

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that HARBORVIEW DEVELOPMENT

Located At 125 YORK ST

Job ID: 2012-04-3816-MF 3

CBL: 044- A-004-001

has permission to Build a new 7 Unit 3 story Townhouse, each with 2.5 baths, and 5/3 bedrooms units and 2/ 2 bedroom units provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 6/4/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-04-3816-MF 3	Date Applied: 4/20/2012	CBL: 044- A-004-001	
Location of Construction: 125 YORK ST	Owner Name: HARBORVIEW DEVELOPMENT	Owner Address: PO BOX 8816 PORTLAND, ME 04104	Phone: 776-9715
Business Name:	Contractor Name: Joanthen Culley/ Redfern Properties LLC	Contractor Address: P.O. Box 8816 PORTLAND MAINE 04104	Phone: (207) 776-9715
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: R-6
Past Use: Existing 12 residential condo building on the lot	Proposed Use: To construct a 2 nd building on the lot for 7 residential condominium units	Cost of Work: \$1,250,000.00	CEO District:
		Fire Dept: 5/2/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB IRC-2009 Signature: JMB
Proposed Project Description: 7 Unit Townhouse 2.5 bath, 5 w/3 bed 2 w/2		Pedestrian Activities District (P.A.D.) 6/4/12	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone <i>Panel 13 Zone C</i></p> <p><input checked="" type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>2011-214 OK 4/28/11</i></p> <p><input checked="" type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>4/24/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use <i>EBA for lot size</i></p> <p><input checked="" type="checkbox"/> Interpretation <i>5/19/11 when per DU</i></p> <p><input checked="" type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Plumbing Rough

Foundation/Rebar

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-04-3816-MF 3

Located At: 125 YORK ST

CBL: 044- A-004-001

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
4. This property shall remain a twelve (12) residential condominiums for the existing building and seven (7) residential condominiums in the newly constructed building. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. Application requires State Fire Marshal approval.
4. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
5. Central Station monitoring for addressable fire alarm systems shall be by point.
6. A separate Fire Alarm Permit is required. This review does not include approval of fire alarm system design or installation.
7. A sprinkler supervisory system shall be provided in accordance with NFPA 101, *Life Safety Code*, and NFPA 72, *National Fire Alarm and Signaling Code*. Sprinkler supervisory systems shall monitor for water flow and sprinkler supervisory signals via an approved fire alarm panel to central station. One smoke detector shall be located over the panel, a manual pull station located at the front door, and an audible water flow alarm provided.
8. The sprinkler supervisory system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
9. The sprinkler supervisory system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
10. All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP labeled "FIRE ALARM RECORDS".
11. Records cabinet, FACP, annunciator(s), and pull stations shall be keyed alike.
12. All smoke detectors and smoke alarms shall be photoelectric.

13. Carbon Monoxide is detection required in accordance with NFPA 720, *Standard for Installation of Carbon Monoxide (CO) Detection and Warning Equipment*, 2009 edition.
14. The sprinkler system shall be installed in accordance with NFPA 13 or 13R.
15. A separate Suppression System Permit is required. This review does not include approval of sprinkler system design or installation.
16. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
17. The Fire Department Connection shall be located at Adjacent to York Street at the curb and shall have approved signage at the FDC and at the water flow alarm on the building. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
18. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
19. A Knox Box is required.
20. A firefighter Building Marking Sign is required.
21. Fire extinguishers are required per NFPA 1.
22. Any cutting and welding done will require a Hot Work Permit from Fire Department.
23. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
24. A single source supplier should be used for all through penetrations.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. The common separation walls shall not have plumbing or mechanical penetrations and electrical membrane penetrations shall comply with IRC 2009 Sec. R302.4.2.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>121-125 York Street</u>		
Total Square Footage of Proposed Structure/Area <u>11,840 sf</u>	Square Footage of Lot <u>14,117 sf</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>44</u> Block# <u>A</u> Lot# <u>5</u> <i>with 4</i>	Applicant * must be owner, Lessee or Buyer * Name <u>Harborview Development LLC</u> Address <u>P.O. Box 8816</u> City, State & Zip <u>Portland, ME 04104</u>	Telephone: <u>207-776-9715</u>
Lessee/DBA (If Applicable) <u>existing 12 condunits bldg</u> <i>on 44-A-5</i>	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>1,250,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Vacant Land</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>7 new residences condominiums</u> Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Harborview Condominiums</u> Project description: <u>S/W/3 2/02 2.5 Bath -</u> <u>New 7-unit townhome complex Contact Jean Fraser in Planning for details.</u>		
Contractor's name: <u>Owner / Redfern Properties LLC</u> Address: <u>P.O. Box 8816</u> City, State & Zip <u>Portland, ME 04104</u> Telephone: _____ Who should we contact when the permit is ready: <u>Jonathan Culley</u> Telephone: <u>776-9715</u> Mailing address: <u>P.O. Box 8816 Portland, ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I agree to certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

RECEIVED
APR 20 2012
DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND MAINE

Signature: _____ Date: 4/20/2012

This is not a permit; you may not commence ANY work until the permit is issue

Jeanie Bourke - 127 York street, Harborview Townhomes - Building Permit Issuance

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 6/1/2012 2:57 PM
Subject: 127 York street, Harborview Townhomes - Building Permit Issuance

Hi all, this project. site plan #2011-214, the Harborview Townhomes project located at 127 York Street and under development by Jonathan Culley, meets minimum DRC site plan requirements for the issuance of a Building Permit. The PG has been posted, site inspection fee paid, and the preconstruction meeting has been held.

Please contact me with any questions. Thanks.

Phil

Marge Schmuckal - Harborview Townhomes

From: Jean Fraser
To: Schmuckal, Marge
Date: 4/23/2012 10:16 AM
Subject: Harborview Townhomes
CC: DiPierro, Philip; Dobson, Lannie

Hi

I understand that Jonathan Culley has applied for a building permit for this 7 unit new condo building on York Street.

Just to confirm this is the status re the site plan:

1. On Friday I received sets of the final site/civil plans; I will check these and get a set to Inspections and Phil today so that the BP review and PG discussion can proceed;
2. The Subdivision Plat mylar is being signed by the Planning Board tomorrow; it will not be released for recording until the PG is in place and the easement (grading easement for Mc Cormick condos) is signed and recorded);
3. I recently sent you the revised and final elevations but will include a paper copy with the final plans.

Please call if any questions as their site plan expires in early June and I understand they want to get on site in May.

thank you
Jean

CITY OF PORTLAND, MAINE

PLANNING BOARD

Joe Lewis, Chair
Carol Morrissette, Vice Chair
Lee Lowry, III
Stuart G. O'Brien
Michael J. Patterson
David Silk
Bill Hall

July 26th, 2011

Jonathan Culley
Harborview Development LLC dba Redfern Properties LLC
P.O. Box 8816
Portland, Maine 04104



Project Name: Harborview Townhomes
New building comprising 7 residential units
(19 space parking lot shared with existing 12 unit residential building)
Project ID: 2011-214
Project Address: 127 York Street (aka 121-129 York Street)
CBL: 44 - A-004/005

Dear Mr Culley:

On June 28, 2011 the Portland Planning Board considered and approved a Level III Final Site Plan and Subdivision proposal to construct a 7 unit residential building on a .32 acre parcel at 127 York Street, including the provision of a 19 space parking lot that serves both the new building and the adjacent existing 12 unit building.

On July 12, 2011 the Planning Board reconsidered the June 28th decision in respect of the Site Plan only and approved the Site Plan with a revised condition.

The Planning Board approved the application with the following motions and conditions as presented below.

SUBDIVISION REVIEW – June 28th, 2011

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 13-11 for Harborview Townhomes, 127 York Street Application # 2011-214 relevant to the Site Plan and Subdivision reviews and other regulations, and the testimony presented at the Planning Board hearing, the Planning Board finds the following:

The Planning Board voted 4-0 (O'Brien, Patterson and Silk absent) that the plan is in conformance with the subdivision standards of the Land Use Code, subject to the following five (5) conditions of approval:

- i. That the Subdivision Plat shall be finalized to the satisfaction of the Planning Authority, Corporation Counsel, and Department of Public Services and include detailed references to approval dates, easements, the Condominium Association documents and relevant conditions; and
- ii. That the Condominium Association documents for both buildings, comprising all 19 units, including the Stormwater Maintenance Agreement and Stormwater Inspection and Maintenance Plan, shall be finalized to the satisfaction of the Corporation Counsel prior to the recording of the Subdivision Plat; and

- iii. That the applicant and all assigns shall comply with the conditions of Chapter 32 Stormwater including Article III, Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer /contractor /subcontractor must comply with conditions of the construction stormwater management plan and sediment & erosion control plan based on City standards and state guidelines. A maintenance agreement for the stormwater drainage system, as included in Attachment L of this Report, or in substantially the same form with any changes to be approved by Corporation Counsel, shall be submitted and signed prior to the issuance of a Certificate of Occupancy with a copy to the Department of Public Services; and
- iv. That the applicant shall revise Note #1 on the "Offsite Snow Removal Plan" dated 6-21-2011 so that it states: " SNOW MAY BE STORED WITHIN THE TEMPORARY SNOW STORAGE AREAS **ONLY**"; and
- v. That trash removal vehicles shall not block York Street during the afternoon peak travel times (after 3pm) on weekdays.

WAIVER – July 12th, 2011

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations, contained in the Planning Board Report # 13-11 and #13-11A for Harborview Townhomes, 127 York Street Application # 2011-214 relevant to Portland's Technical and Design Standards and other regulations, and the testimony presented at the Planning Board hearings:

The Planning Board voted 6-0 (Morrissette absent) to waive Technical Standard, Section 1.14 to allow 4 of the 19 parking spaces to be compact parking spaces, as shown in the submitted plan "Exhibit A" (Attachment 4, page 4) dated 7.5.2011.

SITE PLAN REVIEW – July 12th, 2011

On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 13-11 and #13-11A for Harborview Townhomes, 127 York Street Application # 2011-214 relevant to the Site Plan review and other regulations, and the testimony presented at the Planning Board hearings, the Planning Board finds the following:

The Planning Board voted 5-1 (Lewis opposed; Morrissette absent) that the plan is in conformance with the site plan standards of the Land Use Code, subject to the following seven (7) conditions of approval:

- i. That the applicant shall submit an example of the fence product proposed for the frontage of the property (or identify a location in the area where it can be seen) for review and approval by the Planning Authority prior to the issuance of a building permit; and
- ii. That the applicant shall submit revised site plans to incorporate the walkway route and associated revisions as shown in the submitted plan "Exhibit A" (Attachment 4, page 4) dated 7.5.2011, with the walkway section within the parking lot drive aisle to be a stamped pavement material of a different and visible color, for review and approval by the Planning Authority prior to the issuance of a building permit; and
- iii. That the applicant shall submit revised plans/documents that address the 6.23.2011 Woodard & Curran Engineering Review comments for review and approval by the Planning Authority prior to the issuance of a building permit; and

3.

- iv. That the applicant shall obtain easements or temporary construction agreements for all work outside the boundaries of the site; and
- v. That the applicant shall submit a revised Landscape Plan that addresses the 6.24.2011 City Arborist comments in respect of preservation of existing trees; planting details; and 11 new street trees/contribution to the Street Tree Fund, for review and approval by the Planning Authority prior to the issuance of a building permit; and
- vi. That a detail for the bicycle parking that shows : a) spacing between the racks; b) spacing from front of rack to wall; and c) dimensions for the entire bicycle parking area, shall be submitted for review and approval prior to the issuance of a Certificate of occupancy; and
- vii. That any additional site lighting, including exterior wall mounted lighting, shall meet the City's standards as currently set out in Section 12 *Site Lighting Standards* in the City's Technical Manual.

The approval is based on the submitted plans and the findings related to site plan and subdivision review standards as contained in Planning Reports #13-11 and #13-11A for application 2011-214, which are attached. The standard conditions of approval are listed below.

