



GRANT HAYS ASSOCIATES
 ARCHITECTS & INTERIORS
 207 WEST 10TH STREET, SUITE 200
 PORTLAND, OREGON 97201

JAL



Jeffrey A. Lippert
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12345
 EXPIRES 12/31/2018

PROJECT NAME

3 UNIT APARTMENT BUILDING
 135 YORK STREET
 PORTLAND, OREGON 97201
 PEERLESS/WYETH/LLC
 PORTLAND, OREGON 97201

DATE

FIRST FLOOR PLAN

DATE: 06 DEC 2017
 SCALE: 1/4" = 1'-0"
 DRAWN BY: JAL/HFH
 CHECKED BY: JAL

A2

THIS DRAWING IS THE PROPERTY OF GRANT HAYS ASSOCIATES AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GRANT HAYS ASSOCIATES.

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE (IEC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).

LIFF SAFETY NOTES

- THE DESIGNER HAS CONDUCTED VISUAL SAFETY CHECKS AND HAS IDENTIFIED POTENTIAL HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MITIGATING ALL OTHER HAZARDS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SAFETY CODE (ISC).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FALL PROTECTION CODE (IFPC).

*** ALL INTERIOR PARTITIONS SHALL BE 1 HOUR FIRE RATED PER IBC 703.2.1**

SYMBOL	DESCRIPTION
(Symbol)	NEW WALL
(Symbol)	NEW WALL/EXISTING WALL W/REINFORCING
(Symbol)	NEW LIGHTING
(Symbol)	NEW UNWEIGHTED ROOFING
(Symbol)	DEMOLISHED OR REMOVED STRUCTURE OR EQUIPMENT

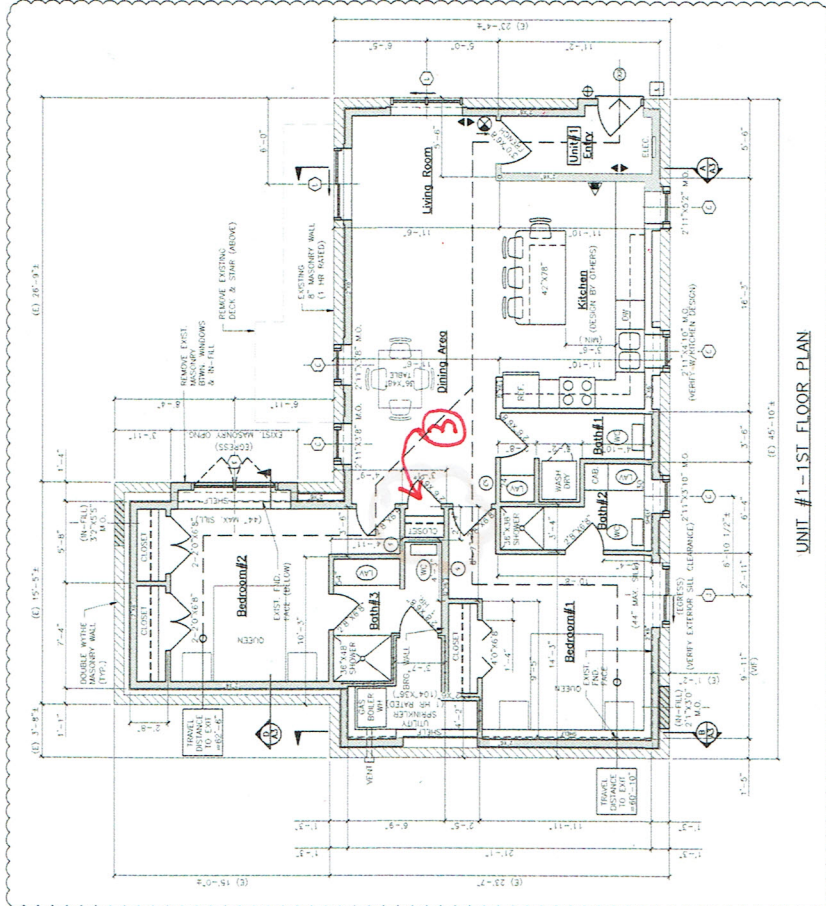
NO.	SET NO.	NO.	DESCRIPTION	DATE	BY	REVISION
1	1	1	ISSUE FOR CONSTRUCTION	06 DEC 2017	JAL	1

