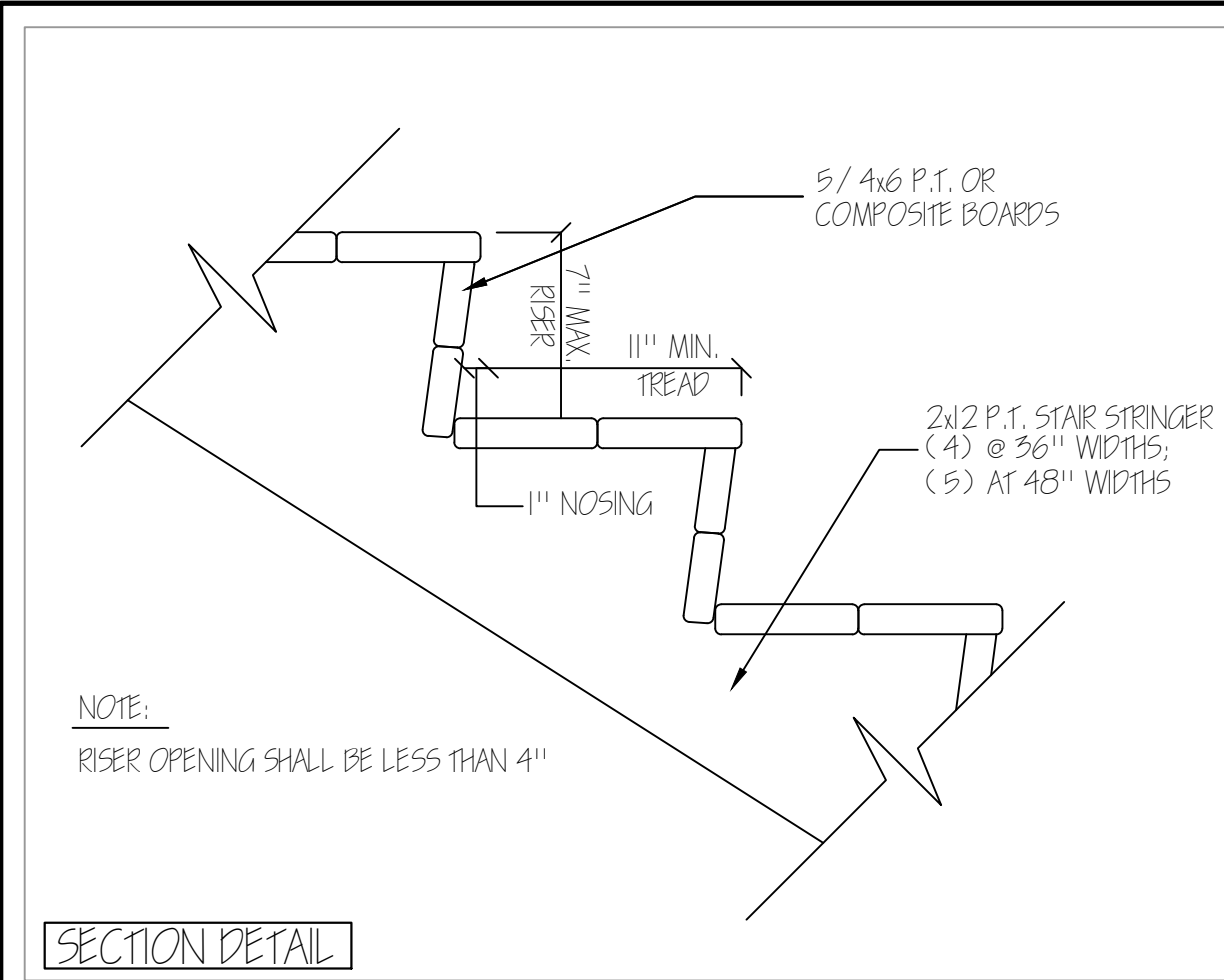
PROJECT NAME
3 UNIT APARTMENT BUILDING
135 YORK STREET
 PEERLESS INVESTMENTS, LLC.
 1 PORTLAND SQUARE
 PORTLAND, MAINE 04101

SECTION & DETAILS

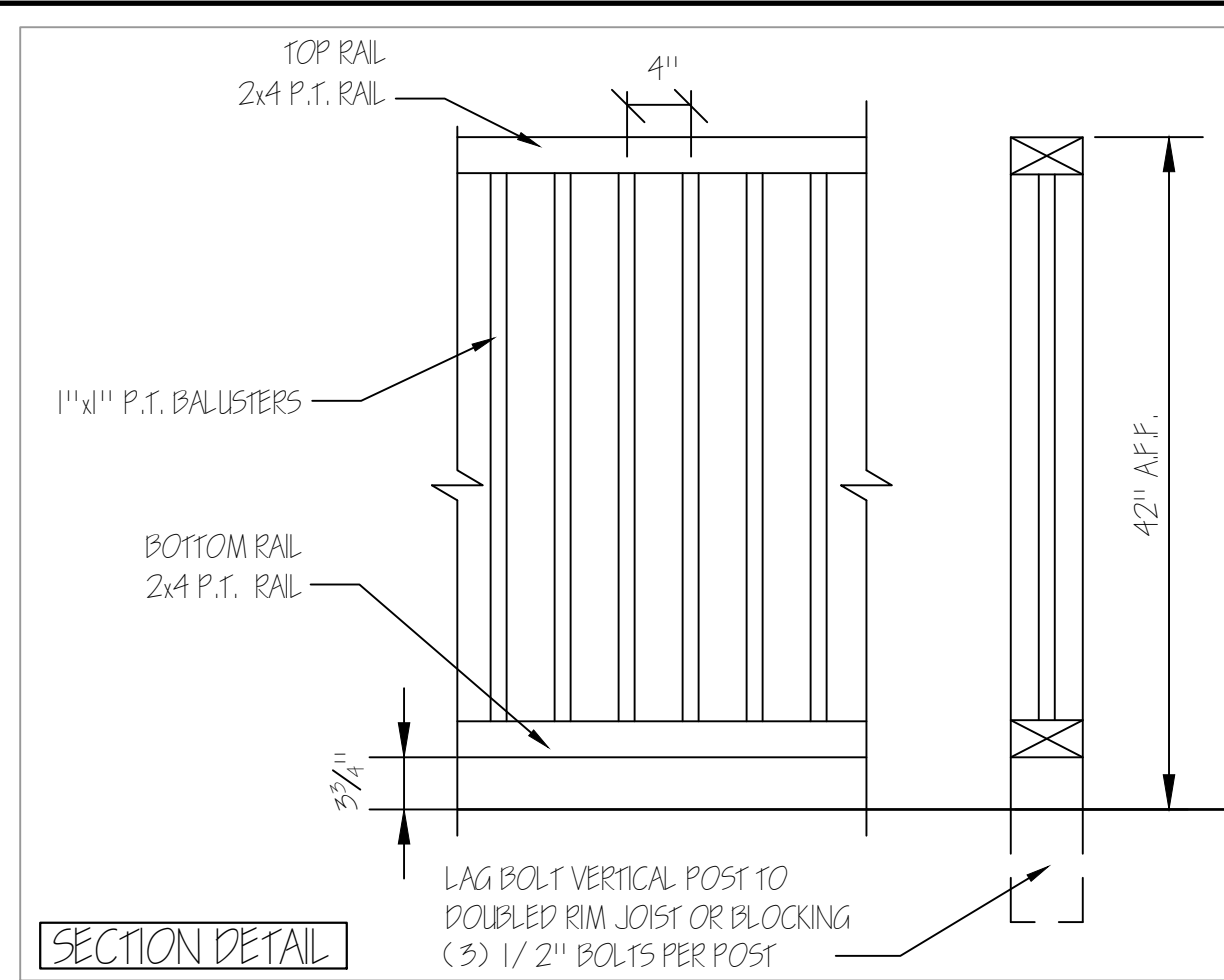
DATE: 06 DEC 2017
 SCALE: AS NOTED
 DRAWN: JAM/MFH
 JOB NO. -