Standard Conditions of Approval

Please note the following standard conditions of approval and requirements for all approved site plans:

1. A revised recording plat listing all conditions of subdivision approval must be submitted for review and signature prior to the issuance of a building permit.
2. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of the Site Plan Ordinance of Portland's Land Use Code.
3. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds, and prior to the release of a building permit, street opening permit or certificate of occupancy for site plans.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. The subdivision approval is valid for three (3) years.
7. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
8. Mylar copies of the as-built drawings for the public streets and other public infrastructure in the subdivision must be submitted to the Public Services Dept. prior to the issuance of a certificate of occupancy.
9. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

10. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
11. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

Philip DiPierro, Development Review Coordinator, must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at 874-8632.

Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Jean Fraser at 874 8728 or jf@portlandmaine.gov.

Sincerely,



Joe Lewis, Chair
Portland Planning Board

Attachments:

1. 6.23.2011 Woodard & Curran Engineering Review comments
2. 6.24.2011 City Arborist comments
3. Planning Board Report #13-11
4. Planning Board Report #13-11A
5. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services

Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, TY Lin
David Senus, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

Comments
Submitted

526
Jamie Broadbent
Jonathan Cully

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 2011-214 **Application Date:** 3/31/2011 12:00:00 AM
Project Name: Harborview Townhouses
Address: 127 York Street
Project Description: Construction of 7 Residential Townhome Units
Zoning: R6
Other Reviews Required:
Review Type: Level III

under 44-A-00(5)
not 4

Distribution List:

<input type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by: April 13, 2011

Final Comments needed by: April 20, 2011

Site plan should show all project units

received 4/11/11

*Revised Comments
4/9/11*

**City of Portland
Development Review Application
Planning Division Transmittal form**

Application Number: 2011-214 **Application Date:** 3/31/2011 12:00:00 AM

Project Name: Harborview Townhouses

Address: 127 York Street *sub by this #* *under comment*

Project Description: Construction of 7 Residential Townhome Units

Zoning: R6 *44-A-00(4) (5)*

Other Reviews Required:

Review Type: Level III Final Review *Blip permit with this* *sub plan under 114*

Distribution List:

<input type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Final Comments needed by: June 22, 2011 at the latest

6/7/11

127 York Street – revised comments

044-A- 4 & 5

3/30/12

I have reviewed new elevation plans for this project. The e-mail submittal shows the same average grade of 50.88 feet. However the height to the roof beam has been reduced to 40.66'. The maximum building height is 45'. The revised building height is meeting the R-6 zone requirements.

Marge Schmuckal

Zoning Administrator

Marge Schmuckal - Fwd: updated elevations for Harborview

From: Jean Fraser
To: Barhydt, Barbara; Jaegerman, Alex; Schmuckal, Marge
Date: 3/29/2012 1:41 PM
Subject: Fwd: updated elevations for Harborview
CC: Andrews, Deb
Attachments: RDF_T-20120329-BUILDING_ELEVATIONS_PLANNING.PDF; Elevs as to PI Bd hearing harborview.pdf

Alex, Marge, and Barbara,

Since the Planning Board approval of the elevations the applicant has revised the fenestration and the finished grades and some other internal floor levels- as shown in the "RDF" plan attached (first attachment). I have requested these elevations with dimensions so that we can:

1. Check re average grades and overall height whether they still meet the zoning requirements; and
2. Determine whether the change in windows/overhangs etc is a revision that can be approved at staff level.

I attach (second attachment) the elevations as approved by the Planning Board.

For discussion and decision in next few days please.

thanks
 Jean

>>> Jamie Broadbent <jamie@kaplanthompson.com> 3/29/2012 11:15 AM >>>
 Hello Jean,

I've attached the updated elevations as requested.

The only major change of note is that the overall height of the building has come down relative to average grade. The tallest part of the building (top of roof beam at the rear/northwest) is now 40'-8" above average grade (WAS 44'-7 1/2" above average grade). The floor heights and average grade are unchanged from before.

Let me know if you need more info or if anything is unclear.

Regards,

JAMIE BROADBENT ARCHITECT, LEED AP
 KAPLAN THOMPSON ARCHITECTS
 424 FORE STREET
 PORTLAND ME 04101

207 842-2888 x208

JAMIE@KAPLANTHOMPSON.COM
[HTTP://WWW.KAPLANTHOMPSON.COM](http://www.kaplanthompson.com)

*now
 or 40.66'*

Harborview Townhouses – 127 York Street -044-A-4 & 5

R-6 Residential Zone

5/26/2011 On this date I met with Jamie Broadbent and Jonathan Culley to go over my zoning concerns. These comments supersede my previous comments on April 12, 2011 and April 22, 2011.

Please note that on May 19, 2011 the Zoning Board of Appeals reversed the zoning interpretation concerning land area per dwelling unit. The applicant is allowed to have the total 19 dwelling units on this proposal with 12 residential dwelling units in the existing building and 7 newly proposed dwelling units in a separate building on the same lot.

The current drawings submitted to me show that the new building is meeting the maximum building height of 45 feet (44.62 feet is being shown using an average grade of 50.88 feet). These same plans better explain the mezzanine area on the third floor and what the floor to ceiling height is (17') in order to be considered a single floor height for purposes of determining required setbacks. The project is considered to be a three story building for purposes of setbacks. All the required setbacks for the proposed building are being met.

The applicant did show me on 4/18/11 that the maximum open space ratio is being met at 23%. The revised plans just shown to me have not changed that ratio.

The applicant is still working with the fence along the street line. I will reserve compliance with the fence provisions of the Ordinance when I see the final concept drawings.

The applicant is meeting all the parking requirements for the 19 dwelling units located on the Portland Peninsula.

Marge Schmuckal

Zoning Administrator

6/9/11 I have received revised plans on 6/7/11 that show the fencing details to be 4' high within 25' of the street line. There is a dumpster enclosure that is 6' high that is not a concern to the Traffic Engineer. The enclosure is separate from the fence issue - MES

Marge Schmuckal - Re: Hearing comments Harborview

From: Marge Schmuckal
To: Jean Fraser
Date: 6/23/2011 12:11 PM
Subject: Re: Hearing comments Harborview

You are singing praises of One Solution? I think there is only one solution for that product, but no one is listening to me. However, I digress.....

I changed the 6/9/11 comment to read:

"6/9/11 I have received revised plans on 6/7/11 that show the fencing details to be 4' high within 25 feet of the street line. There is a dumpster enclosure that is 6' high which is not a concern to the Traffic Engineer. The enclosure is separate form the fence issue - MES"

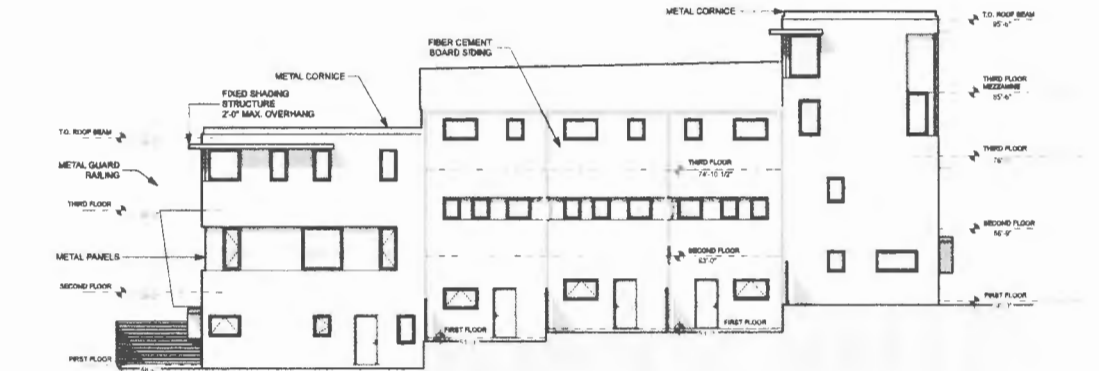
I hope

>>> Jean Fraser 6/23/2011 11:34 AM >>>
Marge,

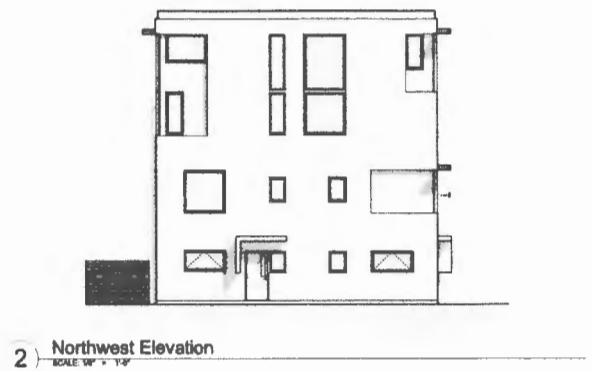
I can't even get into One solution to retrieve anything.

I attach your earlier comments (before the update that apparently disappeared) and would appreciate it if you could revise this document (last para) and send back to me so I can include it in the Hearing Report.

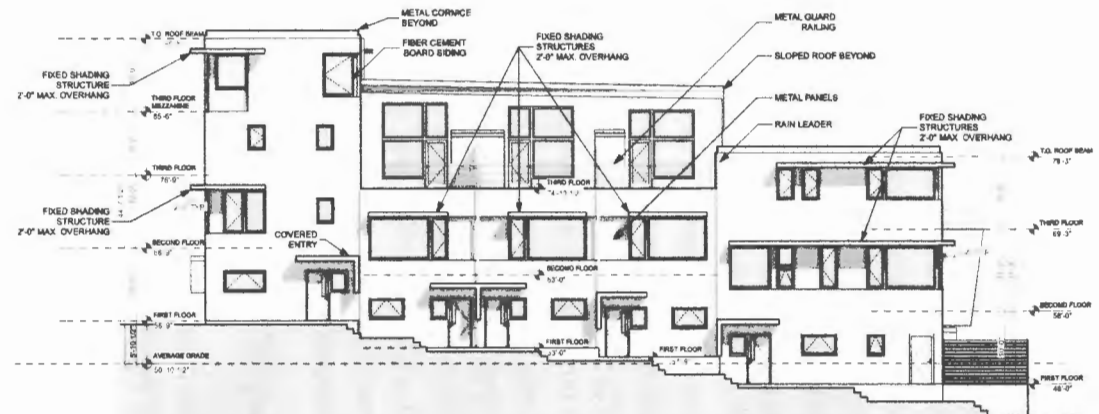
thanks
Jean



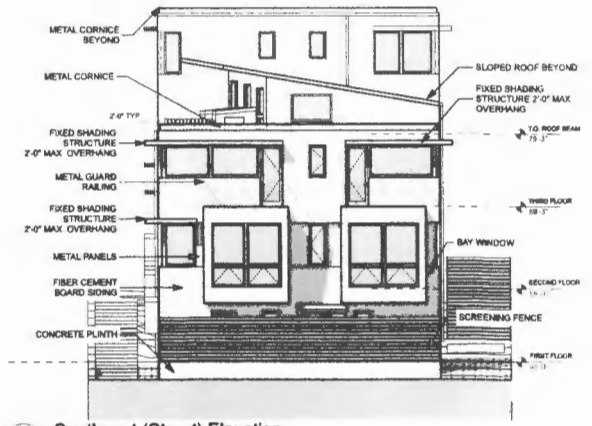
4 Northeast Elevation
SCALE: 1/8" = 1'-0"



2 Northwest Elevation
SCALE: 1/8" = 1'-0"



3 Southwest Elevation
SCALE: 1/8" = 1'-0"



1 Southeast (Street) Elevation
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS

3/29/12

3rd review comments

Harborview Townhouses – 127 York Street -044-A-4 & 5

R-6 Residential Zone

5/26/2011 On this date I met with Jamie Broadbent and Jonathan Culley to go over my zoning concerns. These comments supersede my previous comments on April 12, 2011 and April 22, 2011.

Please note that on May 19, 2011 the Zoning Board of Appeals reversed the zoning interpretation concerning land area per dwelling unit. The applicant is allowed to have the total 19 dwelling units on this proposal with 12 residential dwelling units in the existing building and 7 newly proposed dwelling units in a separate building on the same lot.

