

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



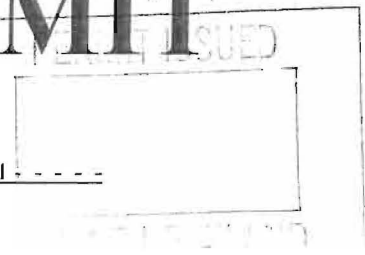
CITY OF PORTLAND BUILDING PERMIT

This is to certify that APTSLLC HARBORVIEW

Located At 127 YORK

Job ID: 2011-01-210-CH OF USE

CBL: 044 - - A - 005 - 001 - - - -



has permission to Condo Conversion to Twelve (12) Units (Change of Ownership)
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of
the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of
the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured
before this building or part thereof is lathed or otherwise
closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner
before this building or part thereof is occupied. If a
certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

03/28/2011

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR

closed

SCANNED



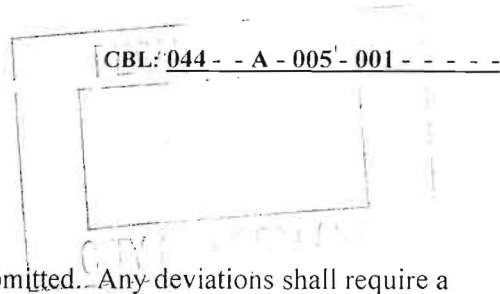
PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-01-210-CH OF USE

Located At: 127 YORK



Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. PLEASE NOTE: Under the City's Condominium conversion regulations, A) BEFORE a developer offers to convey a converted unit, a conversion permit shall be obtained. B) Rent may not be altered during the official noticing period unless expressly provided in a preexisting written lease. C) For a sixty (60) day period following the notice of intent to convert, the tenant has an exclusive and irrevocable option to purchase during which time the developer may not convey or offer to convey the unit to any other person. D) The developer shall post a copy of the permit in a conspicuous place in each unit, and shall make copies available to prospective purchasers upon request. E) If a tenant is eligible for tenant relocation payments, they SHALL be paid a CASH PAYMENT BEFORE the tenant is required to vacate.
3. PLEASE NOTE: Under the City's Condominium Conversion regulations, if a tenant makes a decision not to purchase their unit and also decides not to remain in the building after their notification, that tenant has the right to move without penalty. If that protected tenant is under the 80% low/moderated income limit guidelines, there is still a requirement on the owner/developer to pay that tenant relocation payments as stated in the ordinance prior to vacating the unit. That tenant has not lost any rights under this ordinance by making a choice to move and vacate their unit after notification.
4. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
5. This property shall remain 12 condominium dwelling units with the issuance of this permit. Any change of use shall require a separate permit application for review and approval.

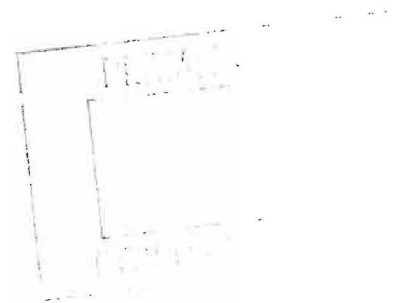
Building

1. Construction activity was not applied for or reviewed as a part of this permit. This permit authorizes a change in ownership ONLY.
2. The Unit(s) must comply with our minimal Building and Life Safety (Fire) Codes, and all conditions listed under permit # 2011-02-415-MF-F+.

Conditions of Approval:

Fire

1. Structure shall comply with City Code Chapter 10.
2. Permits will be required for any construction work being performed, including: sprinkler, fire alarm, electrical, HVAC, plumbing.
3. Owner reports he will be sprinkling the entire structure with an NFPA 13R sprinkler system
4. A fire alarm system is required. Initiation shall be by manual pull stations and the sprinkler shall be supervised for water flow and supervisory signals.
5. Hardwired photoelectric smoke alarms are required in each bedroom and outside of each bedroom in the living area. New smoke alarms shall be interconnected within each dwelling. See City Code for specifics.
6. Hardwired Carbon Monoxide alarms with battery backup are required in the dwelling units.
7. This building has some 1 3/4" solid wood doors from the units to the stairs. Such doors shall be self-closing and self-latching. Doors that are not 1 3/4" solid wood are to be 1-hour fire door assemblies.