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 7-2-2018

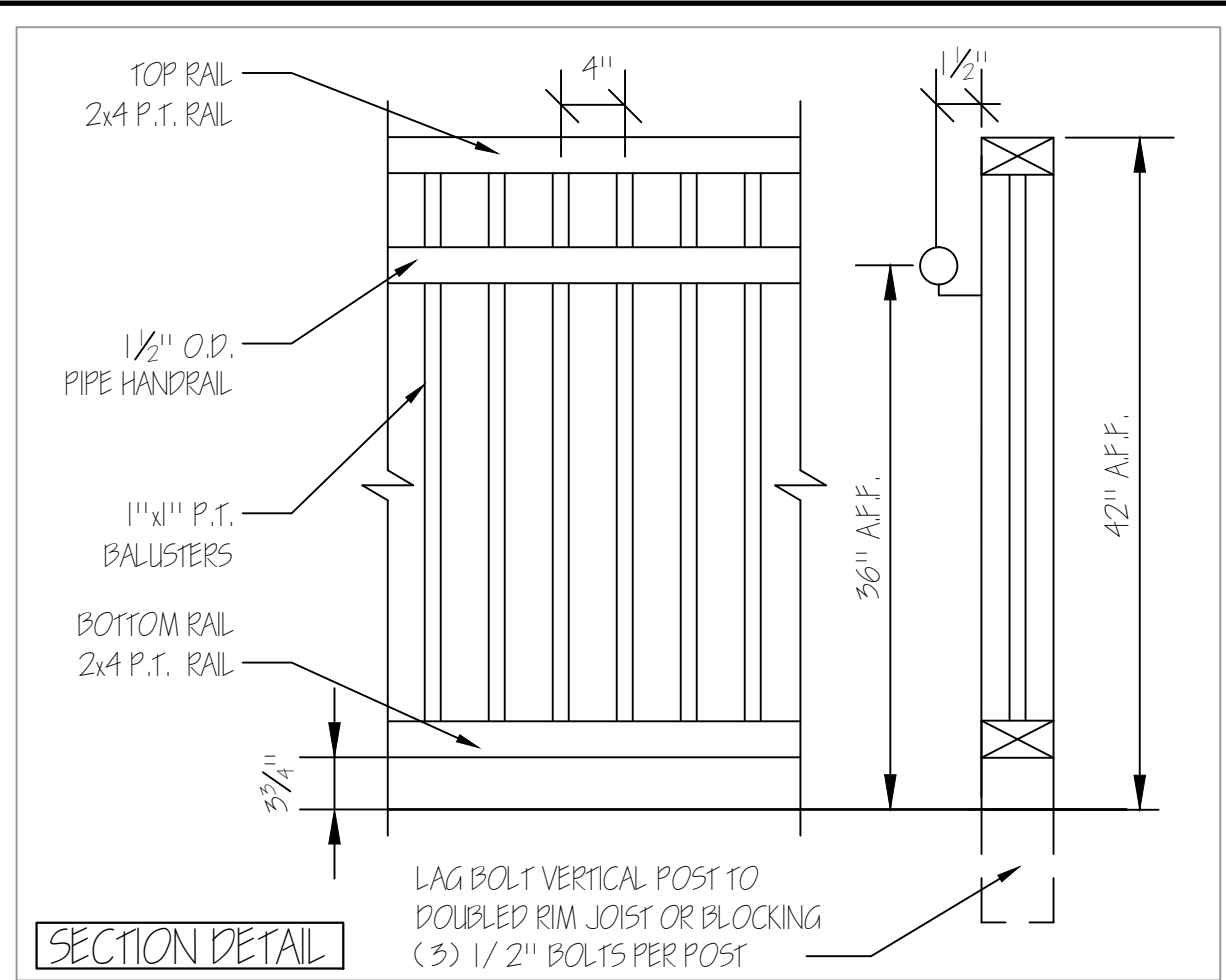
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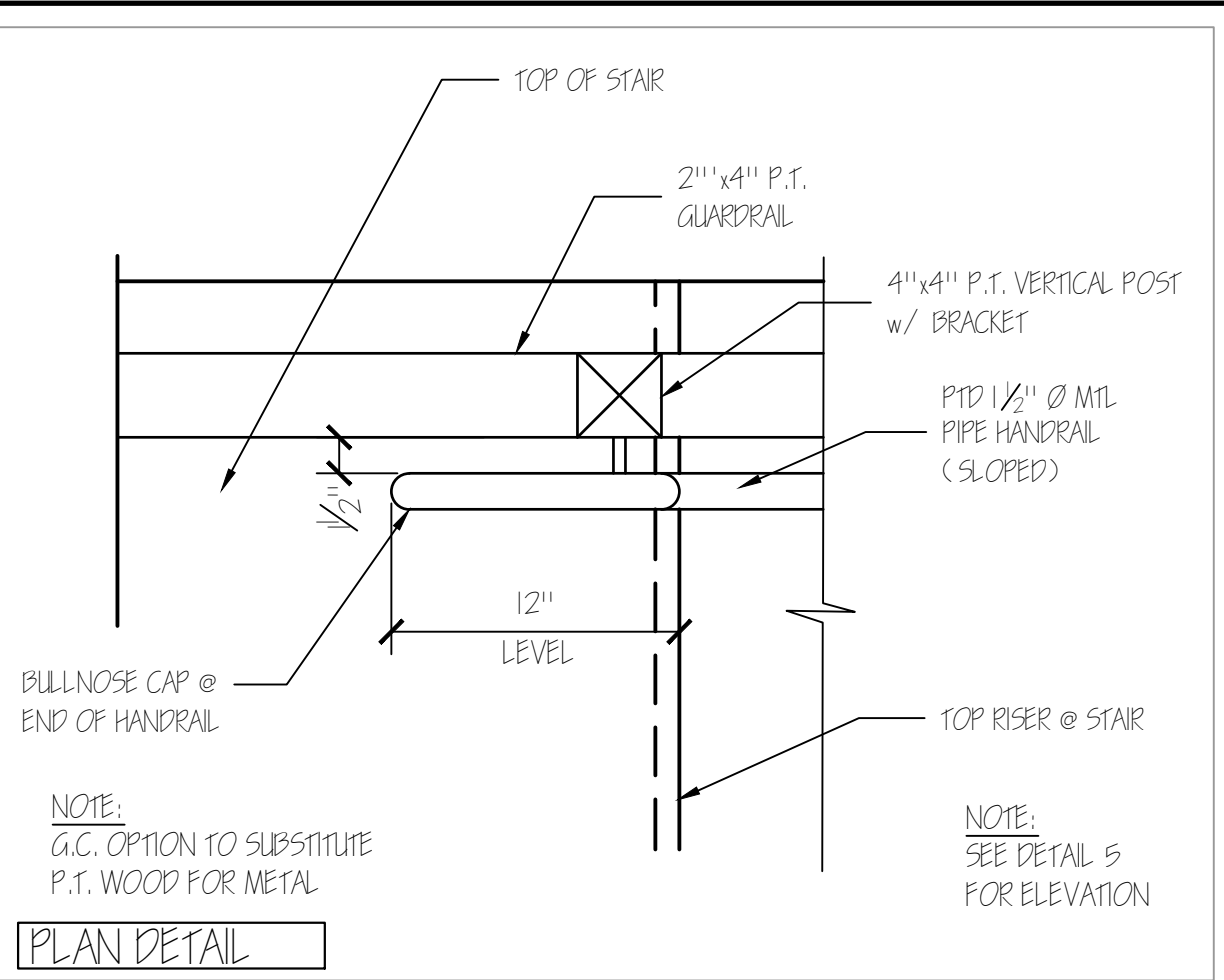
1 TYPICAL EXTERIOR STAIR TREAD/RISER 3"=1'-0"



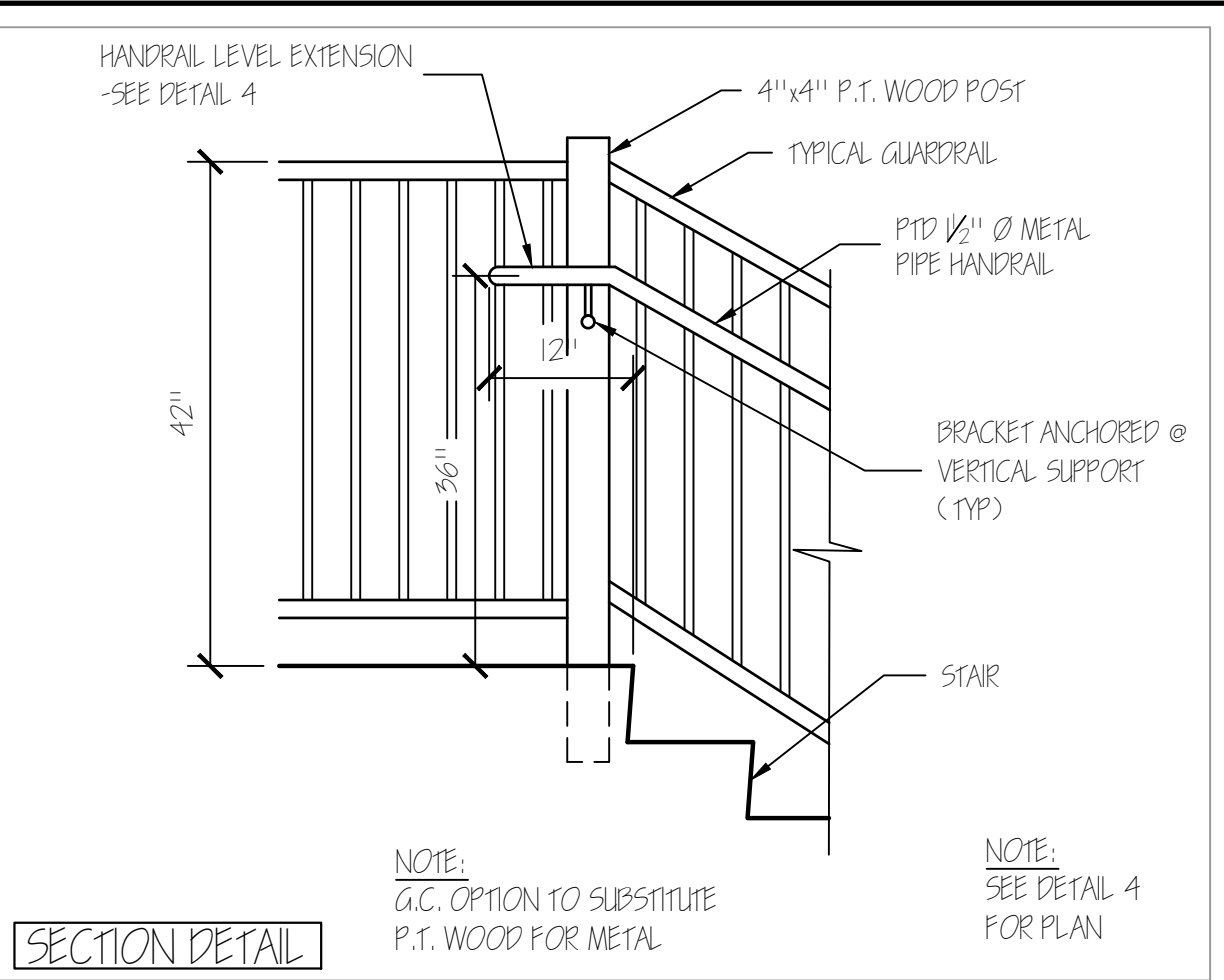
2 TYPICAL EXTERIOR GUARDRAIL 3"=1'-0"