NO.	SET NO.	NO.	DESCRIPTION	DATE	BY	REVISION
2	1	2	ADD INTERIOR PARTITIONS	06 DEC 2017	JAL	2

NO.	SET NO.	NO.	DESCRIPTION	DATE	BY	REVISION
3	1	3	ADD LIGHTING	06 DEC 2017	JAL	3

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WINDOW & DOOR SCHEDULE & HARDWARE 3-15



UNIT #1-1ST FLOOR PLAN

ISSUED FOR CONSTRUCTION
 8-9-2018

SYMBOL	LEGEND	DESCRIPTION
(Symbol)	NEW WALL	NEW WALL/EXISTING WALL W/REINFORCING
(Symbol)	NEW LIGHTING	NEW UNWEIGHTED ROOFING EXISTING CONDITIONS
(Symbol)	NEW UNWEIGHTED ROOFING	NEW UNWEIGHTED ROOFING EXISTING CONDITIONS
(Symbol)	DEMOLISHED OR REMOVED STRUCTURE OR EQUIPMENT	DEMOLISHED OR REMOVED STRUCTURE OR EQUIPMENT





GRANT HAYS
ASSOCIATES
ARCHITECTS & INTERIORS, LLC
100 WEST 10TH STREET, SUITE 200
PORTLAND, OREGON 97201
TEL: 503.222.2222

JAL

REVISIONS:
 1. SEE PLAN FOR REVISIONS
 2. SEE PLAN FOR REVISIONS
 3. SEE PLAN FOR REVISIONS

PROJECT NAME

5 UNIT APARTMENT BUILDING
135 YORK STREET
PORTLAND, OREGON 97201
PREPARED BY: WYTHE/MLL, LLC

3/FLOOR

THIRD FLOOR PLAN

TITLE: 06 DEC. 2017
 SCALE: AS NOTED
 DRAWN BY: JAM/MPH
 CHECKED BY:
 PROJECT:

A4
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SYMBOL		DESCRIPTION
○	○	NEW WALL
□	□	NEW WALL/TESTING WALL W/WEEL
▤	▤	EXISTING WALL
▥	▥	THIN DIMENSION BEHINDS EXISTING CONDITIONS
▧	▧	THICK DIMENSION BEHINDS EXISTING CONDITIONS
▨	▨	REMOVED OR ADDED STRUCTURE OR EQUIPMENT