The current drawings submitted to me show that the new building is meeting the maximum building height of 45 feet (44.62 feet is being shown using an average grade of 50.88 feet). These same plans better explain the mezzanine area on the third floor and what the floor to ceiling height is (17') in order to be considered a single floor height for purposes of determining required setbacks. The project is considered to be a three story building for purposes of setbacks. All the required setbacks for the proposed building are being met.

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Marge Schmuckal

Zoning Administrator

Harborview Townhouses – 127 York Street -044-A-4 & 5

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Marge Schmuckal

Zoning Administrator

Jonathan Culley

Applicant: Harborview Townhouses

Date: 4/12/11
5/26/11 meeting
Jonathan Culley
Jamie Broadbent

Address: 127 York St,

C-B-L: 044-A-4-S

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing Developed Lot
fences 14-42x 4' high within 25'

Zone Location - R-6

Interior or corner lot -
ok per ZBA = total of 19

Proposed Use/Work - Existing 12 unit - to Add 7 Residential units

Sewage Disposal - City

Lot Street Frontage - 40' min - 45.93 + 75.49 = 121.42'

Front Yard - 10' min - 100' scaled

Rear Yard - 20' min - 20' given
looks like 4' ok

Side Yard - 13 stores = 10' 5/26/11 The Applicant showed Re Bldg to be 3 stores & not 4
~~4 stores 12'~~
~~5 stores 15'~~

Projections -
4/12/11 revised shows 45.5 -> 3/29/12 - per their new plans revised grading -> 40' 8"

Width of Lot - 40' min - 60' scaled

Height - 45' MAX I have average grade, but No. X as to the height of Bldg

Lot Area - 4,500 sq ft min - 21,239 sq ft (as survey) given

Lot Coverage Impervious Surface - 50% max for Bldg
5/19/11 The ZBA reversed my interpretation of 21239 The 19 DU are 15 = 15/18 DU MAX
- 3000 - 1573 DU

Area per Family - 1,000 sq ft for first 3 units then 1,200 sq ft each
10239 / 1,200 = 8.53
- 19 SPACES show 19 DU ok per the ZBA Decision

Off-street Parking - 1 per DU (containing 19 DU) proposing 19 spaces

Loading Bays - N/A

Site Plan - yes - # 2011-214 - level III & Subdivision

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

Open Space Ratio - 20% min (not including parking or other impervious)
- 4/12/11 shows 23%

WHAT ARE THE AREAS SHOWN ON THE PLANS? 5/26/11 meeting
2 signs on either side of driveway # of Bldg nothing else

KAPLAN THOMPSON
ARCHITECTS

TO: CITY OF PORTLAND PLANNING AUTHORITY
DATE: APRIL 14, 2011
RE: REPLY TO LEVEL III SITE PLAN REVIEW COMMENTS DATED
APRIL 12, 2011

Subject: 127 – 129 York St.
Owner Applicant: Harborview Development LLC

1. The applicant did not apply section 14-139(b)1 correctly. This land can only allow a maximum of 18 dwelling units instead of the total of 19 being proposed.

has agree

The existing twelve (12) unit building is neither new construction, nor an addition and therefore the minimum land area per dwelling unit should be calculated at 1,000 SF/unit for these twelve (12) units. The first three (3) units of the proposed new construction should be calculated at 1,000 SF/unit, and the remaining four (4) units calculated at 1,200 sf/unit. This would total 19,800 SF of land area required under the City of Portland Code of Ordinances Sec. 14-139 (b) 1. The total land area is 21,239 SF, therefore we have adequate land area for 19 units.

- over 45'*
2. I was given the average grade, but I do not see the elevation of the top of the highest roof beam. Before I can determine the height of this building I would need to see that figure.

Please see the attached, revised building elevation. The roof beam at the tallest part of the building is 44'-6" above grade.

$$\begin{array}{r} 97.39 \\ - 51.89 \\ \hline 45' 6" \end{array} \text{ OVER PLAN A-2.1}$$

- No PL*
3. The building elevation sketches lead me to believe that the proposed building may be 4 stories and not three stories. I would need more information to analyze that compliance. If it turns out that this building is actually 4 stories, then the side setbacks are wrong on the plans. 12' instead of 10' would be required.

See again the attached, revised building elevation. The back two units have a mezzanine level between the second and third floor. As per 2009 IRC, Section R202 (p. 17), Definitions: Mezzanine, Loft. "An intermediate level or levels between the floor and ceiling an any story with an aggregate floor area of not more than one-third of the area of the room or space in which the level or levels are located."

MADE THIS A SEPARATE FLOOR

4. I do not think that the open space ratio was correctly determined. I would want supporting documentation concerning this. The open space cannot include impervious surfaces nor parking. It does not appear that 66% of the lot meets the definition of open space as defined in the Ordinance.

ok

According to 14-139 (h) Open space ratio, 1. *Uses other than bed and breakfast.* Twenty (20) percent for those lots which contain fewer that twenty (20) dwelling units.”

See the attached letter from Acorn Engineering outlining the areas of open space.

Project Data Sheet calculations have been revised.

2-39 revised d

5. I am not sure that all overhangs and projections have been shown on the building site plan.

See the revised Site Plan.

Scalable version

6. I am not sure what all the markings around the building refer to.

See the revised Site Plan – markings are explained in the Symbols Legend.

7. I am also seeing a mention on the plans that two signs on either side of the driveway would be proposed. Two signs would not be allowed and not within 5' of the property line for site line purposes. Sign permits are a separate application, but I don't mind reviewing the concepts at this stage.

I need a full size

still

is sure

See the revised Site Plan. These are street fences with the property address on one of them, not signs.

↓ signs not be higher than 4' within 25' of the street line

AMENDMENT TO PORTLAND CITY CODE
§§ 14-426 and 14-434 (LAND USE)
RE: FENCES AND CORNER CLEARANCE

in effect
4/97

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

That Sections 14-426 and 14-434 of the Portland City Code are
hereby amended to read as follows:

Sec. 14-426. Fences.

*curb line - definition
see*

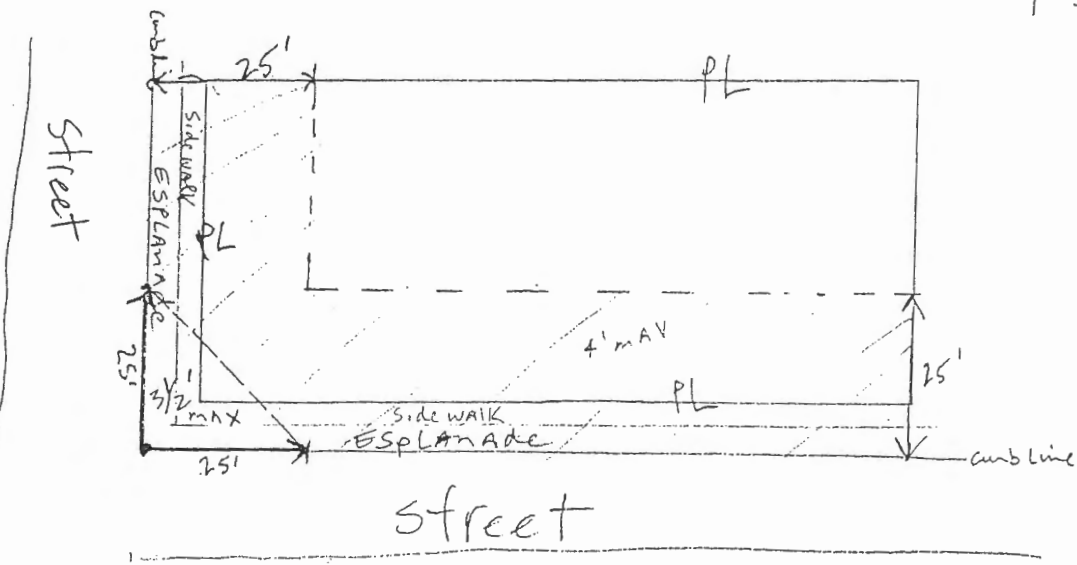
In residence zones no wall or fence along a street line or
within twenty-five (25) feet of a street line shall be more than
four (4) feet in height unless said fence is located in the side or
rear yard and is reviewed by the public works authority and found
not to be a traffic or public safety hazard, subject to the
provisions of section 14-434.

Sec. 14-434. Corner clearance.

No obstruction higher than three and one-half (3½) feet above the lowest elevation at the
curbline shall be permitted on a corner lot within the area of a triangle formed by a line
intersecting the street lines of the intersecting streets at points twenty-five (25) feet from the
corner, unless said obstruction is located in the side or rear yard and is reviewed by the public
works authority and found not to be a traffic or public safety hazard. For the purpose of this
section, the word "obstruction" shall mean any shrub, wall, fence, temporary building, sign, a
pile of material, but shall not include permanent buildings or structures where permitted
elsewhere in this article.

(Code 1968, § 602.19.M; Ord. No. 247-97, 4-9-97)

1" = 30'



Marge Schmuckal - RE: 121-129 York Street - zoning issues

From: "Jonathan Culley" <jonathan@redfernproperties.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 4/18/2011 2:40 PM
Subject: RE: 121-129 York Street - zoning issues
CC: <jesse@kaplanthompson.com>, "Barbara Barhydt" <BAB@portlandmaine.gov>, ...
Attachments: Harborview Townhouses 121-129 York Zoning Response.pdf

Jean,

Attached are our responses to Marge Schmuckal's comments on 121-129 York Street. We believe that we were unclear on several fronts in our original proposal. We apologize for this. We do believe that the attached demonstrates that our proposal is compliant with the requirements of the R-6 Zone. We would be pleased to discuss in more detail with Marge if necessary. Feel free to contact me or Jesse Thompson with any further questions. Thank you!

Jonathan Culley

Redfern Homes LLC | Redfern Properties LLC

Cell: 207-776-9715

Office: 207-221-5746

Fax: 207-221-2822

jonathan@redfernproperties.com

www.redfernhomes.com

www.redfernproperties.com

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Wednesday, April 13, 2011 2:37 PM
To: jonathan@redfernproperties.com
Cc: jesse@kaplanthompson.com; Barbara Barhydt
Subject: 121-129 York Street - zoning issues

Hello Jonathan,

I am the Planner coordinating the review of this application and I am following up on the voice mail I left for you today; I wanted to let you know the zoning review comments as soon as possible (I have not yet received other



P.O. Box 8816
Portland, ME 04104
Office: 207-221-5746
Fax: 207-221-2822
www.redfernproperties.com

April 18, 2011

Jean Fraser
City of Portland, Planning Division
389 Congress Street, 4th Floor
Portland, ME 04101

Re: 121-129 York St./Harborview Townhouses

Dear Jean:

Thank you for your email of April 13. We have reviewed Marge Schmuckal's comments regarding the Zoning considerations for 121-129 York Street/Harborview Townhouses. We believe that her concerns were a result of unclear or incomplete application in our proposal. We apologize for the confusion that this has caused.

Attached is our response to the seven issues that Marge referred to in her comments. We continue to believe that our project complies with the R-6 Zoning regulations and we have provided a much more clear explanation in the attached. Again, we apologize that our initial proposal did not provide adequate clarity.

We would be pleased to have a discussion with you or with Marge if any questions or issues remain after you have reviewed the attached. As always, please do not hesitate to call (207-776-9715) or email me (jonathan@redfernproperties.com). You are also welcome to call Jesse Thompson at Kaplan Thompson Architects (207-842-2888) or email (jesse@kaplanthompson.com).

Sincerely,

A handwritten signature in black ink, appearing to read "Jonathan Culley", is written over a light blue horizontal line.

Jonathan Culley
Redfern Properties LLC
Harborview Development LLC

Cc: Marge Schmuckal, Zoning Administrator



121 YORK ST.
PORTLAND, MAINE

PRELIMINARY SITE PLAN REVIEW: RENDERED VIEW FROM YORK STREET
DATE: MARCH 24, 2011

KAPLAN THOMPSON
ARCHITECTS



Sports complex: One or more facilities located on the same parcel of land where athletic events are held and with a combined seating capacity of at least six thousand (6,000) seats.

Stockpiling. Any placement or creation of piles or loads of soil, loam, sand, gravel, rock or other mineral deposits upon a site for the purpose of storage, warehousing or reserving for future use. Stockpiles shall be considered structures for purposes of dimensional requirements under the Land Use Code.