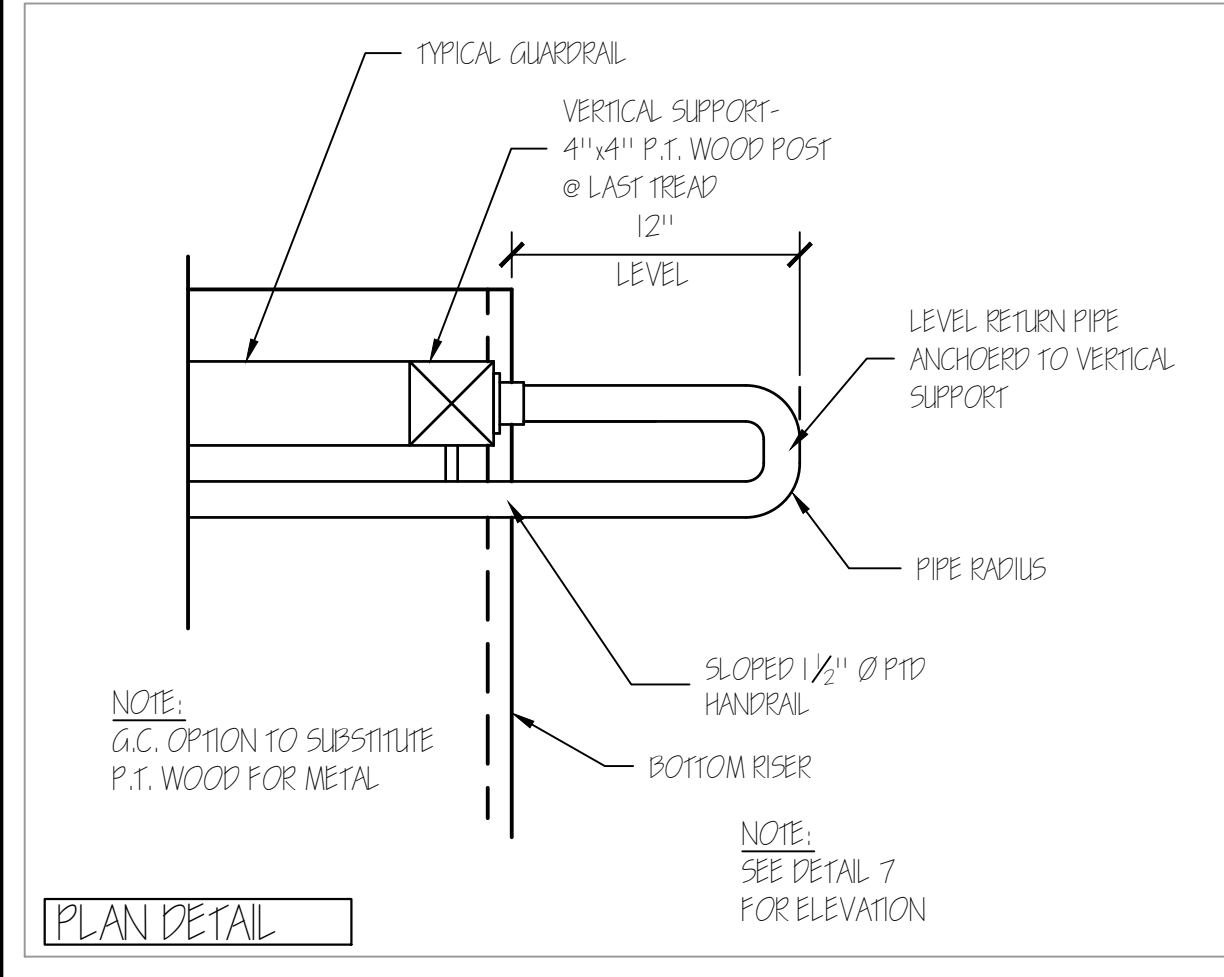
3 TYPICAL EXTERIOR GUARDRAIL/HANDRAIL 3"=1'-0"



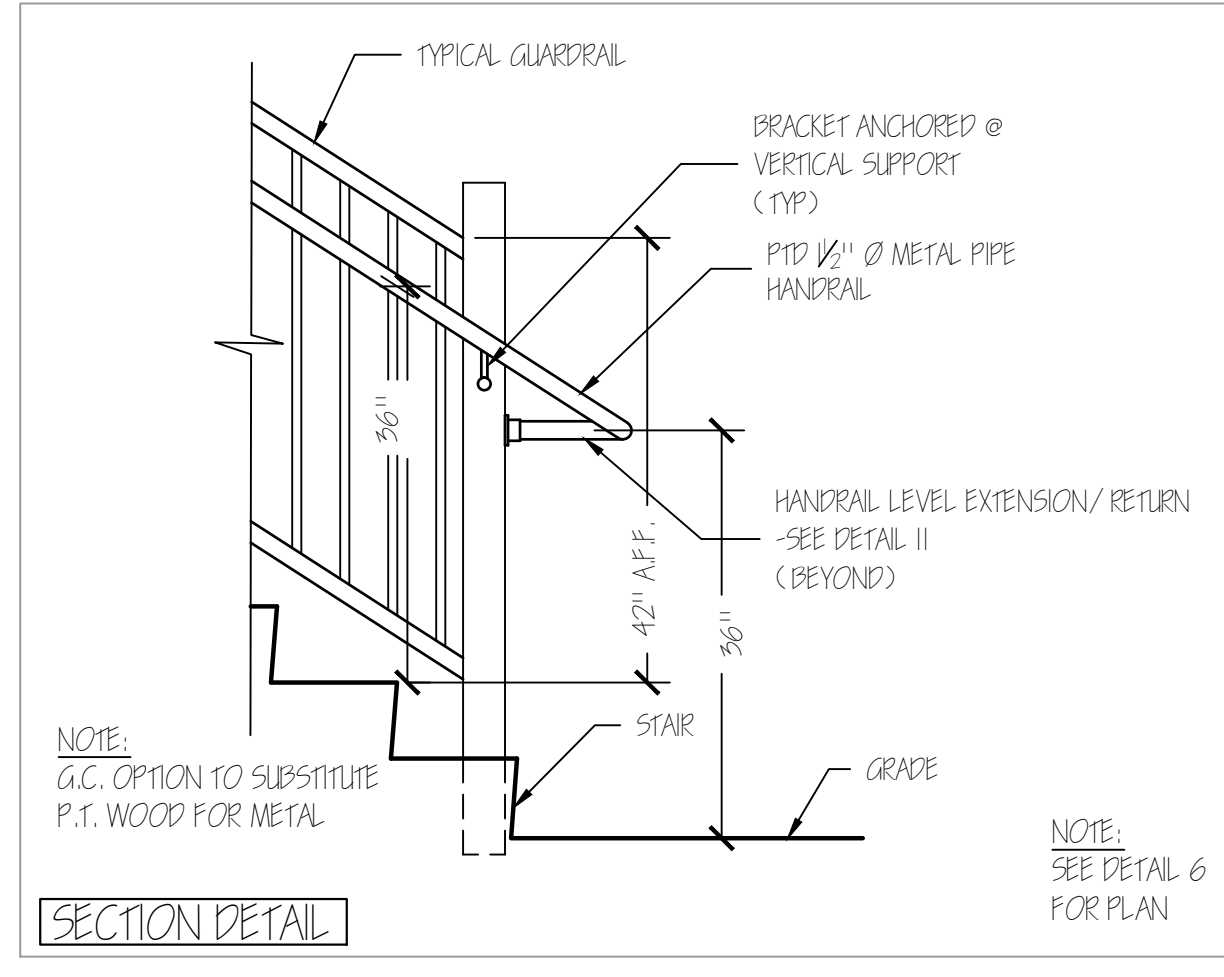
4 HANDRAIL TOP EXTENSION 1 1/2"=1'-0"