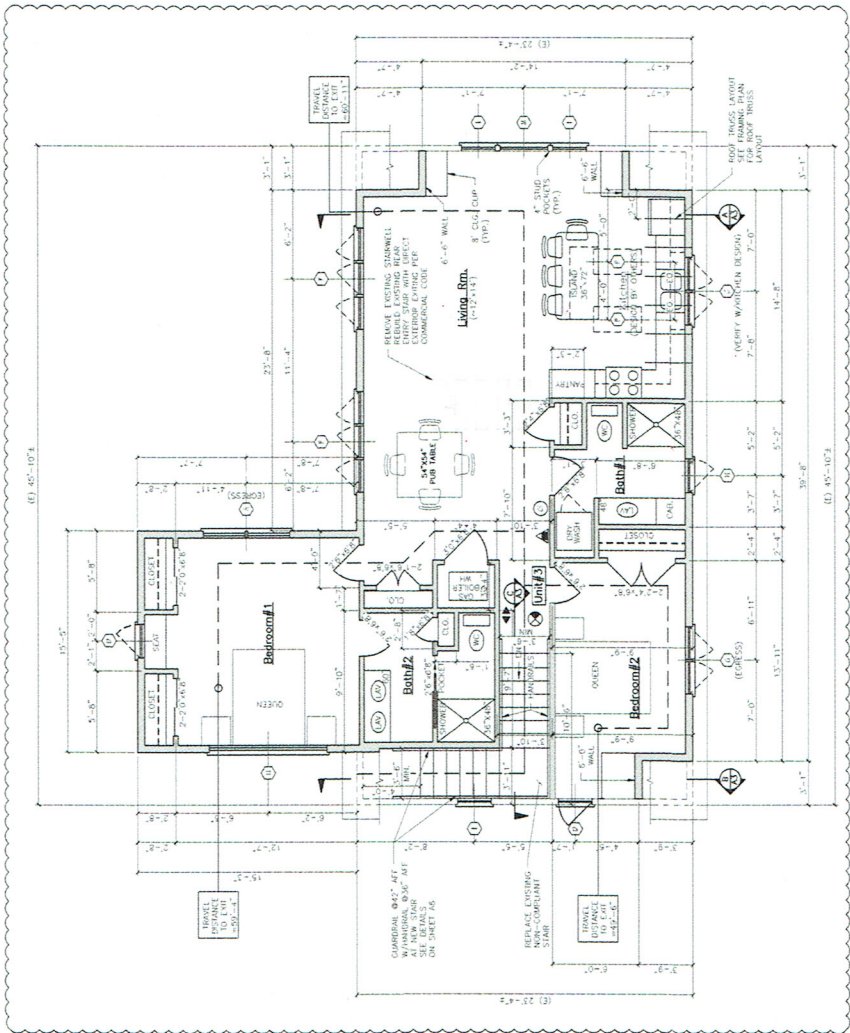
GENERAL NOTES

- VERIFY ALL DIMENSIONS AND LOCATIONS AGAINST EXISTING CONDITIONS.
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- SEE PLAN FOR ALL DIMENSIONS AND LOCATIONS.
- SEE PLAN FOR ALL DIMENSIONS AND LOCATIONS.
- SEE PLAN FOR ALL DIMENSIONS AND LOCATIONS.

SEE SAFETY NOTES

- VERIFY ALL DIMENSIONS AND LOCATIONS AGAINST EXISTING CONDITIONS.
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- SEE PLAN FOR ALL DIMENSIONS AND LOCATIONS.
- SEE PLAN FOR ALL DIMENSIONS AND LOCATIONS.
- SEE PLAN FOR ALL DIMENSIONS AND LOCATIONS.

* ALL INTERIOR PARTITIONS
 SHALL BE 1 IN. TYP
 PARTIAL FOR 6/4/6
 3/15/11 MFK



UNIT #3-3RD FLOOR PLAN

ISSUED FOR CONSTRUCTION
 8-10-2018

SYMBOL	LEGEND	DESCRIPTION
○	NEW WALL	NEW WALL
□	NEW WALL/TESTING WALL W/WEEL	NEW WALL/TESTING WALL W/WEEL
▤	EXISTING WALL	EXISTING WALL
▥	THIN DIMENSION BEHINDS EXISTING CONDITIONS	THIN DIMENSION BEHINDS EXISTING CONDITIONS
▧	THICK DIMENSION BEHINDS EXISTING CONDITIONS	THICK DIMENSION BEHINDS EXISTING CONDITIONS
▨	REMOVED OR ADDED STRUCTURE OR EQUIPMENT	REMOVED OR ADDED STRUCTURE OR EQUIPMENT



GRANT HAYS & ASSOCIATES
 ARCHITECTS & ENGINEERS
 200 BROADWAY, SUITE 2000
 PORTLAND, MAINE 04101



Michael J. Hays
 P.E.