Stormwater detention area: A storage area for the temporary storage of stormwater runoff which does not contain water during non-storm conditions.

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.

Story: That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

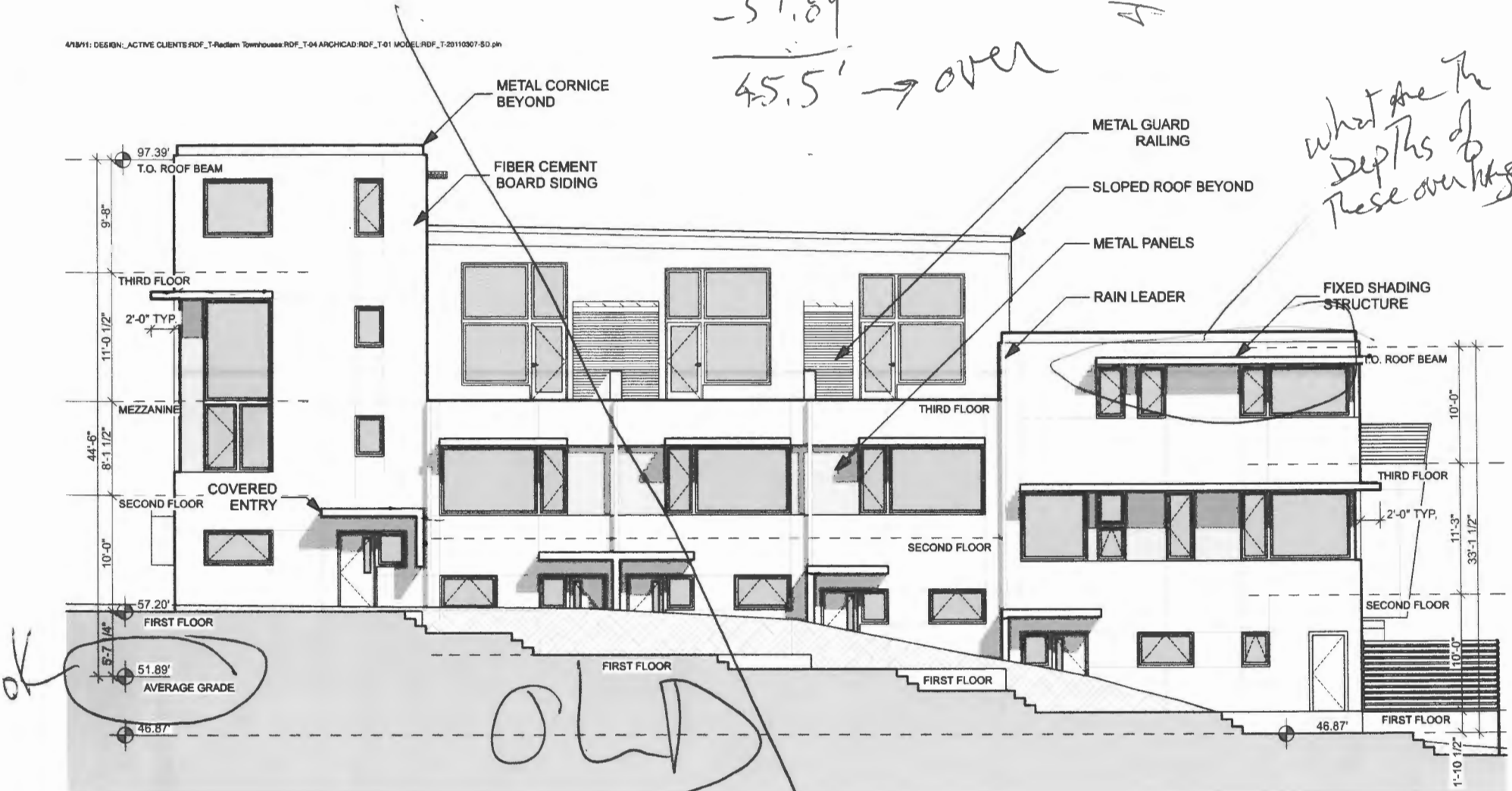
Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or attached to something having a fixed location on the ground.

97.39
 -51.89

 45.5' → over

4/18/11

what are the depths of these overhangs



1 **SOUTHWEST ELEVATION**

KAPLAN THOMPSON
 ARCHITECTS
 424 FORE ST., PORTLAND, ME 04101
 207-842-2888 FAX:842-2828

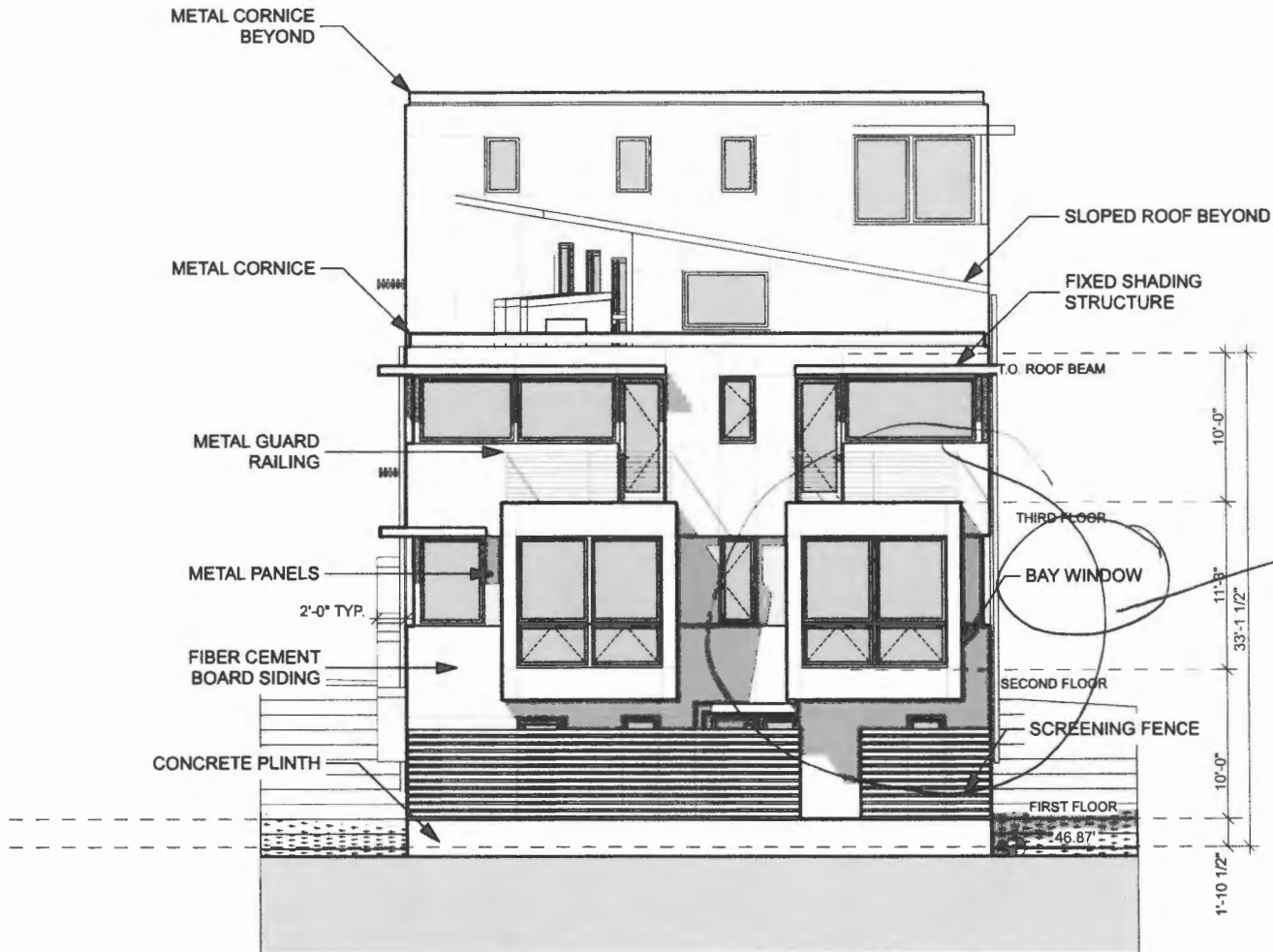
PROJECT:
HARBORVIEW DEVELOPMENT LLC
 DBA REDFERN HOMES LLC
 121 YORK STREET
 PORTLAND, ME

DRAWING: SOUTHWEST ELEVATION **PRELIMINARY SITE PLAN**

SCALE: **DRAWN BY:** JB
DATE: MARCH 30, 2011 **REVISED:** APRIL 15, 2011

A-2.1

4/15/11



1 **SOUTHEAST ELEVATION**

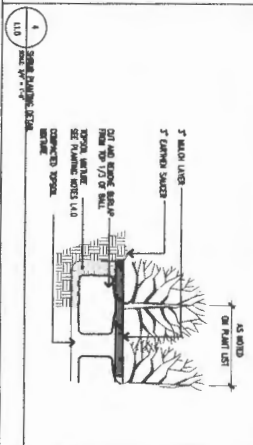
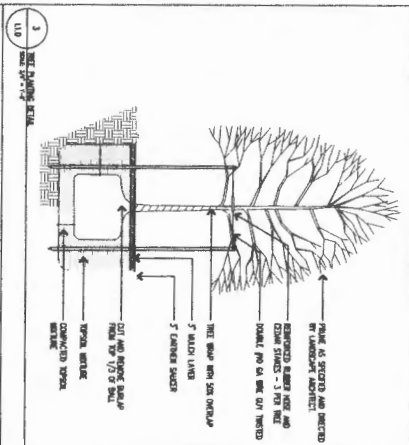
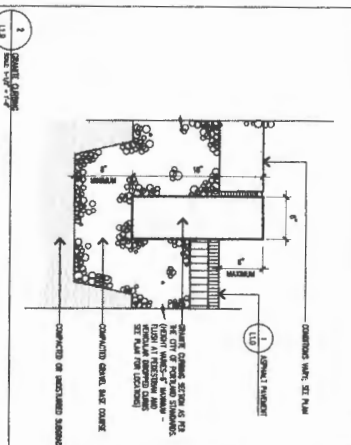
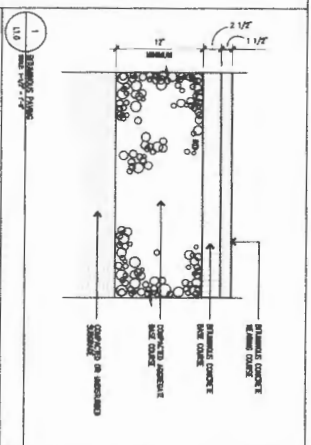
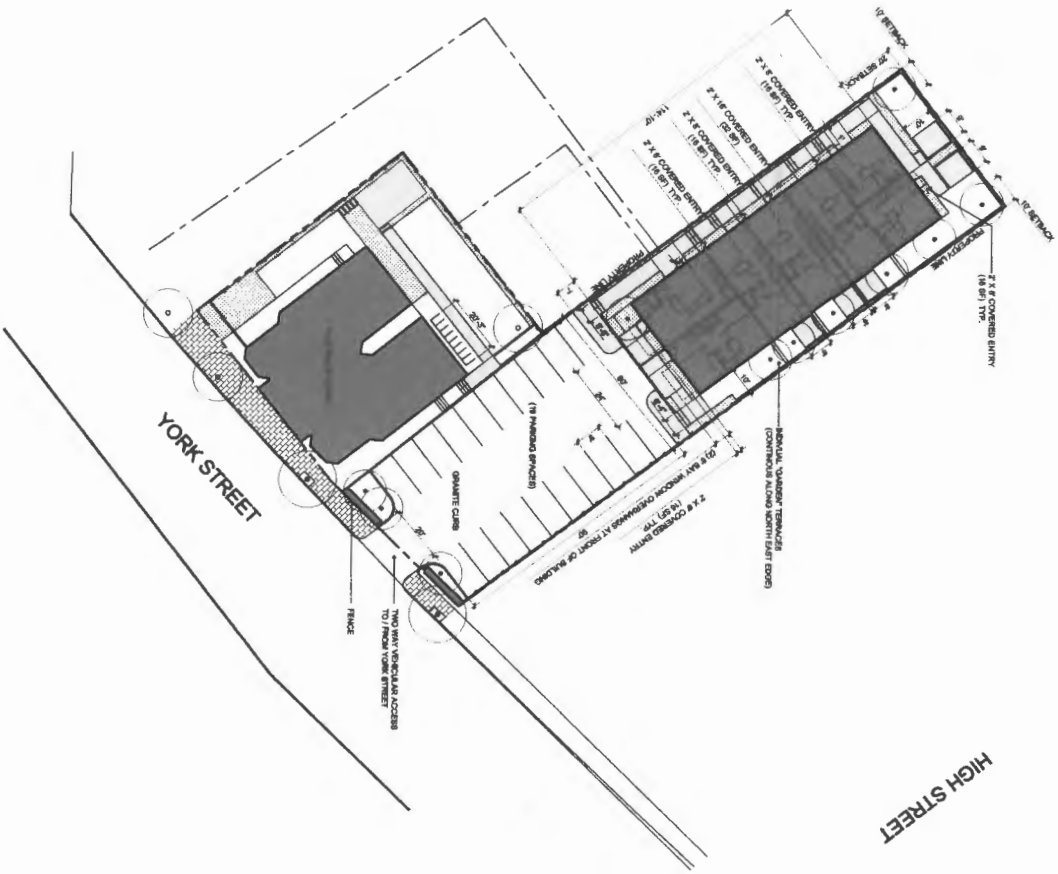
KAPLAN THOMPSON
ARCHITECTS
 424 FORE ST., PORTLAND, ME 04101
 207-842-2888 FAX:842-2828