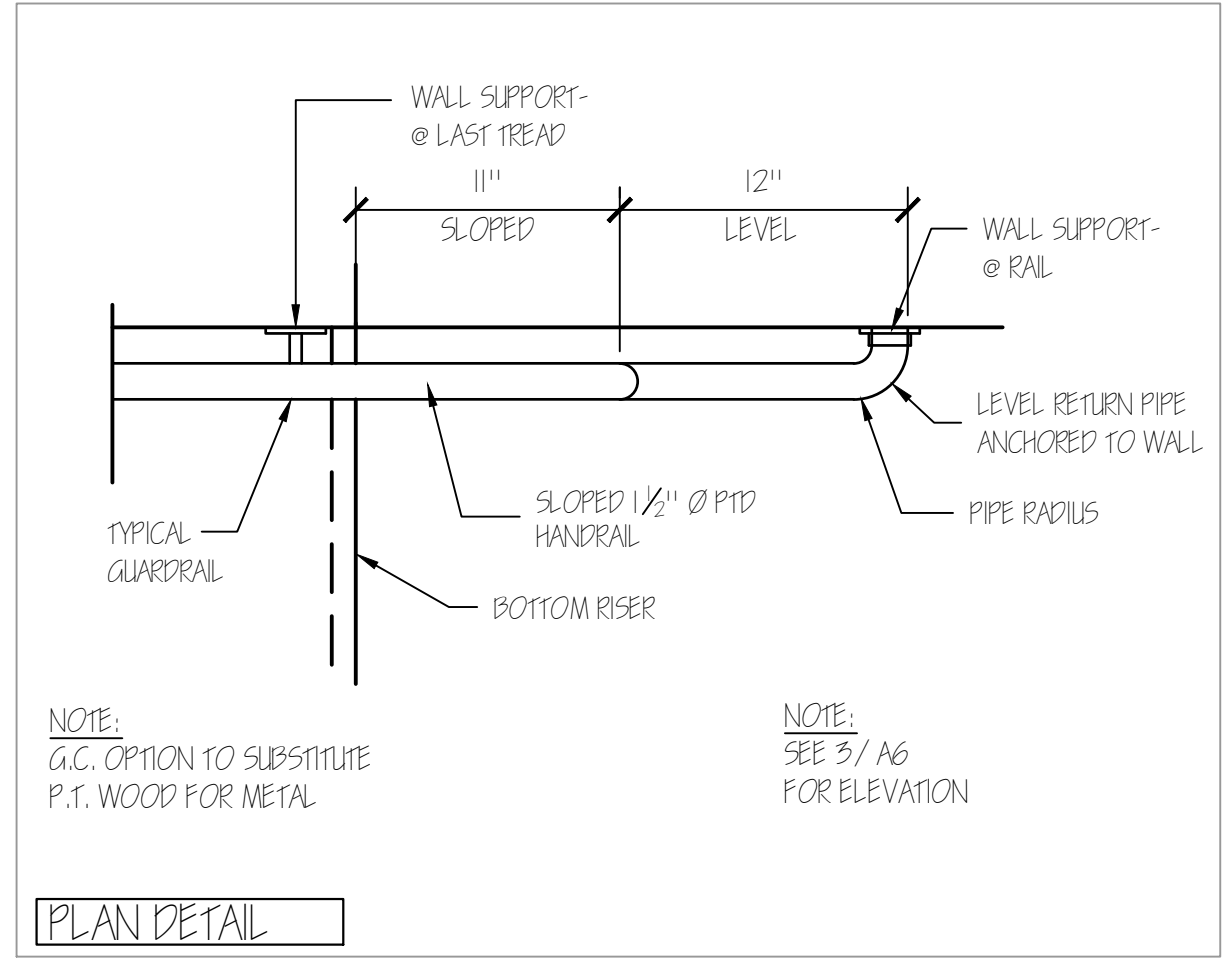
5 HANDRAIL TOP EXTENSION @ GUARDRAIL 3/4"=1'-0"



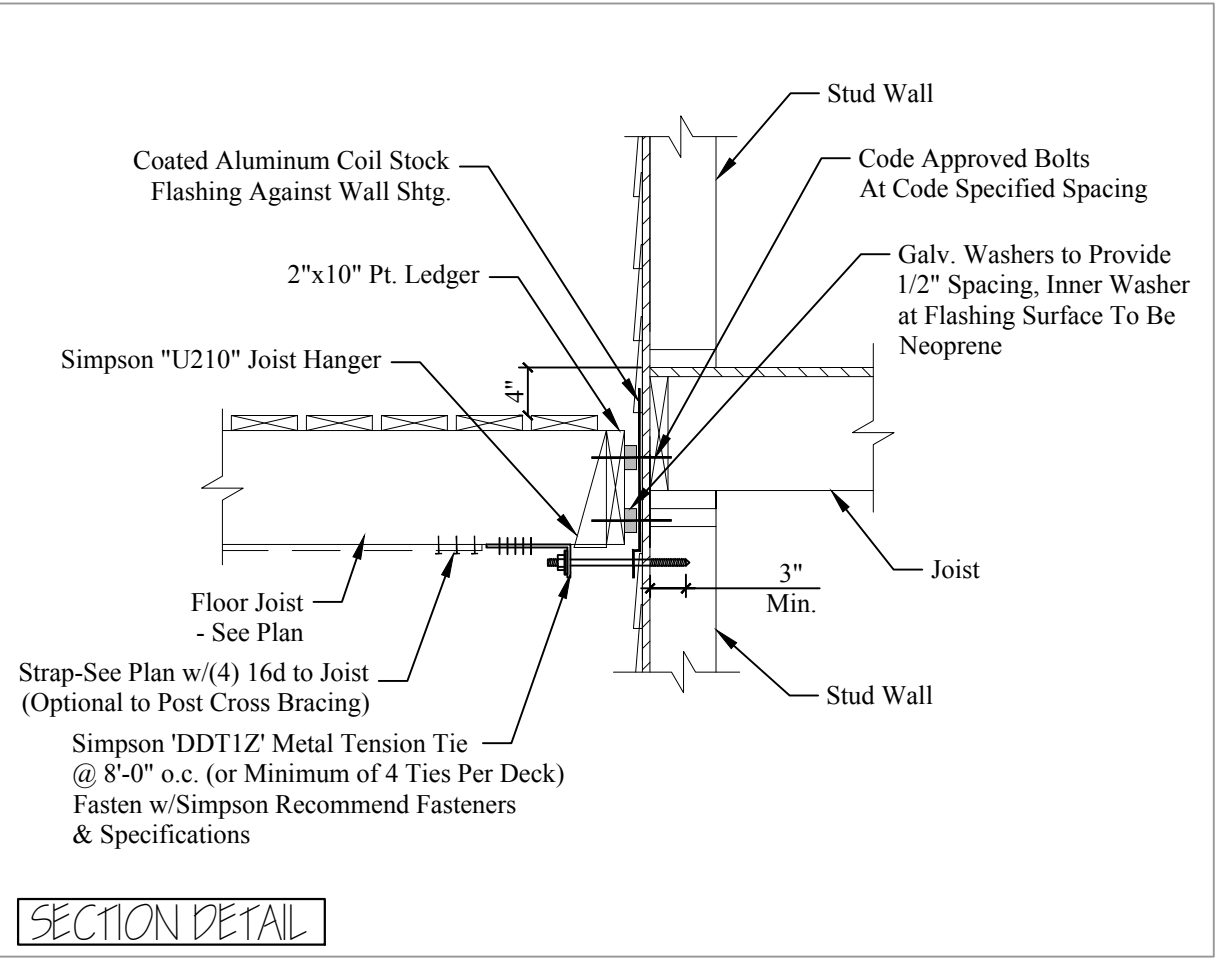
6 HANDRAIL BOTTOM EXTENSION 1 1/2"=1'-0"