3 UNIT APARTMENT BUILDING
 135 YORK STREET
 PEERLESS CONTRACTORS, LLC
 1 PORTLAND SQUARE
 PORTLAND, MAINE 04101

SECTIONS & DETAILS

TITLE: 06 DEC. 2017
 SCALE: AS NOTED
 DRAWN BY: JAMMPH
 CHECKED BY: JAMMPH

A6

CONSTRUCTION
 CONTRACTORS
 135 YORK STREET, SUITE 2000
 PORTLAND, MAINE 04101
 200 BROADWAY, SUITE 2000
 PORTLAND, MAINE 04101

<p>SECTION DETAIL</p> <p>1 TYPICAL WALL WINDOW SECTION</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>2 TYPICAL WALL WINDOW TOP</p> <p>9'-1'-0"</p>	<p>SECTION DETAIL</p> <p>3 TYPICAL WALL WINDOW BOTTOM</p> <p>9'-1'-0"</p>	<p>SECTION DETAIL</p> <p>4 EXTERIOR WALL (BRICK/STONE)</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>5 NON-PARAPET EXTERIOR WALL</p> <p>11/2'-1'-0"</p>
<p>SECTION DETAIL</p> <p>6 PARAPET EXTERIOR WALL</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>7 NON-PARAPET ROOF ASSEMBLY</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>8 PARAPET ROOF ASSEMBLY</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>9 NON-PARAPET CEILING</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>10 EXTERIOR WALL (BRICK/STONE)</p> <p>11/2'-1'-0"</p>
<p>SECTION DETAIL</p> <p>11 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>12 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>13 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>14 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>15 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>
<p>SECTION DETAIL</p> <p>16 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>17 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>18 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>19 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>20 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>
<p>SECTION DETAIL</p> <p>21 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>22 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>23 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>24 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>	<p>SECTION DETAIL</p> <p>25 NON-PARAPET PARAPET</p> <p>11/2'-1'-0"</p>

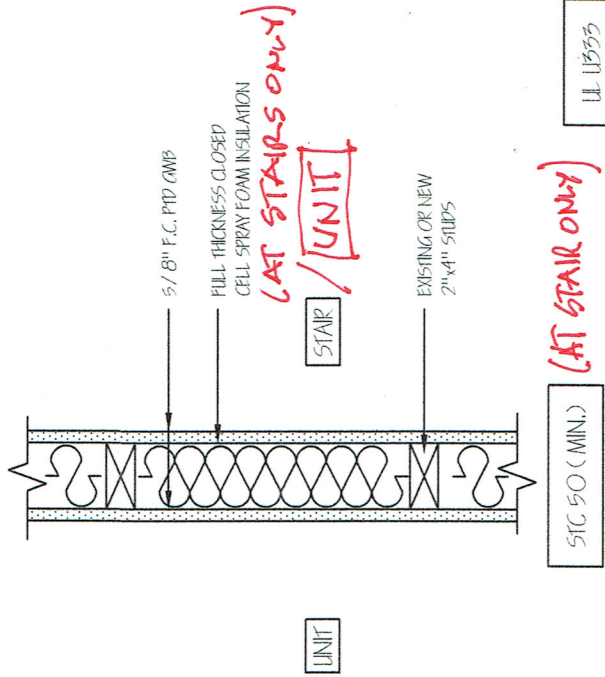
3/15/19
 MJA

ISSUED FOR CONSTRUCTION
 7-2-2018

NOT USED

TYPICAL WALL HANDRAIL SECTION

3" = 1'-0"



NOTE: WALL SHALL EXTEND FROM RATED FLOOR/CEILING ASSEMBLY TO FIRE RATED FLOOR/CEILING/ROOF ASSEMBLY PER IBC 709.4 & 712.4