PROJECT:
HARBORVIEW DEVELOPMENT LLC
 DBA REDFERN HOMES LLC
 121 YORK STREET
 PORTLAND, ME

DRAWING: SOUTHEAST ELEVATION	PRELIMINARY SITE PLAN
SCALE:	DRAWN BY: JB
DATE: MARCH 30, 2011	REVISED: APRIL 15, 2011

A-2.2

4/20/11



SYMBOLS LEGEND

	EXISTING TREE
	PROPOSED TREES (12" DIA.)
	PROPOSED TREES (18" DIA.)
	PROPOSED TREES (24" DIA.)
	CONCRETE PAVING
	EXISTING BRICK PAVING
	ASPHALT PAVING
	PERMEABLE PAVED SURFACE
	PROPOSED PLANTING CONTAINMENT (12" DIA.)
	PROPOSED PLANTING CONTAINMENT (18" DIA.)
	PROPOSED PLANTING CONTAINMENT (24" DIA.)
	PROPOSED STEPS
	6" X 12" WOOD FINISH
	RECYCLE PAVING (12" THICK)

PLANTING NOTES

1. Existing conditions shall be verified prior to construction. All trees to be removed shall be removed prior to construction.
2. No planting shall be undertaken until all grading and construction has been completed in accordance with the approved site plan.
3. Contractor to verify all utilities on property and to provide a utility map to the owner prior to planting.
4. If there is a discrepancy between the number of trees in the plan and the number of trees on site, the contractor shall verify the number of trees on site.
5. All containers shall be open to a minimum of 6 months.
6. All material shall comply with the latest edition of the American Standard for Nursery Stock, American Society of Horticultural Science.
7. Contractor shall be responsible for property from the time of planting until the trees are established.
8. Contractor shall provide a plant maintenance schedule to the owner.
9. The Landscape Architect will be responsible for the design and installation of the trees and the maintenance of the trees on the site.
10. All proposed plants shall be listed on the schedule of plants and the specifications shall be approved by the Landscape Architect before the plants are installed.
11. All additional notes shall be in the notes section of the drawing.
12. Existing and proposed trees shall be identified by the owner and the contractor shall provide a list of trees to be removed and a list of trees to be planted.
13. For trees planted in lawn areas, any disturbed areas shall be restored and seeded in accordance with the approved site plan.
14. Landscape Architect to tag trees to be protected on site.

PRELIMINARY SITE PLAN (NOT FOR CONSTRUCTION)

CLIENT:
HARDEN RESIDENTIAL LLC
121 YORK STREET
PORTLAND, ME 04101

DATE: 4/20/11

SCALE: AS SHOWN

DESIGNER: ASHLEY BISHOP

PROJECT: 121 YORK STREET
PORTLAND, ME 04101

SHEET: L1.0

DATE: 4/20/11



A C O R N

ENGINEERING, INC.

City of Portland
Planning Division
Fourth Floor, City Hall
389 Congress Street
Portland, Maine 04101

April 14, 2011

Subject: 127 York Street – Harborview Townhouses – 044-A-4 & 5 - #2011-214
Response to City Zoning Comments – dated 4/12/11

Dear Marge Schmuckal,

Acorn Engineering, Inc. on behalf of the project team is pleased to respond to the Comment 4 provided within your letter regarding the calculation of the open space ratio. As you mention the open space ratio was incorrectly determined. The open space ratio should have been calculated by dividing the total impervious area, provided below in Table 1, by the total lot area and then subtracting that ratio from one.

Existing Impervious			Total Impervious		
Building Area	3,080	sf	Building Area	7,240	sf
Parking Area	4,600	sf	Parking Area	5,550	sf
Sidewalk Area	420	sf	Sidewalk Area	1,770	sf
			Patio Area	1,750	sf
Total Area	8,100	sf		16,310	sf

The total impervious area was measured from the plans titled Boundary Survey and the proposed Preliminary Site Plan. The Boundary Survey, General Note 3 provides a Total Lot Area of 21,239 square feet (sf). The open space ratio is calculated as follows.

1 - Total Impervious Area / Total Lot Area or,

$$1 - (16,310 \text{ sf} / 21,239 \text{ sf}) = .23$$

Open Space Ratio: 23%

An open space ratio of 23% is greater than the minimum required ratio of 20% for those lots which contain fewer than 20 dwelling units as defined in the City of Portland Land Use Ordinance 14-139 (h) 1.

4/14/11

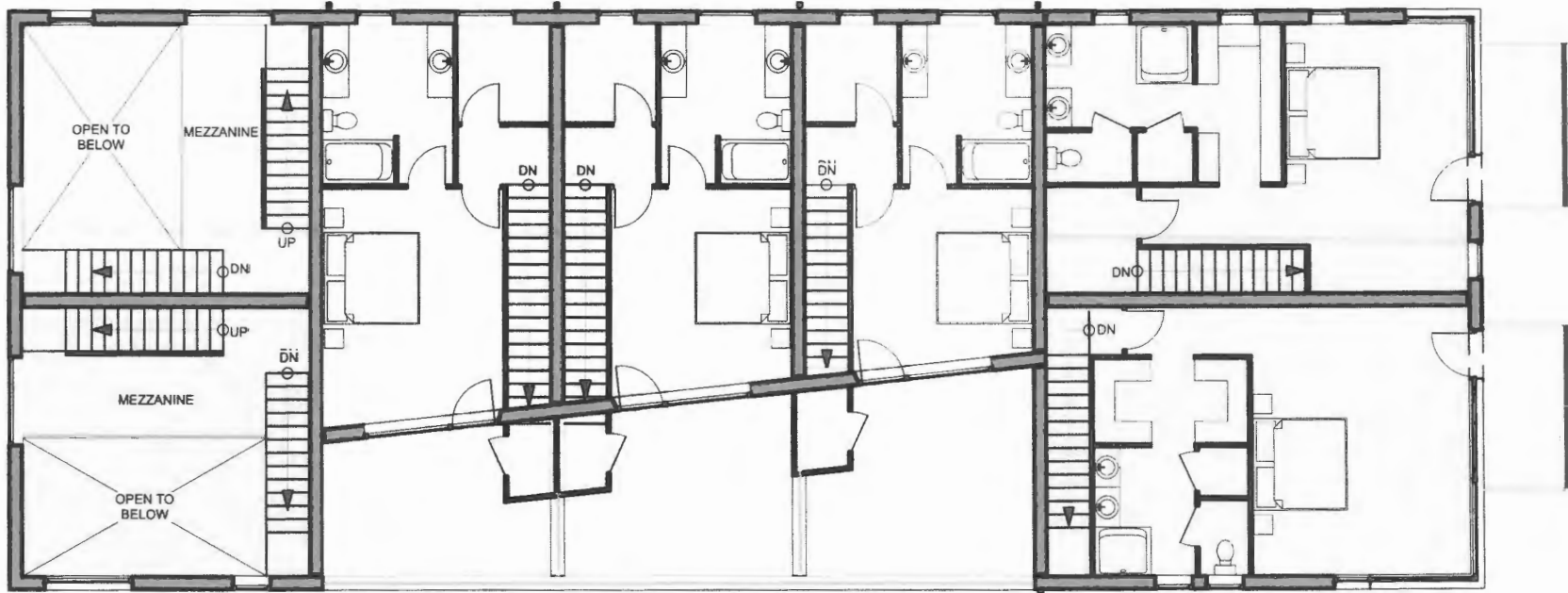
Acorn Engineering and the project team appreciates the comments provided by the City. Please do not hesitate to contact me with any further questions or comments.

Very Truly Yours,

A handwritten signature in cursive script, appearing to read "William H. Savage".

William H. Savage, P.E.
Project Manager
Acorn Engineering, Inc.

↓ Separate - I consider this a floor



1 Mezzanine/Third Floor

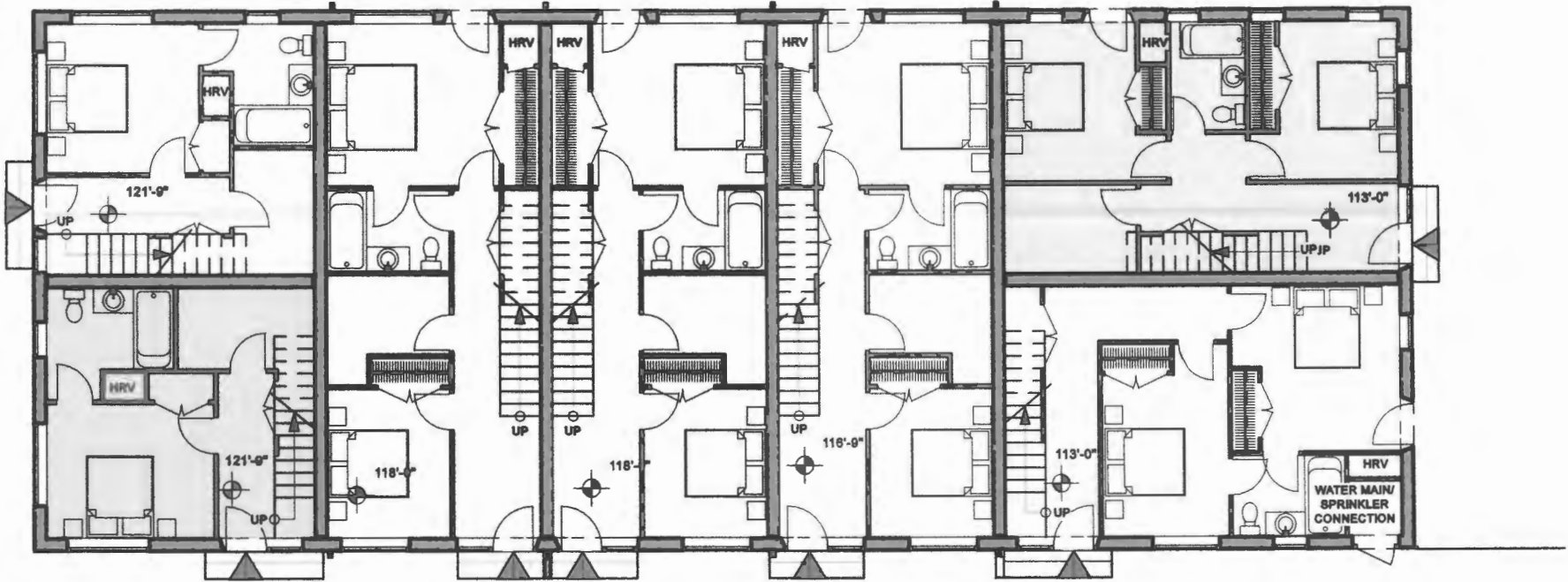
KAPLAN THOMPSON
ARCHITECTS
424 FORE ST., PORTLAND, ME 04101
207-842-2888 FAX:842-2828