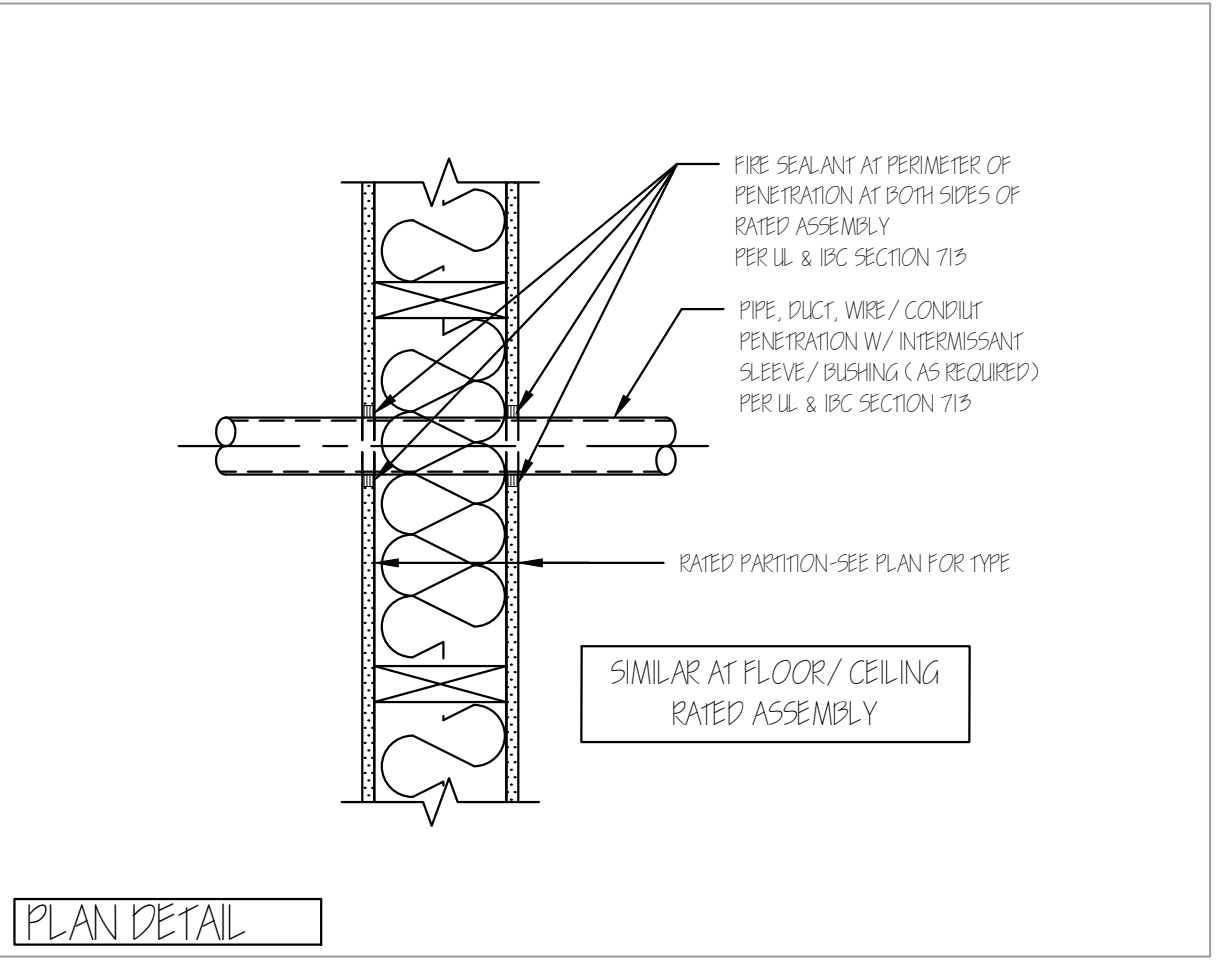
7 HANDRAIL BOTTOM EXT. @ GUARDRAIL 3/4"=1'-0"



8 HANDRAIL BOTTOM EXT. @ WALL 3/4"=1'-0"



9 TYPICAL DECK CONNECTION AT EXT. WALL 3/4"=1'-0"



10 FIRE SEALANT AT PENETRATIONS 1 1/2"=1'-0"



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 Permitting and Inspection Department
 Permit No. 2017-00000
08/29/2018
GRANT HAYS ASSOCIATES
 ARCHITECTURE & INTERIOR DESIGN
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LICENSED ARCHITECT
 MICHAEL F. HAYS
 No. 1724
 STATE OF MAINE
Michael F. Hays

REVISION
 2 07/02/2018 FLOOR PLAN REVISION

PROJECT NAME

3 UNIT APARTMENT BUILDING
135 YORK STREET
 PEERLESS INVESTMENTS, LLC.
 1 PORTLAND SQUARE
 PORTLAND, MAINE 04101

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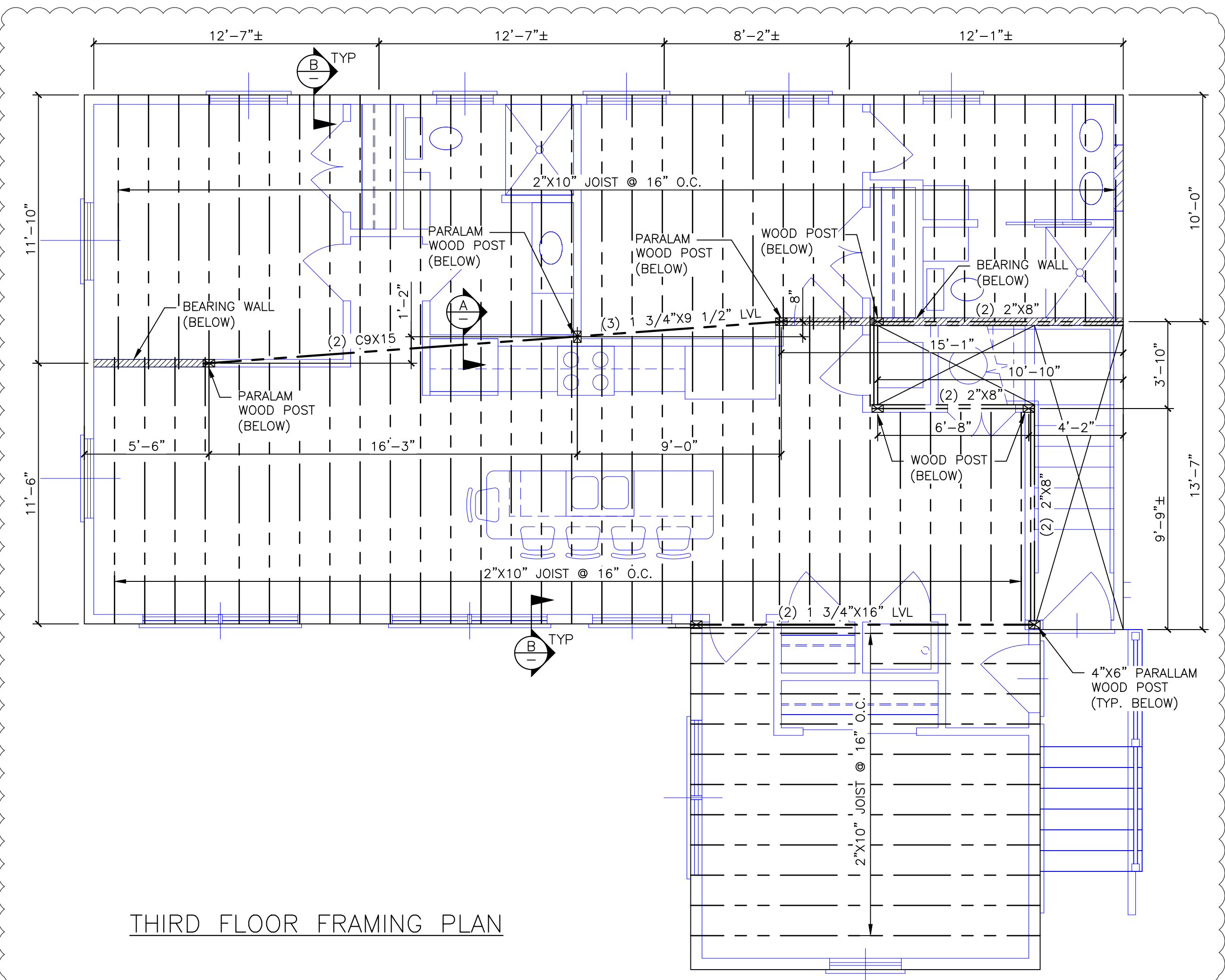
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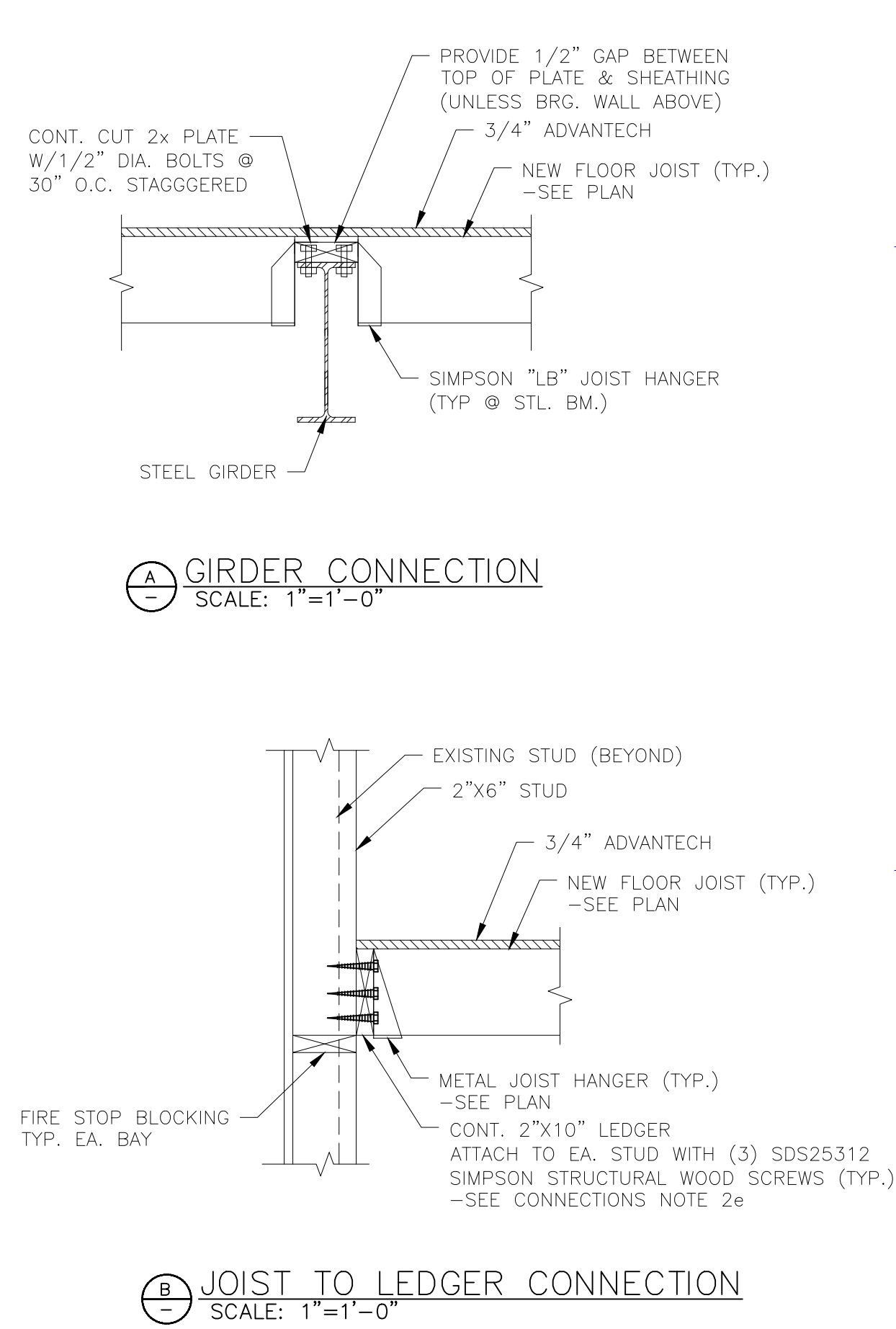
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 7-2-2018