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. All inspection required under permit # 2011-02-415-MF-F+.
2. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

Condominium Conversion

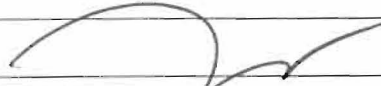
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>127-129 York St.</u>		
Total Square Footage of Proposed Structure/Area <u>8,823 finished</u>	Square Footage of Lot <u>7,122</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>44 A 5</u>	Applicant ⁺ <u>must be owner, Lessee or Buyer</u> Name <u>Harborview Development LLC</u> Address <u>P.O. Box 8816</u> City, State & Zip <u>Portland, ME 04104</u>	Telephone: <u>207-776-9715</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,800.⁰⁰</u> C of O Fee: \$ <u>900.⁰⁰</u> Total Fee: \$ <u>2,700.⁰⁰</u>
Current legal use (i.e. single family) <u>12 unit multi-family</u> Number of Residential Units <u>12</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Condominium Conversion - 12 unit condominium</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Conversion of 12-unit apartment building to 12 cond units</u>		
Contractor's name: <u>N/A</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Jonathan Culley</u> Telephone: <u>207-776-9715</u> Mailing address: <u>P.O. Box 8816, Portland, ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

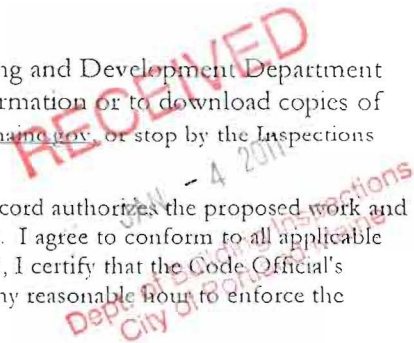
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 1/4/2011

This is not a permit; you may not commence ANY work until the permit is issued



Submit with Condominium Conversion Permit Application

Project Data:

Address: 127-129 York Street, Portland, Maine

C-B-L: 44-A-5

Number of Units in Building: 12 units

<u>Unit #</u>	<u>Tenant Name(s)</u>	<u>Tenant Tel#(s)</u>	<u>Occup. Length</u>	<u>Date of Notice</u>	<u>Eligible for \$</u>
127-1	Ryan Prosser ✓	207-749-6235	22 months (2/3/2009)	12/08/2010	TBD
127-2	Lori Thomas ✓	207-409-0916	23 months (1/10/2009)	12/08/2010	TBD
127-3	James and Sharon Romano ✓	508-331-8044	18 months (8/1/2009)	12/08/2010	TBD
127-4	James McQuinn ✓	207-318-2070	~10 years	12/08/2010	YES
127-5	VACANT				
127-6	Elisabeth Koury ✓ (Vacated on 12/27/2010)	603-727-8634	4 months (8/22/2010)	12/08/2010	YES - PAID
129-1	Ray Tremblay ✓ (Vacated on 12/16/2010)	207-329-7052	9 months (3/6/2010)	12/08/2010	TBD
129-2	Steven Reiner ✓ Chase Martin	207-752-4500 207-409-4163	4 months (8/20/2010)	12/08/2010	TBD
129-3	Charles Ellingwood ✓ Donovan Black	207-251-9365 561-685-0705	5 months (8/1/2010)	12/08/2010	TBD
129-4	Cindy Doxsey ✓	207-595-2449	4 months (9/1/2010)	12/08/2010	TBD
129-5	Daniel Hardy ✓	207-318-2427	3+ years (3/22/2007)	12/08/2010	TBD
129-6	Margaret Sherin ✓	207-730-3245	3+ years (7/1/2007)	12/08/2010	TBD

Length of time building owned by applicant: From 12/03/2010

Are any building improvements, renovations, or modifications being made associated with this conversion that requires a building, plumbing, electrical, or heating permit?