1/18/11

PROJECT:
HARBORVIEW DEVELOPMENT LLC
DBA REDFERN HOMES LLC
121 YORK STREET
PORTLAND, ME

DRAWING: MEZZANINE/THIRD FLOOR **PRELIMINARY SITE PLAN**
SCALE: _____ **DRAWN BY:** JB
DATE: MARCH 30, 2011 **REVISED:** APRIL 15, 2011

A-1.3



1 First Floor



KAPLAN THOMPSON
ARCHITECTS
424 FORE ST., PORTLAND, ME 04101
207-842-2888 FAX:842-2828

PROJECT:
HARBORVIEW DEVELOPMENT LLC
DBA REDFERN HOMES LLC
121 YORK STREET
PORTLAND, ME

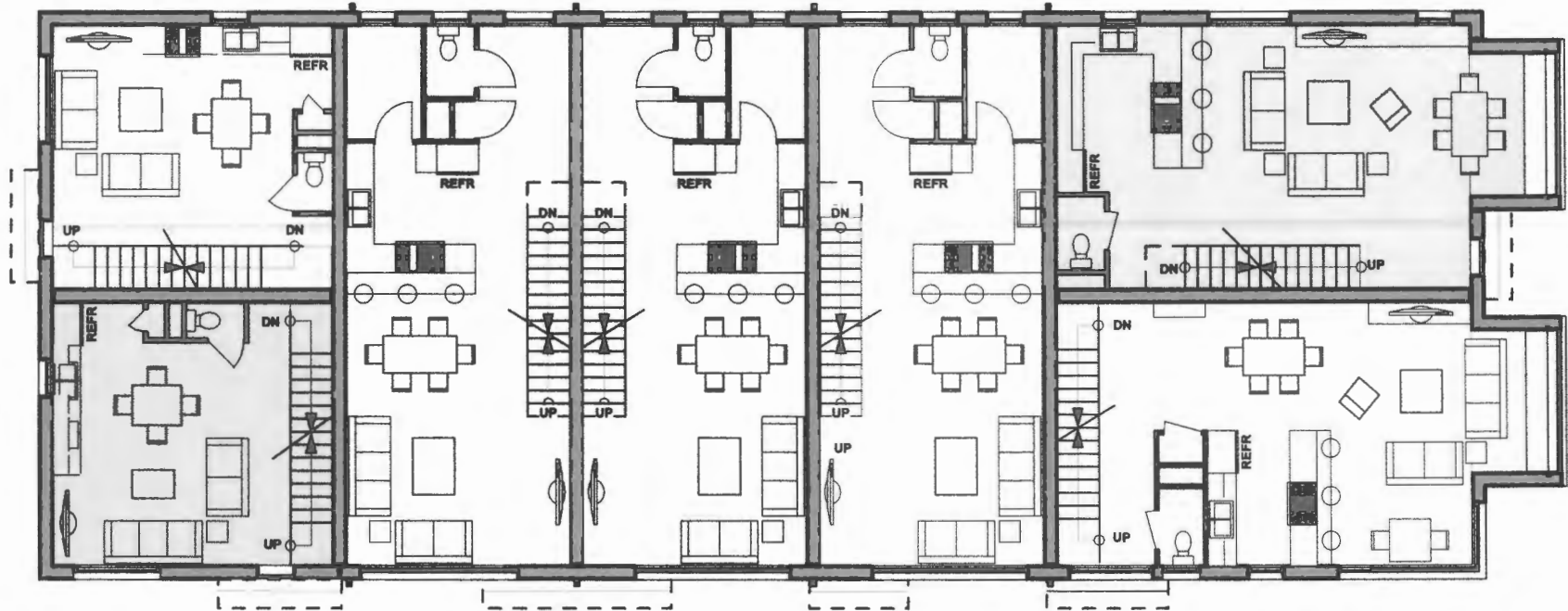
DRAWING: FIRST FLOOR PLAN

PRELIMINARY SITE PLAN

SCALE: DRAWN BY: JB

DATE: MARCH 30, 2011 REVISED:

A-1.1



1 Second Floor

KAPLAN THOMPSON
ARCHITECTS
 424 FORE ST., PORTLAND, ME 04101
 207-842-2888 FAX:842-2828

PROJECT:
HARBORVIEW DEVELOPMENT LLC
DBA REDFERN HOMES LLC
 121 YORK STREET
 PORTLAND, ME

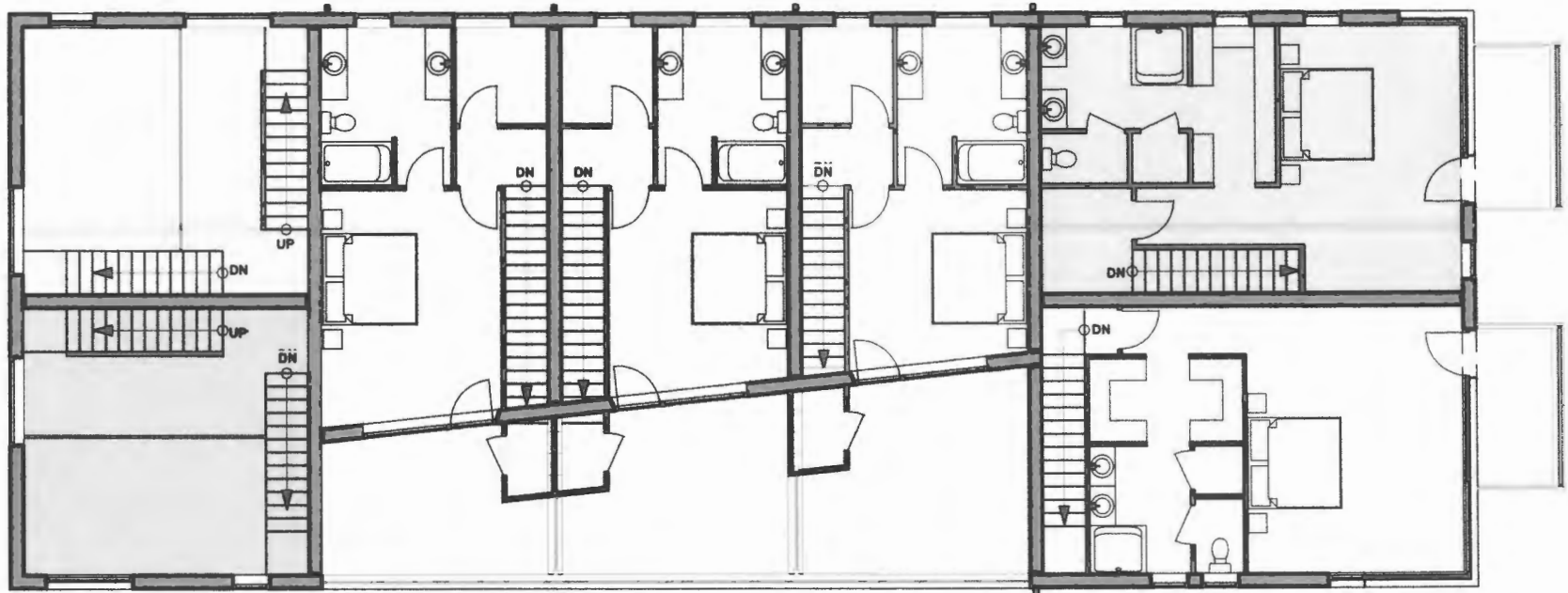
DRAWING: SECOND FLOOR PLAN

PRELIMINARY SITE PLAN

SCALE: **DRAWN BY:** JB

DATE: MARCH 30, 2011 **REVISED:**

A-1.2



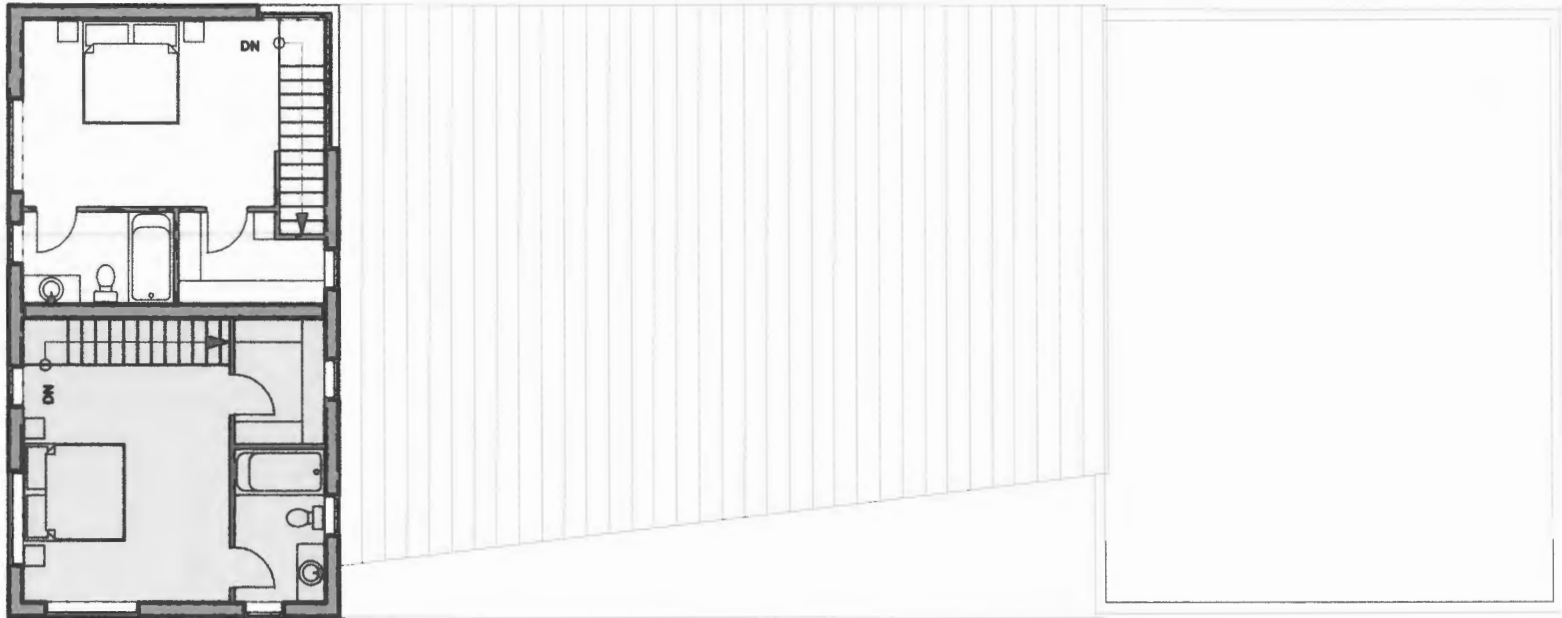
1 Mezzanine/Third Floor

KAPLAN THOMPSON
ARCHITECTS
424 FORE ST., PORTLAND, ME 04101
207-842-2888 FAX:842-2828

PROJECT:
HARBORVIEW DEVELOPMENT LLC
DBA REDFERN HOMES LLC
121 YORK STREET
PORTLAND, ME

DRAWING: MEZZANINE/THIRD FLOOR PRELIMINARY SITE PLAN
SCALE: DRAWN BY: JB
DATE: MARCH 30, 2011 REVISED:

A-1.3



1 Third Floor

KAPLAN THOMPSON
ARCHITECTS
424 FORE ST., PORTLAND, ME 04101
207-842-2888 FAX:842-2828

PROJECT:
HARBORVIEW DEVELOPMENT LLC
DBA REDFERN HOMES LLC
121 YORK STREET
PORTLAND, ME

DRAWING: THIRD FLOOR

PRELIMINARY SITE PLAN

SCALE:

DRAWN BY: JB

DATE: MARCH 30, 2011

REVISED:

A-1.4

KAPLAN THOMPSON
ARCHITECTS

TO: CITY OF PORTLAND PLANNING AUTHORITY
DATE: MARCH 28, 2011
RE: APPLICATION FOR LEVEL III SITE PLAN REVIEW

Subject: 127 – 129 York St.
Owner Applicant: Harborview Development LLC

Kaplan Thompson Architects has prepared a submission package for a Level III Site Plan Review on behalf of Harborview Development LLC, the current property owner and applicant.