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Permitting and Inspections Department
Approved with Conditions
08/29/2018

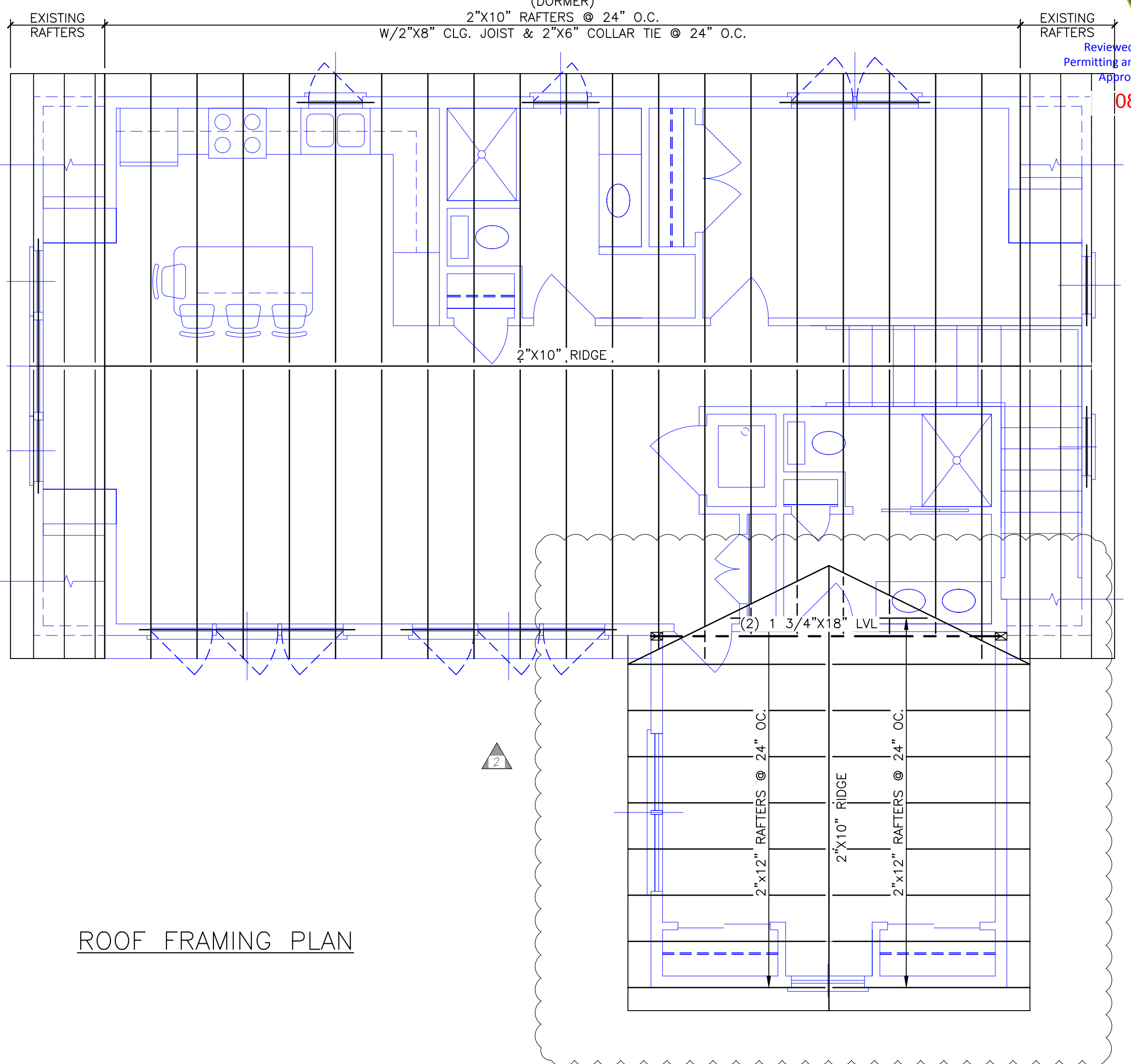


THIRD FLOOR FRAMING PLAN

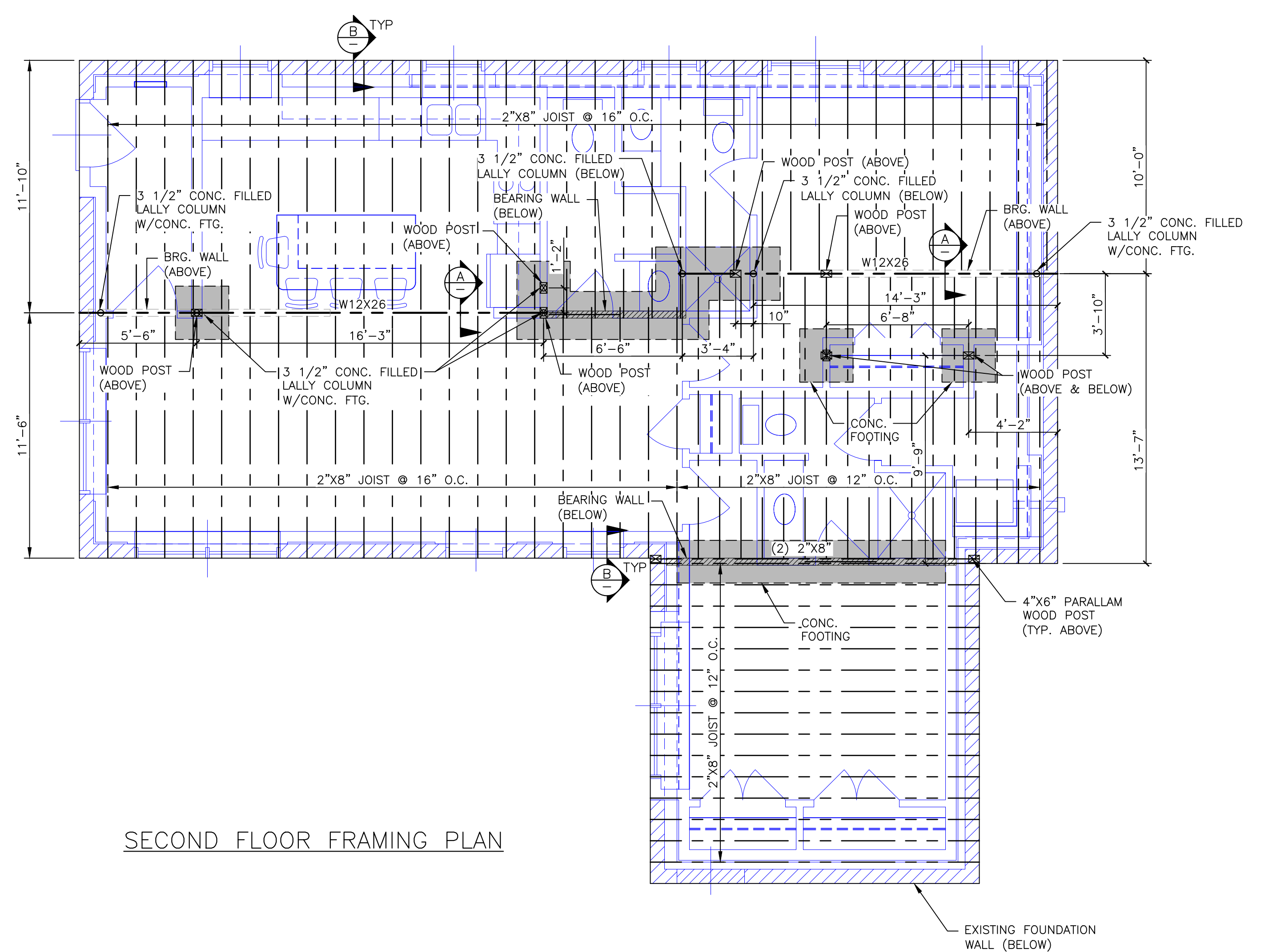


GIRDER CONNECTION
SCALE: 1"=1'-0"