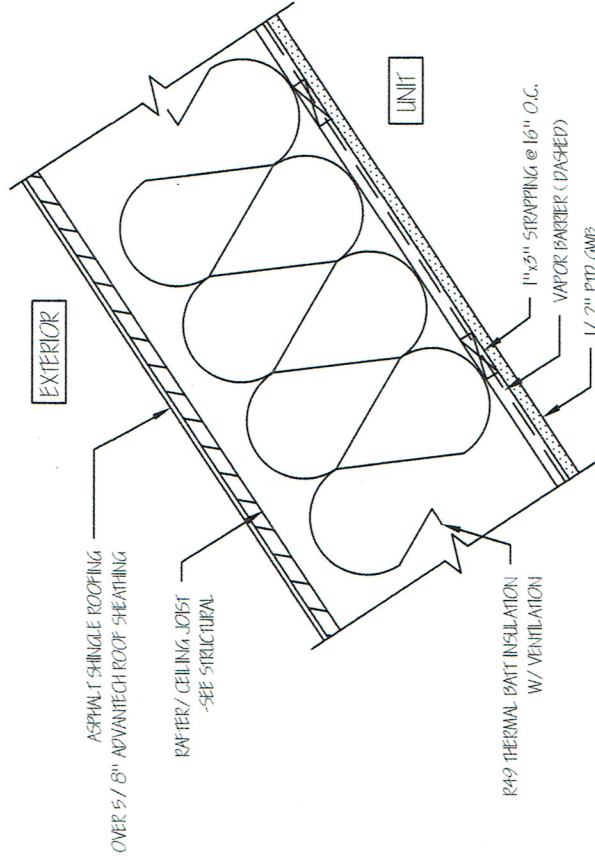
PLAN DETAIL

6 1 HR RATED PARTITION AT STAIR | 1/2" = 1'-0"

** ALL INTERIOR PARTITIONS WILL NOW BE 1 HOUR FLOOR RATED*

TYPICAL WALL HANDRAIL -TOP

3" = 1'-0"



SECTION DETAIL

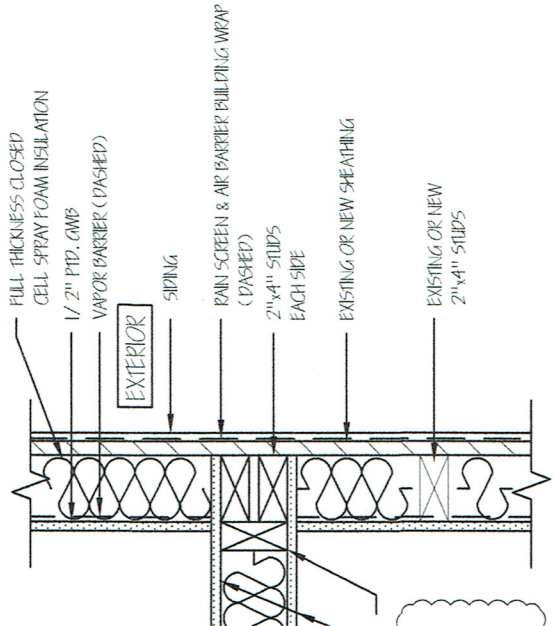
7 NON-RATED NEW ROOF | 1/2" = 1'-0"

NOTE: ROOF ASSEMBLY SHALL EXTEND TO INSIDE PLANE OF EXTERIOR

*3/16/19
MWF*

USER / TREAD DETAIL

1/2" = 1'-0"