YES X NO (check one)

Building permit application will be submitted separately.

Type and Cost of building improvements associated with this conversion that do not require permits (costs are estimates and are subject to change):

\$ NA Exterior walls, windows, doors, roof

\$ 4,000 Insulation

\$ 20,000 Interior cosmetics (walls/floors/hallways/refinishing, etc.)

\$ 50,000 Other (specify) – Kitchen and bath cosmetic improvements, new cabinets, countertops, appliances, and fixtures



P.O. Box 8816
Portland, ME 04104
Office: 207-221-5746
Fax: 207-221-2822
www.redfernproperties.com

December 8, 2010

James and Sharon Romano
127 York Street - Apt #3
Portland, ME 04101-4545

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Mr. and Mrs. Romano:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (127 York #3) for \$193,500. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$219,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Culley', with a long horizontal stroke extending to the right.

Jonathan Culley
Harborview Development LLC
Redfern Properties LLC
jonathan@redfernproperties.com
cell: 207-776-9715



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December 8, 2010

Mr. Ryan Prosser
127 York Street - Apt #1
Portland, ME 04101-4545

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Ryan:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (127 York #1) for \$180,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$204,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

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December 8, 2010

Ms. Lori Thomas
127 York Street - Apt #2
Portland, ME 04101-4545

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Lori:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (127 York #2) for \$189,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$214,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,



Jonathan Culley
Harborview Development LLC
Redfern Properties LLC
jonathan@redfernproperties.com
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December 8, 2010

Mr. James McQuinn
127 York Street - Apt #4
Portland, ME 04101-4545

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Mr. McQuinn:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (127 York #4) for \$144,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$164,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Culley', with a large, sweeping flourish extending to the right.

Jonathan Culley
Harborview Development LLC
Redfern Properties LLC
jonathan@redfernproperties.com
cell: 207-776-9715



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December 8, 2010

Ms. Elizabeth Koury
127 York Street - Apt #6
Portland, ME 04101-4545

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Ms. Koury:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (127 York #6) for \$153,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. Your unit will also have an exterior deck accessed through the existing non-operational door in the hallway. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$174,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as

determined by the US Department of Housing and Urban Development. If you would like us to investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

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Jonathan Culley

Harborview Development LLC

Redfern Properties LLC

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December 8, 2010

Mr. Raynald Tremblay
129 York Street - Apt #1
Portland, ME 04101-4546

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Mr. Tremblay:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (129 York #1) for \$180,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$204,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

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December 8, 2010

Mr. Steven Reiner and Mr. Chase Martin
129 York Street - Apt #2
Portland, ME 04101-4546

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Mr. Reiner and Mr. Chase:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (129 York #2) for \$189,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$214,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Culley', with a large, sweeping flourish that extends to the right.

Jonathan Culley

Harborview Development LLC

Redfern Properties LLC

jonathan@redfernproperties.com

cell: 207-776-9715



P.O. Box 8816
Portland, ME 04104
Office: 207-221-5746
Fax: 207-221-2822
www.redfernproperties.com

December 8, 2010

Mr. Charles Ellingwood and Mr. Donovan Black
129 York Street - Apt #3
Portland, ME 04101-4546

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Mr. Ellingwood and Mr. Black:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (129 York #3) for \$193,500. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$219,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

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Jonathan Culley

Harborview Development LLC

Redfern Properties LLC

jonathan@redfernproperties.com

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December 8, 2010

Ms. Cindy Doxsey
129 York Street - Apt #4
Portland, ME 04101-4546

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Ms. Doxsey:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (129 York #4) for \$144,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$164,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as determined by the US Department of Housing and Urban Development. If you would like us to

investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Culley', with a large, sweeping flourish extending to the right.

Jonathan Culley
Harborview Development LLC
Redfern Properties LLC
jonathan@redfernproperties.com
cell: 207-776-9715



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December 8, 2010

Mr. Daniel Hardy
129 York Street - Apt #5
Portland, ME 04101-4546

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Mr. Hardy:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (129 York #5) for \$148,500. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. Your unit will also have an exterior deck accessed through the existing non-operational door in the hallway. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$169,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as

determined by the US Department of Housing and Urban Development. If you would like us to investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Culley', with a large, sweeping flourish above the name.