The proposed project is located at 127 – 129 York St (Tax Map 44, Block A, Lots 004 & 005) and currently contains a 12 unit residential structure and gravel parking lot. The project site is located in the Residential Zone (R-6).

The proposed project includes construction of a new building containing seven (7) residential units, totaling 4,160 SF footprint size and a total building area of 12,480 SF. The new building as proposed meets all applicable zoning standards to the best of our understanding, including area, lot coverage and lot setbacks. Utility infrastructure including domestic water service, sanitary sewer service and underground power / telephone / cable, as well as gas, will be extended into the building from York St. The proposed building will be a wood-framed townhouse building which will integrate well into the existing neighborhood of apartments, condominiums and residences of similar construction.

The design of the new building will feature a three-story face towards York St, with a uniform wall height and roof edge and a residential scale, including two oriel windows which will provide a variety of visual scale. Materials will include fiber-cement siding with decorative metal accents.

The building will be fully sprinkered, be built to low-energy standards and have high-efficiency heating systems throughout. The building is intended to advance the state of art in sustainable buildings in the Portland area and be built to a high level of LEED certification equivalent.

The site will continue to be accessed off York St, for both pedestrian and vehicular travel. There will be new landscape fencing along York St containing project signage which will hold and improve the existing street edge, while screening parking and trash receptacles from view from York St. Pedestrian access off York St will be available along the edge of the existing building along new landscaped pathways, with bicycle parking accessed off these pathways as well. Parking will meet R-6 standards of one space per dwelling unit.

The existing site is pitched toward York St, and stormwater runoff from the site will remain generally unchanged. Although the percentage of impervious area will increase with the proposed development, we foresee little impact on the site's stormwater regime, given the site's existing conditions. The engineering team will work closely with the Portland Public Works to ensure no negative aspects to the nearby stormwater collection and conveyance systems.

A/18/11

KAPLAN THOMPSON
ARCHITECTS

Erosion and sediment control measures will be carefully installed and maintained. The project will include a small amount of excavation, and erosion control measures will principally consist of silt fence and temporary stabilization measures to minimize mud and tracking of dirt onto adjacent streets.

The project will include new landscaping along York St. We anticipate there will be minimal change to the York St curb and street conditions. We plan on extending the brick sidewalk and granite curbing as necessary. Additional street trees are planned along York St. We will work closely with the City Arborist on these new street tree plantings and locations.

ZONING ASSESSMENT

- 1. Property is located in the R-6 Zone
- 2. Parcel Acreage: 0.49 AC (21,239 SF)

Regulations	Required / Allowed	Provided
Min. Lot Area:	4,500 sf	21,239 sf
Min. Lot Area/Dwelling-existing:	1,000 sf (12)	
Min. Lot Area/Dwelling-new:	1,000 sf (3); 1,200 sf (4)	19,800 total sf
Min. Lot Width:	40'	60'
Min. Street Frontage:	40'	121.42'
Min. Front Yard Setback:	10' Min.	~130'
Min. Rear Yard Setback:	20' Min.	20'
Min. Side Yard Setbacks:	10' for 1-3 stories	10'
Max. Building Height:	45'	45'
Min. Parking:	1 space/Unit	1 space/unit
Max. Lot Coverage	50% if <20 units	34%
Min. Open Space Ratio:	20% if <20 units	23%
Average Grade:		51.89'

Spot grade for the four corners of the proposed building: +46.87', +46.87', +56.6', +57.2' / 4 = 51.89'

EASEMENTS OR OTHER BURDENS

Not Applicable

9/18/11

REQUESTS FOR WAIVERS

None at this time.

TRAFFIC ANALYSIS

See Appendix A

SIGNIFICANT NATURAL FEATURES

The site contains no unusual natural areas, wildlife or fisheries habitats or archaeological sites, to the best of our knowledge.

CONSISTENCY WITH CITY MASTER PLANS

The City of Portland's Comprehensive Plans lays out the following Policies in order to sustain the City as a healthy urban center in which to live and work. We believe our project helps realize ALL the following Policies, by building a compact, extremely energy efficient, aesthetically compatible and accessible supply of new housing on previously developed land on the Peninsula of Portland.

I. HOUSING: SUSTAINING PORTLAND'S FUTURE – November 18, 2002

Policies

- o Encourage growth in Portland that strives for a dynamic balance of the essential elements of the city, such as excellent schools, diverse housing choices, proximity to services and employment, increased public transit usage, expanded economic base, high quality services, and an affordable tax rate.

Target Portland to achieve and maintain a 25% share of Cumberland County's population.

Integrate Portland's housing and economic development incentives to encourage growth and take advantage of the City's capacity to accommodate more people.

Monitor and assess the impacts of growth on the City's infrastructure and adjust policies accordingly.

- o Maximize development where public infrastructure and amenities, such as schools, parks, public/alternative transportation, sewer lines, and roads, exist or may be expanded at minimal costs.
- o Create new housing to support Portland as an employment center and to achieve an improved balance between jobs and housing.
- o Encourage neighborhood business centers throughout the city to reduce dependence on the car and to make neighborhood life without a car more practical.
- o Locate and design housing to reduce impacts on environmentally sensitive areas.
- o Design housing to use new technologies and materials that reduce costs and increase energy efficiency.

DESIGN STANDARDS

In response to the City of Portland Design Manual, paragraph (i) (points 1-6) :

1) This project is a 7-unit multi-family townhouse structure common to its two-block neighborhood, located and designed so as not to displace the pre-existing, zoning mandated off-street parking or negatively impact stormwater management.

The scale and bulk of the building have been carefully designed to complement and enhance its nearby neighbors. It is a 3-story building with its principal narrow façade facing York Street, with the long, narrow axis along the length of the lot, a common pattern of the neighborhood.

The principal façade has character-defining features common to the neighborhood: flat roof, cornice, bay / oriel windows, and a rhythm and proportion that relates to the neighboring buildings.

The mass of the building is further articulated by shading devices, inset windows, carefully placed rain leaders, bay / oriel windows, and shifting the mass of the building based on unit type (along the long axis). The siding material is a solid panel system, with accents of a contrasting material / color. This is in

keeping with its neighbors as well, especially the brick building on the same lot (i.e. no corner boards & a monolithic character)

2/5) The York St street edge is accentuated and maintained by the construction of new large, flanking multi-functional planters that help screen the existing parking lot and garbage collection area, provide a welcoming entrance including signage & lighting, provide additional space for street trees, and tie materially to its neighbors: using masonry, wood and highly durable metal screens.

Visual privacy is provided by elevating the front living units above the adjacent entry and existing parking lot by about 2 feet, and by using fencing that relates materially to the entry planters. Transition spaces are provided by covered entries for each unit as well as level changes and plantings.

Generous open space has been created, even for a dense urban lot, with each new living unit having access to private open space.

3) All private open space areas are to the rear or sides of the building, maintaining the pattern of the neighborhood.

4) All units have generous windows, and sufficient storage.

5) The existing gravel parking lot to be improved with new paving and striping and will be integrated with new walks, fencing and storm water retention strategies. The parking will be better screened and landscaped from adjacent properties and streets.

6) All units will be owner-occupied, and will not be converted to a lodging house.

KAPLAN THOMPSON
ARCHITECTS

PROJECT DATA

Total Site Area	21,239 SF
Proposed Total Disturbed Area of the Site sq. ft.	~14,000 SF
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	5,550 SF
• Existing Total Impervious Area	8,100 SF
• Proposed Total Impervious Area	16,310 SF
• Proposed Total Impervious Area	
• Proposed Impervious Net Change	8,210 SF
BUILDING AREA	
• Proposed Building Footprint	7,240 SF (4,160 + 3,080)
• Proposed Building Footprint Net change	+4,160 SF
• Existing Total Building Floor Area	11,764 SF
• Proposed Total Building Floor Area	24,244
• Proposed Building Floor Area Net Change	+12,480 SF
• New Building	YES
ZONING	
• Existing	R-6
• Proposed, if applicable	R-6
LAND USE	
• Existing	RESIDENTIAL
• Proposed	RESIDENTIAL
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	0
• Proposed Number of Residential Units to be Demolished	0
• Existing Number of Residential Units	12
• Proposed Number of Residential Units	19
• Subdivision, Proposed Number of Lots	NA
PARKING SPACES	
• Existing Number of Parking Spaces	12
• Proposed Number of Parking Spaces	19
• Number of Handicapped Parking Spaces	NA
• Proposed Total Parking Spaces	19
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	0
• Existing Number of Bicycle Parking Spaces	
• Proposed Number of Bicycle Parking Spaces	10
• Total Bicycle Parking Spaces	10
ESTIMATED COST OF PROJECT	

4/18/11

KAPLAN THOMPSON
ARCHITECTS

...systems. The site will contain less than 20 vehicles at any time, therefore no additional water quality measures are warranted.

Erosion and sediment control measures will be carefully installed and maintained. The project will include a small amount of excavation, and erosion control measures will principally consist of silt fence and temporary stabilization measures to minimize mud and tracking of dirt onto adjacent streets.

The project will include new landscaping along York St. We anticipate there will be minimal change to the York St curb and street conditions. We plan on extending the brick sidewalk and granite curbing as necessary. Additional street trees are planned along York St. We will work closely with the City Arborist on these new street tree plantings and locations.

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During Assessment

Regulations	Required / Allowed	Provided
Min. Lot Area:	4,500 sf	21,239 sf
Min. Lot Area/Dwelling:	1,000 sf	1,117 sf (21,239 / 19 units)
Min. Lot Width:	50' 40'	60'
Min. Street Frontage:	40'	121.42'
Min. Front Yard Setback:	10' Min.	~130'
Min. Rear Yard Setback:	20' Min.	20'
Min. Side Yard Setbacks:	10' for 1-3 stories	10'
Max. Building Height:	45'	45' ? not given
Min. Parking:	1 space/Unit	1 space/unit
Max. Lot Coverage:	50% if <20 units	34%
Open Space Ratio:	20% if <20 units	66%?
Average Grade:		51.89'

Spot grade for the four corners of the proposed building: +46.87', +46.87', +56.6', +57.2' / 4 = 51.89'

4/18/11

EASEMENTS OR OTHER BURDENS

Not Applicable

REQUESTS FOR WAIVERS

None at this time.