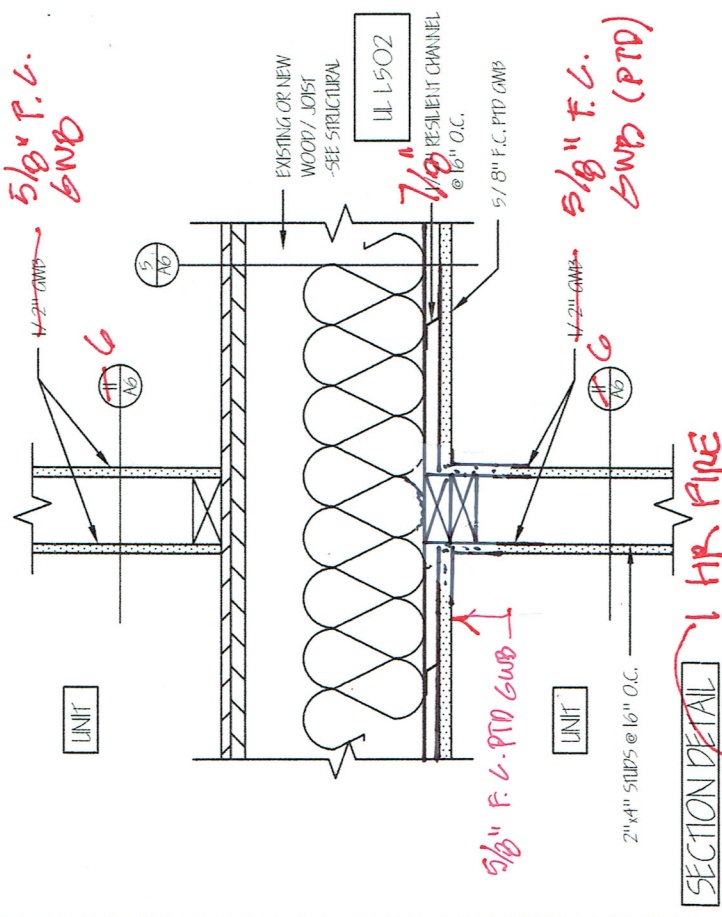
NOTE: WALL SHALL EXTEND FROM RATED FLOOR / CEILING ASSEMBLY TO FIRE RATED FLOOR / CEILING / ROOF ASSEMBLY PER IRC 709.4 & 712.4

NON-RATED PARTITION @ 1 HR FIRE RATED FLOOR / CEILING ASSEMBLY

1/2" = 1'-0"

1 HR RATED FLOOR / CEILING ASSEMBLY

1/2" = 1'-0"



SECTION DETAIL 1 HR FIRE RATED FLOOR / CEILING ASSEMBLY

NON-RATED PARTITION @ 1 HR FIRE RATED FLOOR / CEILING ASSEMBLY

1/2" = 1'-0"

CONTIGUOUS 1 HR FIRE RATING AT ALL FLOOR / CEILING STRUCTURE WITH ALL INTERIOR PARTITIONS @ 1 HOUR FIRE RATING.