JOIST TO LEDGER CONNECTION
SCALE: 1"=1'-0"



ROOF FRAMING PLAN



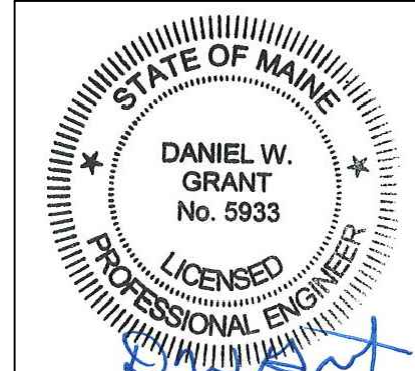
SECOND FLOOR FRAMING PLAN

GENERAL STRUCTURAL NOTES:

- ADD METAL HANGERS TO ALL EXISTING BEAMS, JOIST, AND RAFTER CONNECTIONS.
- STRUCTURAL NOTES:
- CODE: COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL BUILDING CODE.
- DESIGN LOADS:
 DEAD LOADS: ROOF = 15.0 PSF., FLOOR = 10.0 PSF.
 LIVE LOADS: ROOF = 45.0 PSF (PLUS DRIFT), 1ST FLOOR = 40.0 PSF, 2ND FLOOR = 35.0 PSF.
 WIND LOAD: BUILDING = 31.0 PSF
- FOUNDATIONS:
- BEAR FOOTINGS ON FIRM, UNDISTURBED DENSE NATIVE SOIL AT 4"-0" MINIMUM BELOW LOWEST ADJACENT FINISH OR NATURAL GRADE, WHICH EVER IS LOWER. STEP FOOTINGS TO ACHIEVE THESE DEPTHS AS REQUIRED. IF STONE LEDGE IS ENCOUNTERED PLACE FOOTING DIRECTLY ON LEDGE WHERE EXISTS.
 - ASSUMED SOIL BEARING PRESSURE = 2,000 PSF.
 - PLACE FOUNDATION CONCRETE ONLY ON CLEAN, FIRM, DRY BEARING MATERIAL. DOWEL TO STONE LEDGE AS DETAILED.
 - ENGINEER SHALL BE NOTIFIED IF STONE LEDGE OR MARINE CLAY IS FOUND DURING EXCAVATION.
 - PLACE CONCRETE SLAB OVER A 15 MIL VAPOR BARRIER (TAPED AND SEALED AT ALL JOINTS) AND LOCATE OVER STONE FILL AND DRAINAGE PIPING REQUIRED BY CIVIL DRAWINGS.
 - INSTALL 4" DIA. PERFORATED DRAIN TILE (ROTATE PERFORATIONS TO TOP OF PIPE) ON EXTERIOR AND INTERIOR OF FOOTING PERIMETER. WRAP ALL DRAIN TILE IN FILTER FABRIC AND ENCASE WITH 3/4" CRUSHED STONE AROUND ENTIRE PIPE. CREATE A POSITIVE DRAIN TO ATMOSPHERE OR DRY WELL WITH DRAINAGE AWAY FROM STRUCTURE. PROVIDE (2) STUDS THROUGH SLAB FOR POSSIBLE USE IN RADON MITIGATION SYSTEM. SEE CONTRACTOR FOR MITIGATION SYSTEM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL DRAINAGE REQUIREMENTS, SUCH AS SUMP PUMPS ETC.
 - ALL FOUNDATION WALL EXTERIORS SHALL BE COATED WITH DAMP PROOFING PER MANUFACTURER'S SPEC. DAMP PROOFING SHALL NOT BE VISIBLE ABOVE FINAL GRADE.
 - SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN.
- CONCRETE:
- CONCRETE REGULAR WEIGHT (144 PCF) WITH TYPE II CEMENT PER ASTM C150, AGGREGATE PER ASTM C33, AND POTABLE WATER. NO FLY-ASH PERMITTED IN FLOOR SLAB. AGGREGATE SIZE = 1" MAXIMUM FOR FOOTINGS AND SLAB. MINIMUM COMPRESSIVE STRENGTH = 3000 PSI FOR FOUNDATIONS AND SLAB ON GRADE AND 4,000 PSI FOR EXTERIOR SLABS AND SIDEWALKS.
 - SAW CUTS FOR FLOOR SLAB CONTROL JOINTS (CJ) SHALL BE MADE AS SOON AS THE SLAB CAN SUPPORT THE WEIGHT OF THE SAW, BUT NO MORE THEN 12 HOURS AFTER PLACING CONCRETE.
 - PITCH ALL GARAGE FLOOR SLABS 1/4"/FT. TOWARD OVER HEAD DOOR.
- REINFORCING:
- ASTM A 615-S1, GRADE 60 EXCEPT #2 AND #3 BARS ASTM A615-S1: GRADE 40.
 - LAP SPLICES IN CONCRETE: 42 BAR DIAMETERS.
 - PROVIDE BENT CORNER REINFORCING TO MATCH AND LAP WITH HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS OF WALLS, AND FOOTINGS.
 - REINFORCING SHALL BE PLACED WITH 3" CLEARANCE AT ALL SURFACES.
- STEEL:
- ROLLED SECTIONS AND PLATES: ASTM A-36, FY = 36 KSI.
 - STEEL LALLY COLUMNS: ASTM A513, FY = 32 KSI. 16 GAGE STEEL FILLED W/ 3,000 PSI CONCRETE.
 - STEEL PIPE COLUMN: (NOT LALLY COLUMNS) ASTM A-36, FY = 36 KSI.
 - BOLTS AND PLAIN ANCHORS: ASTM A 307.
 - SUBMIT SHOP DRAWINGS. FABRICATE AFTER ENGINEERS REVIEW.
- WOOD:
- GENERAL:
 - EACH PIECE OF LUMBER SHALL BE "S-DRY" AND BEAR THE GRADE STAMP OF A GRADING RULES AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE.
 - DOUBLE UP STUDS AT JAMBS AND UNDER BEAMS.
 - DO NOT NOTCH OR DRILL JOISTS, BEAMS OR LOAD BEARING STUDS WITHOUT APPROVAL.