Jonathan Culley
Harborview Development LLC
Redfern Properties LLC
jonathan@redfernproperties.com
cell: 207-776-9715



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December 8, 2010

Ms. Margaret Sherin
129 York Street - Apt #6
Portland, ME 04101-4546

Re: 127 York Street, Portland, Maine, Condominium Conversion

Dear Ms. Sherin:

The purpose of this letter is to inform you that we intend to convert the property at 127-129 York Street, Portland, Maine into 12 distinct condominium units. We are required by statute to give you a minimum 120 days notice of our intent to convert to condominiums. You will not be asked to leave the premises for at least 120 days. This notice is **not** a notice to vacate the unit. If it comes to that, a separate 30-day notice to quit may be provided to you at a future date.

One of our obligations is to offer you a 60 day option to purchase the unit in which you reside at the most favorable price. We are offering you the option to purchase your unit (129 York #6) for \$153,000. This price includes a completely renovated unit including a new kitchen (new cabinets, new granite countertops, new appliances inc. dishwasher), a new bathroom, in-unit laundry appliance, new interior doors, new paint, refinished wood floors, etc. Your unit will also have an exterior deck accessed through the existing non-operational door in the hallway. I would be happy to provide a more detailed specification of the contemplated improvements for your review. If you do not purchase the unit, we intend to offer it to the public at a price of around \$174,900. If you decline to purchase the unit and we are unable to sell it in the next 180 days and subsequently reduce the price, you will have another opportunity to purchase the unit at the reduced price.

As the Developer of this project, we are required by City of Portland ordinance to give you the following notice:

If you do not buy your apartment, the developer of this project is required by law to assist you in finding another place to live and in determining your eligibility for relocation payments. If you have questions about your rights under the law or complaints about the way you have been treated by the developer, you may contact the Building Inspection Division, Department of Planning and Urban Development, City of Portland, 389 Congress Street, Portland, ME 04101 (telephone: 874-8703).

We may be required to assist you with relocation payments if your gross household income is less than 80% of the median income of the Portland SMSA, adjusted for household size, as

determined by the US Department of Housing and Urban Development. If you would like us to investigate whether you qualify for this assistance, or if you would like us to provide assistance to you in the form of referrals to other reasonable accommodations, please let us know.

We are committed to minimizing any potential disruption to you caused by the condominium conversion process. Do not hesitate to contact me with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jonathan Culley', with a large, sweeping flourish extending to the right.

Jonathan Culley
Harborview Development LLC
Redfern Properties LLC
jonathan@redfernproperties.com
cell: 207-776-9715

Job Summary Report
Job ID: 2011-01-210-CH OF USE

Report generated on Jan 5, 2011 2:28:36 PM

Job Type:	Change of Use Commercial	Job Description:	127 - 129 York St Condo Conv 12 unit	Job Year:	2010
Building Job Status Code:	Initiate Plan Review	Pin Value:	372	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:		Square Footage:			
Related Parties:		APTS HARBORVIEW		Property Owner	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 6322

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
N10506	044 A 005 001		M				-70.258851	43.650726

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				127 YORK STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
ELEVEN TO TWENTY FAMILY <i>12 legal D.U.</i>		NOT APPLICABLE <i>R-6</i>				<i>Not in Historic</i>	DISTRICT 3	WEST END

Structure Details

Structure: Condo Conv - 12 Units

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Multi-Family 5+ Building	0			127 YORK STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference
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User Defined Property	Value
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Permit #: CHUSE-CONDO-590

Permit Data

Job Summary Report
Job ID: 2011-01-210-CH OF USE

Report generated on Jan 5, 2011 2:28:36 PM

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
6322	Condo Conv - 12 Units	Initialized	Condo Conv 12 Units			

Inspection Details						
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Fees per Unit/per C of O	\$2,700.00							