MICHAEL R. TRUMP

REVISION

2 07 / 02 / 2018 FLOOR PLAN REVISION

PROJECT NAME

ARTMENT BUILDING

ORK STREET

S INVESTMENTS L.L.C.
CRTLAND SQUARE
TLAND, MAINE 04101

3/15/19
MRFH

UNIT

PTD 5/8" F.C. GWB
3/4" HARDWOOD PIPING AT TOP
3/4" T&G PLYWOOD SHEATHING

UL L502
1 HR. RATED

NEW 2 X PLATE
"BLOCKING" IN
BETWEEN STUDS
PTD 5/8" F.C.
GWB

UNIT

2 X NEW PLATE
(CONT.)

2 X 2LM JAST
(CONT.)

EXTERIOR

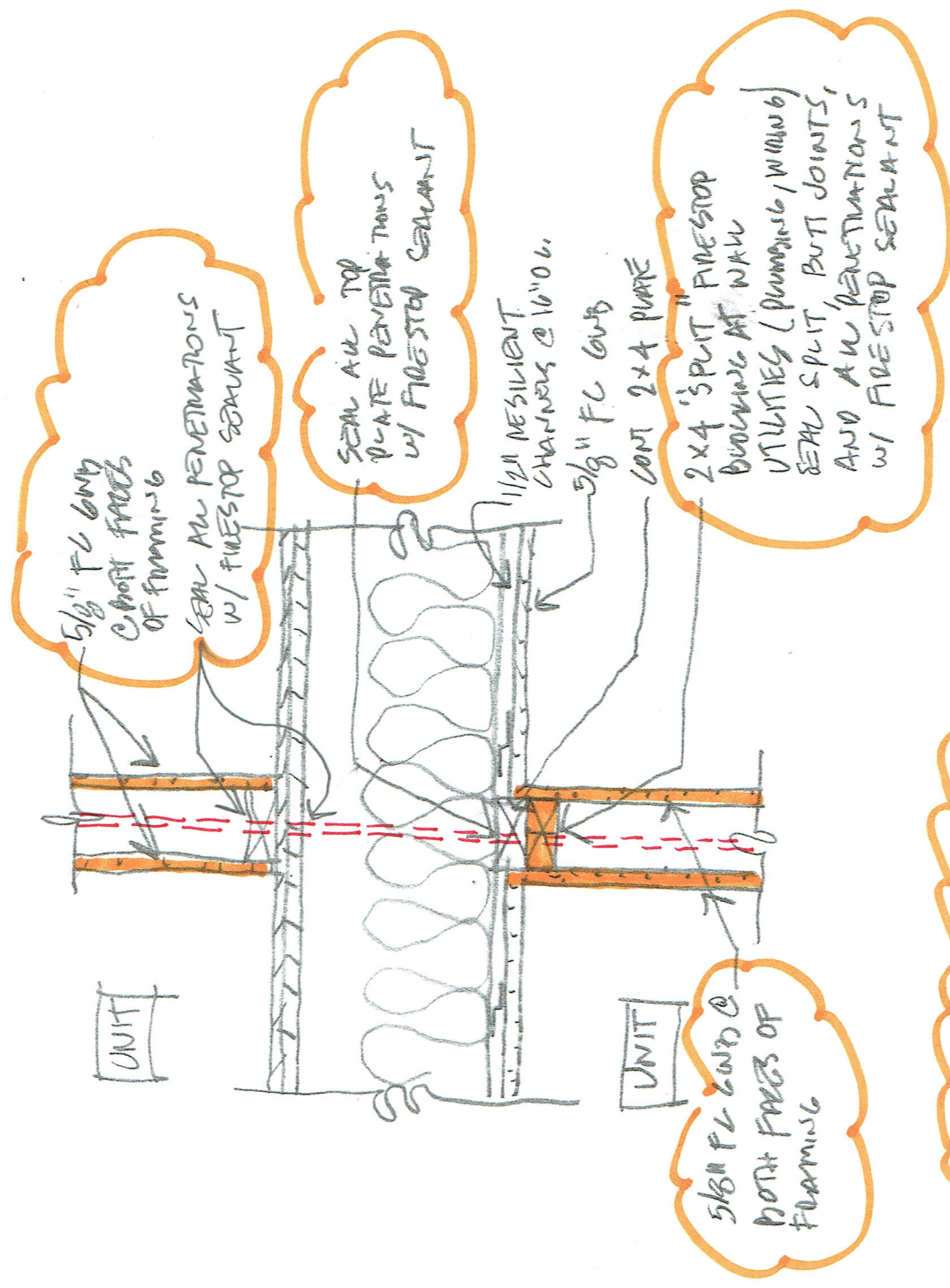
EXISTING 8 X
SOLID TIMBER
SILL (CONT.)

NEW 5/8" F.C.
GWB AT FRAMING

EXISTING 8" THICK
SOLID MASONRY
(1 HR FIRE RATED)