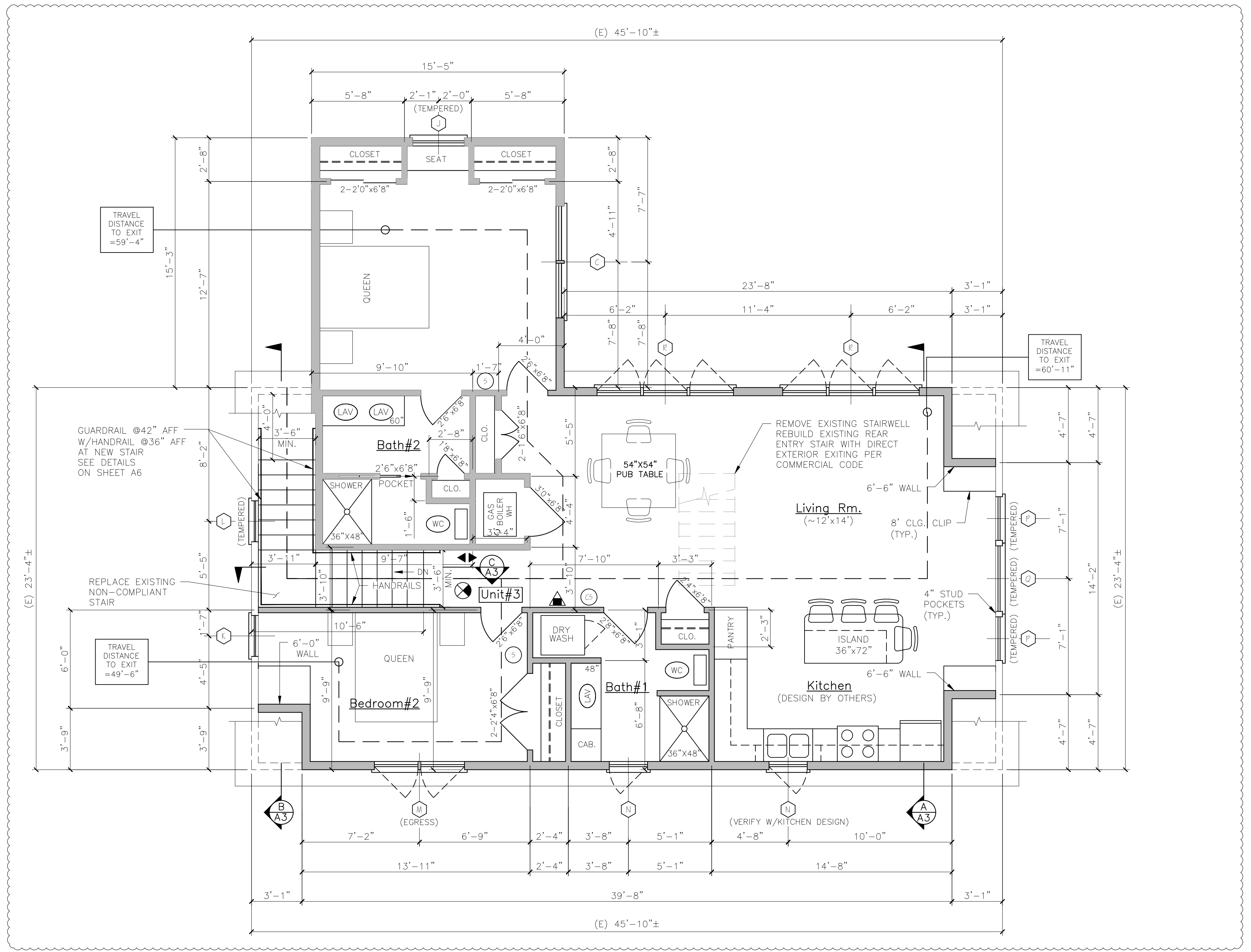
- CONNECTIONS:
 - NAIL ROOF PLYWOOD WITH 8D COMMON AT 6" O.C. AT ALL EDGES AND BOUNDARY MEMBERS AND 10" O.C. AT INTERMEDIATE SUPPORTS.
 - GLUE FLOOR PLYWOOD TO ALL FRAMING MEMBERS AND NAIL WITH 8D COMMON AT 6" O.C. AT ALL PLYWOOD EDGES AND BOUNDARY MEMBERS AND 10" O.C. AT INTERMEDIATE SUPPORTS.
 - NAIL CDX WALL PLYWOOD WITH 10D COMMON NAILS AT 6" O.C. AT ALL EDGES AND BOUNDARY MEMBERS AND 12" O.C. AT INTERMEDIATE SUPPORTS.
 - NAIL ADVANTECH R-6 WALL SHEATHING WITH 0.131" DIA. X 3" COMMON NAILS AT 3" O.C. ALONG ALL PANEL EDGES AND 6" O.C. ALONG INTERMEDIATE SUPPORTS.
 - FLOOR LEDGER SHALL BE ATTACHED TO NEW 2"x6" STUDS WITH (3) SDS25312 SIMPSON WOOD SCREWS, MINIMUM 1 1/2" FROM LEDGER EDGE, MINIMUM 4" FROM END OF LEDGER (JOIST SHALL BE BETWEEN STUDS >4" AWAY FROM ATTACHMENT POINT).
 - STRUCTURAL SAWN LUMBER:
 - 2 X 6 THRU 2 X 14 JOISTS: SPRUCE PINE FIR NO. 2 WITH FB (REPETITIVE) = 1200 P.S.I.
 - STUDS: SPRUCE PINE FIR NO. 2 WITH FB (REPETITIVE) = 1200 P.S.I.
 - LAMINATED VENEER LUMBER (LVL); BEAMS: FB = 2,800 PSI, FV = 285 PSI, E = 2,000 KSI
POSTS: FB = 2,400 PSI, FV = 190 PSI, E = 1,800 KSI
 - PLYWOOD:
 - ROOF SHEATHING: C-D INT-APA (PSI-94) WITH EXTERIOR GLUE; 5/8" WITH IDENTIFICATION INDEX 48/24. LAY UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER JOINTS. EACH PLYWOOD PIECE TO BE CONTINUOUS OVER A MINIMUM OF TWO SPANS WITH A MINIMUM WIDTH OF 1'-0" UNLESS BLOCKING IS PROVIDED AT ALL JOINTS.
 - SUB-FLOORING: C-D INT-APA (PSI-94) WITH EXTERIOR GLUE; 3/4" WITH IDENTIFICATION INDEX 48/24. LAY UP WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. STAGGER JOINTS. EACH PLYWOOD PIECE TO BE CONTINUOUS OVER A MINIMUM OF TWO SPANS WITH A MINIMUM WIDTH OF 1'-0" UNLESS BLOCKING IS PROVIDED AT ALL JOINTS.
 - WALL SHEATHING: C-D INT-APA (PSI-74) WITH EXTERIOR GLUE, 1/2" CDX WITH IDENTIFICATION INDEX 24/0. ALL PANEL EDGES BACKED WITH 2" NOMINAL OR WIDER FRAMING. OPTIONAL: ADVANTECH R-6 ZIP SYSTEM, 7/16" OSB SHEATHING WITH 1" OF FOAM. ALL PANEL EDGES BACKED WITH 2" NOMINAL OR WIDER FRAMING.
 - DESIGN, FABRICATE, TRANSPORT AND ERCT PER TRUSS PLATE INSTITUTE STANDARDS TPI-18 AND BWT76.
 - DESIGN FOR LOADS, IN ADDITION TO MEMBER WEIGHTS, AS GIVEN UNDER "DESIGN LOADS" ABOVE.
 - SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS. FABRICATE AFTER THE ENGINEER'S REVIEW. INCLUDE WOOD GRADES TO BE USED.
 - ALL PERMANENT AND TEMPORARY BRACING AND FASTENING AT BEARINGS BY TRUSS MANUFACTURER.
- SUPPLEMENTARY NOTES:
- VERIFY ALL DIMENSIONS AND CONDITIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
 - PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

ISSUED FOR CONSTRUCTION
7-2-2018



Village Builders 21 New Portland Road Gorham, Maine 318-2858	
MORIN DRAFTING 318-1177	
135 YORK STREET RENOVATION OWNER: PEERLESS INVESTMENT L.L.C.	
2ND FLOOR, 3RD FLOOR & ROOF FRAMING PLANS	
DRAWN: J. MORIN	S1
SCALE: 1/4"=1'-0"	
DATE: 12-06-2017	
PLAN NO:	

01/02/2018 FLOOR PLAN REVISION



UNIT #3-3RD FLOOR PLAN

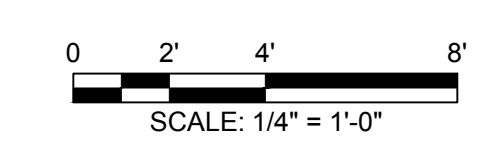
LEGEND	
SYMBOL	DESCRIPTION
	NEW WALL
	NEW WALL/EXISTING WALL W/INFILL
	EXISTING WALL
	THIN LINEWEIGHT DENOTES EXISTING CONDITIONS
	HEAVY LINEWEIGHT DENOTES NEW CONDITIONS
	DEMOLISHED OR REMOVED STRUCTURE OR EQUIPMENT

NFPA LEGEND	
	EXIT LIGHT
	FIRE EXTINGUISHER
	EMERGENCY LIGHT
	SMOKE DETECTOR W/ SOUNDER BASE & STROBE (INTERCONNECTED)
	COMBINATION CARBON MONOXIDE / SMOKE DETECTOR W/ SOUNDER BASE & STROBE (INTERCONNECTED)
	KNOX BOX-LOCATE PER AWJ
	1 HR RATED PARTITION
	1 HR RATED SEPARATION PARTITION
	EGRESS LIGHT

- GENERAL NOTES**
- ALL HORIZONTAL UNIT SEPARATIONS (FLOOR/CEILING/ROOF) ASSEMBLIES SHALL BE 1 HR. FIRE RATED / SIC 90.
SEE & &
 - ALL STAIR ENCLOSURES SHALL BE 1 HR FIRE RATED.
SEE
 - SEE SHEET A6 FOR INTERIOR STAIR HANDRAIL DETAILS
 - SEE SHEET A7 FOR EXTERIOR DECK/ STAIR DETAILS
 - SEE SHEET A6 FOR FIRE RATING AT UNDERSIDE OF STAIR RUNS.

- LIFE SAFETY NOTES**
- THE BUILDING SHALL HAVE AN NFPA 13R FIRE SUPPRESSION SPRINKLER SYSTEM INSTALLED. SPRINKLER SYSTEM SHALL BE INSTALLED BY A CERTIFIED SPRINKLER CONTRACTOR AND SHALL BE REVIEWED AND APPROVED BY THE STATE OF MAINE FIRE MARSHAL AS WELL AS THE LOCAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR THE DESIGN AND INSTALLATION OF THE SYSTEM FOR OCCUPANCY.
 - ALL ALARMS AND DETECTORS SHALL BE INTERCONNECTED.
 - REFER TO THE WINDOW SCHEDULE FOR EGRESS WINDOWS.

ISSUED FOR CONSTRUCTION
7-2-2018



Reviewed for Code Compliance
Permitting and Inspection Department
GRAHAM HAYS ASSOCIATES
08/29/2018
ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04103
207.871.5900 www.grahmhays.com

LICENSED ARCHITECT
MICHAEL F. HAYS
No. 1724
STATE OF MAINE
Michael P. Hays

- REVISIONS
- 01/19/2018 EDITS PER PLAN REVIEW
 - 07/02/2018 FLOOR PLAN REVISION

PROJECT NAME
3 UNIT APARTMENT BUILDING
135 YORK STREET
PEERLESS INVESTMENTS, LLC.
1 PORTLAND SQUARE
PORTLAND, MAINE 04101

SHEET
THIRD FLOOR PLAN

DATE: 06 DEC 2017
SCALE: AS NOTED
DRAWN: JAM/MFH
JOB NO.:
SHEET

A4
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