1 HR CONTINUITY AT EXTERIOR LOWER LEVEL WALL

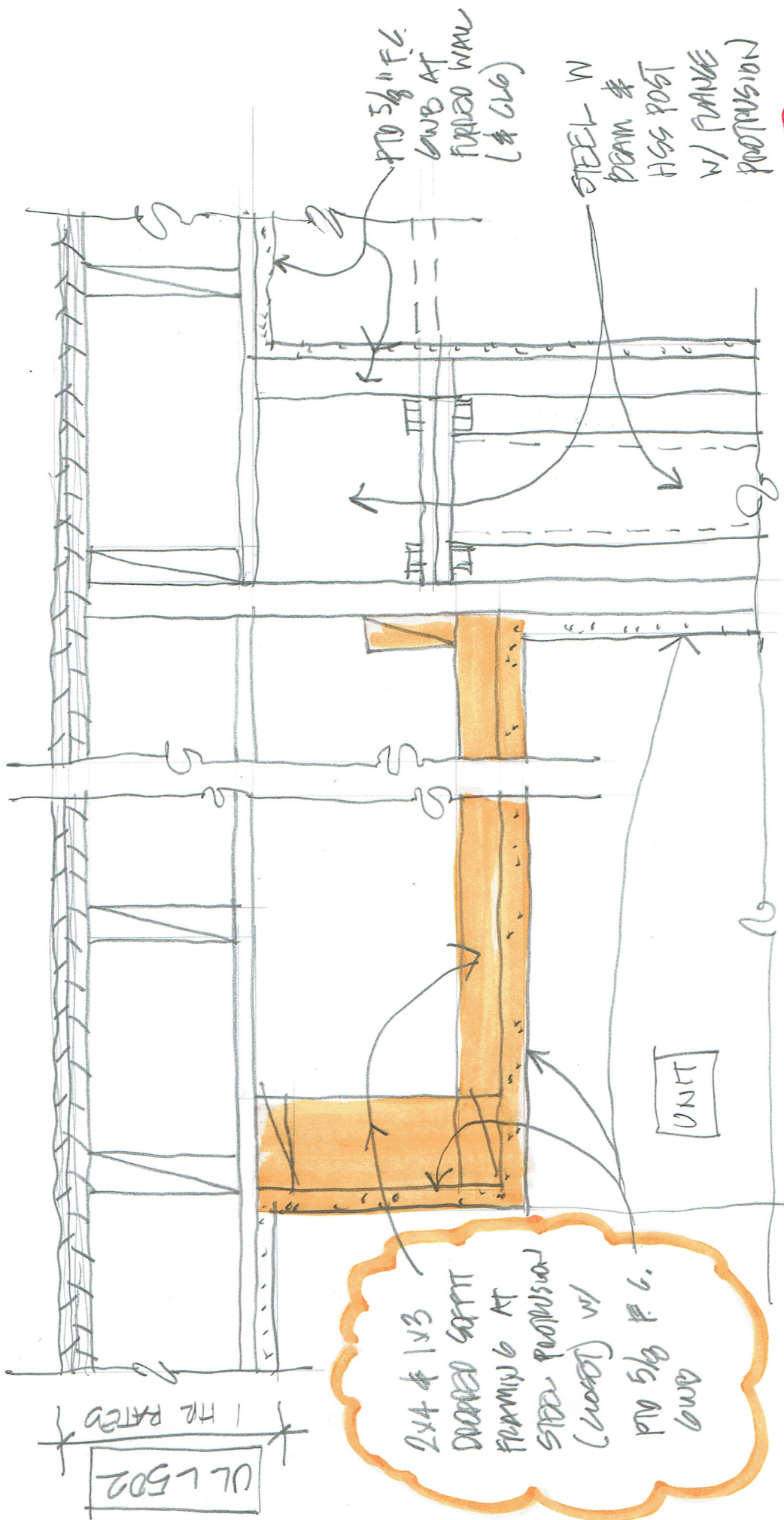
1



UL L 502 CONTINUITY

PROPOSED MODIFICATIONS FOR

UNIT



2x4 @ 12" O.C.
 DROPPED SOFT
 FRAMING AT
 STEEL PROTRUSION
 (WOOD) W/
 PTD 5/8" F.L.
 AND
 GWB

PTD 5/8" F.L.
 AND AT
 FINISHED WALL
 (& G.L.G.)

STEEL W
 BEAM &
 HSS POST
 W/ FLANGE
 PROTRUSION

3

PROPOSED MODIFICATION FOR 1 HR CONTINUITY @ STEEL STRUCTURE