ok but what is the elevation # of to top of the highest roof beam

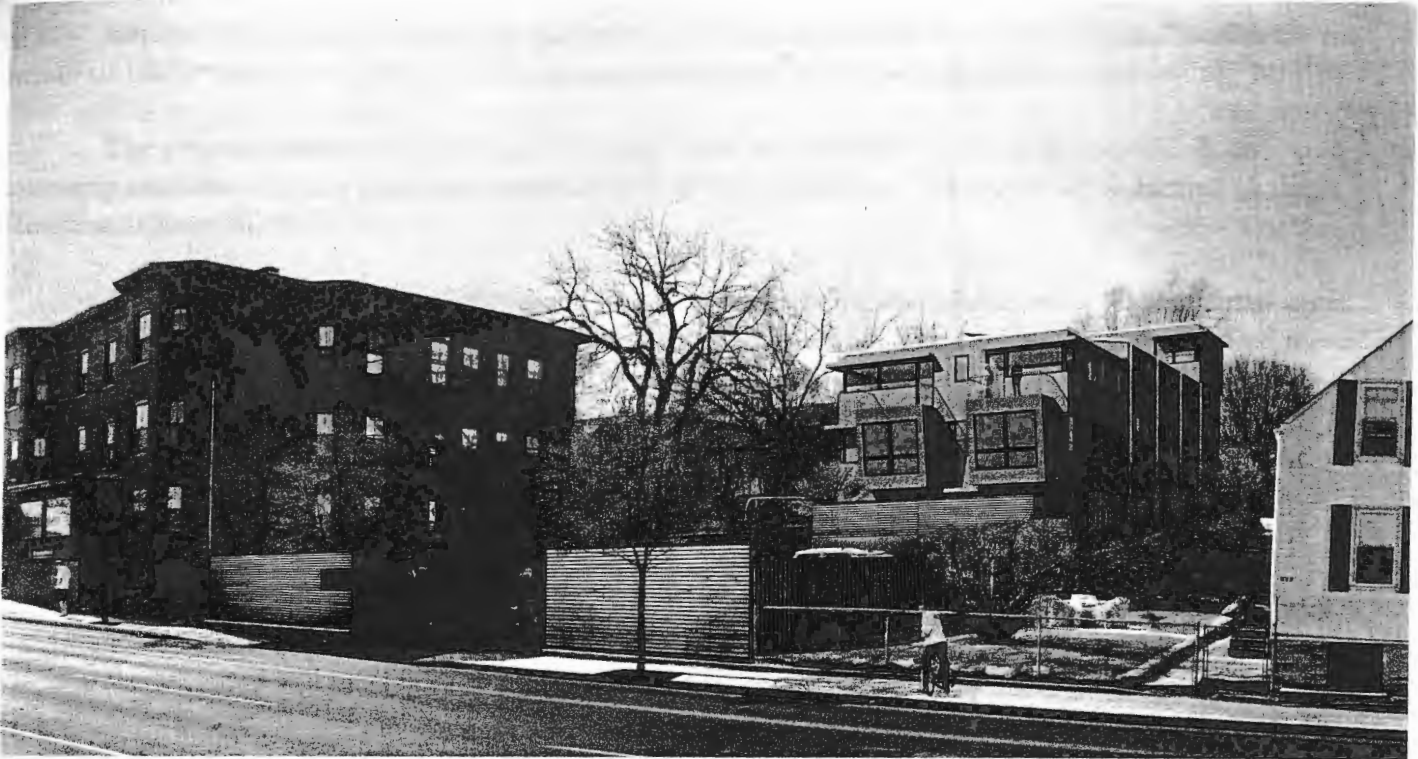
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KAPLAN THOMPSON
ARCHITECTS

HARBORVIEW TOWNHOUSES
127 - 129 YORK ST



APPLICANT:

ARCHITECT:

LANDSCAPE ARCHITECT:

CIVIL ENGINEER:

TRAFFIC ENGINEER:

HARBORVIEW DEVELOPMENT LLC

KAPLAN THOMPSON ARCHITECTS

SOREN DENIORD DESIGN STUDIO

ACORN ENGINEERING

EATON TRAFFIC ENGINEERING

MARCH 28, 2011

424 FORE ST., PORTLAND, ME 04101
P 207-842-2888 F 207-842-2828
WWW.KAPLANTHOMPSON.COM

KAPLAN THOMPSON
ARCHITECTS

TO: CITY OF PORTLAND PLANNING AUTHORITY
DATE: MARCH 28, 2011
RE: APPLICATION FOR LEVEL III SITE PLAN REVIEW

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TRAFFIC ANALYSIS

See accompanying documents.

SIGNIFICANT NATURAL FEATURES

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ARCHITECTS

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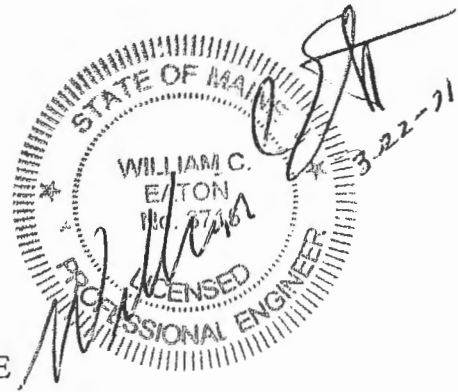
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EATON TRAFFIC ENGINEERING
67 Winter Street Suite 5•Topsham•Maine•04086
Tel 207.725.9805 • Fax 207.373.9400

To: Will Savage, PE, Acorn Engineering
Fm: William C. Eaton, PE, Eaton Traffic Engineering
Dt: March 22, 2011
Re: Trip Generation – 121-129 York Street, Portland, ME



Per your request I have estimated the trip generation associated with the above-noted project. The project will consist of converting 12 existing apartments to condominium units, and constructing a new building which will contain 7 condominium units (total 19 condominium units.) Net new trip generation will be the trip generation associated with 19 condominium units less the existing traffic associated with 12 apartments. Trip generation estimates are based upon data in the publication Trip Generation¹ for land use categories 230 “Condominium/Townhouse”, and 220 “Apartment”. Net trips are summarized in the table below.

Time Period	Condominium (19 Units)	Apartments (12 Units)	Net New Trips
Weekday (Daily)	111	81	30
AM Peak Hour (7-9 AM)	8	6	2
PM Peak Hour (4-6 PM)	10	7	3
AM Peak Hour (Generator)	8	7	1
PM Peak Hour (Generator)	10	8	2
Saturday (Daily)	108	77	31
Saturday (Peak Hour)	9	6	3
Sunday (Daily)	92	70	22
Sunday (Peak Hour)	9	6	3

¹ Institute of Transportation Engineers, 2003

Traffic Movement Permit is required by the City of Portland if net new trip generation for any peak hour exceeds 100 passenger car equivalents (PCE). The highest net trip generation increase is 3 vehicle trips, thus a Traffic Movement Permit is not required.

I trust the above addresses your needs in this matter. If you have any questions or concerns, please contact me.



3 Story.

7 New Units

20 pkg Spcs

DUMPSTER

YORK STREET

12

121 YORK ST.
PORTLAND, MAINE

SCHEMATIC PLAN
DATE: JAN 14, 2011
SCALE: AS SHOWN
DRAWN BY: [illegible]
CHECKED BY: [illegible]

L1.0
LANDSCAPE SITE PLAN

© 2011 HST
121 YORK ST. - PORTLAND, MAINE

125 York St CBL 044-A-004
 BA# 2012-04-3816

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1) _____				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Varies 2', 3'4"		JK	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK			
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A			
Anchor Bolts/Straps, spacing (Section R403.1.6)	5/8" @ 4' O.C.			
Lally Column Type (Section R407)	N/A 2x4 columns in walls			
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type				
Sill/Band Joist Type & Dimensions	2x PT			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A slab			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Eng Floor Trusses			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	3rd Eng FL Trusses			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Eng 501513 open membrane Flat & shed 2:12	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4" she struct, 5/8"	
Fastener Schedule (Table R602.3(1) & (2))	Struct.	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	1 per bedroom	
Roof Covering (Chapter 9)		
Safety Glazing (Section R308)	Called out on Plans windows ok ? Entry Doors (E-1 Series)	OK 5/29/12
Attic Access (Section R807)	N/A	
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	See struct	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Exceeds code	

Type of Heating System	Heat Pump / ERV / Electric touch up	
Means of Egress (Sec R311 & R312) Basement	N/A	
Number of Stairways		
Interior	7.50" X 10.50"	? Ext. handrail/detail
Exterior	6.75" X 12" 7.50" X 12"	
Treads and Risers (Section R311.5.3)		
Width (Section R311.5.1)	+3'	
Headroom (Section R311.5.2)	6'8 min.	? handrail profile - OK - on opposite wall of Guard
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36" L 4" space	
Smoke Detectors (Section R313) Location and type/Interconnected	? • CO	
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)		Continuity @ Floors?
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	Per Townhouse Reg 302.2	
Deck Construction (Section R502.2.1)	N/A	



**Design No. U376
BXUV.U376
Fire Resistance Ratings - ANSI/UL 263**

Page Bottom

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Listed or Classified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered as Classified, Listed, or Recognized.

Fire Resistance Ratings - ANSI/UL 263

See General Information for Fire Resistance Ratings - ANSI/UL 263

Design No. U376

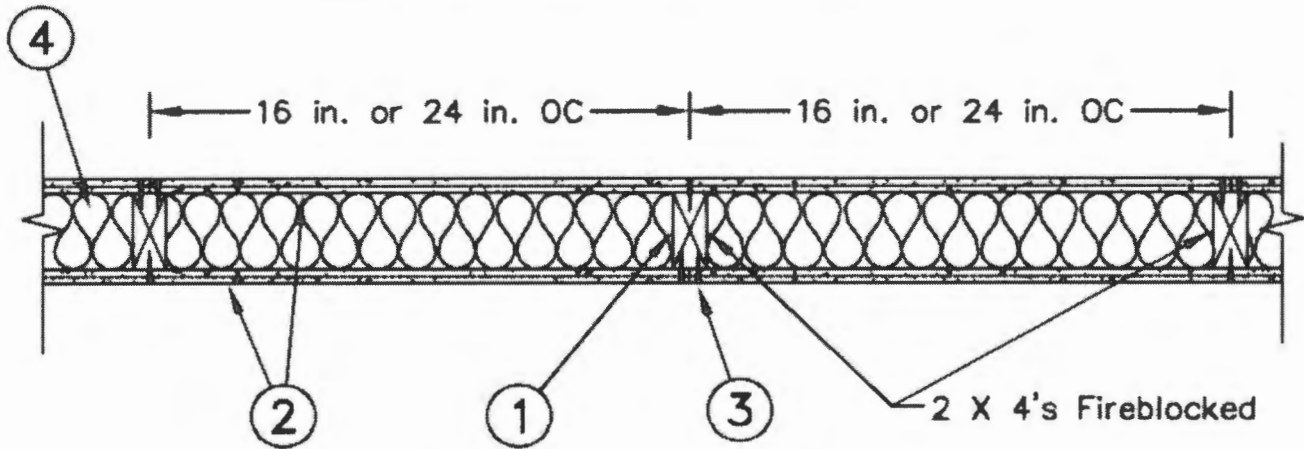
May 11, 2012

Bearing Wall Rating – 1 HR.

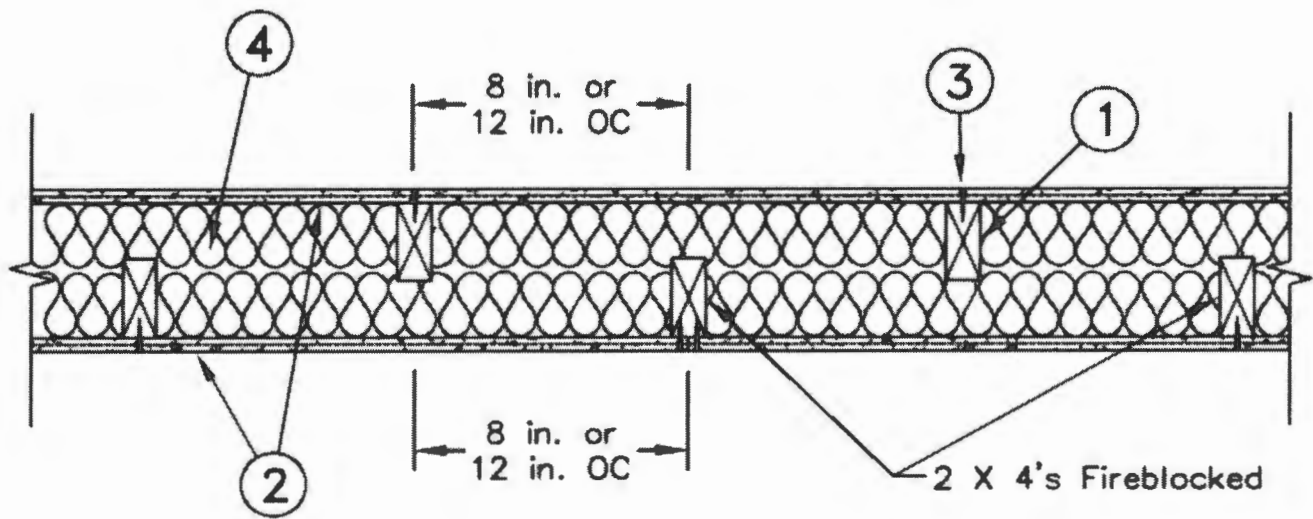
Finish Rating – See Items 2, 2A, 2b or 2C.

Load Restricted for Canadian Applications – See Guide BXUV7

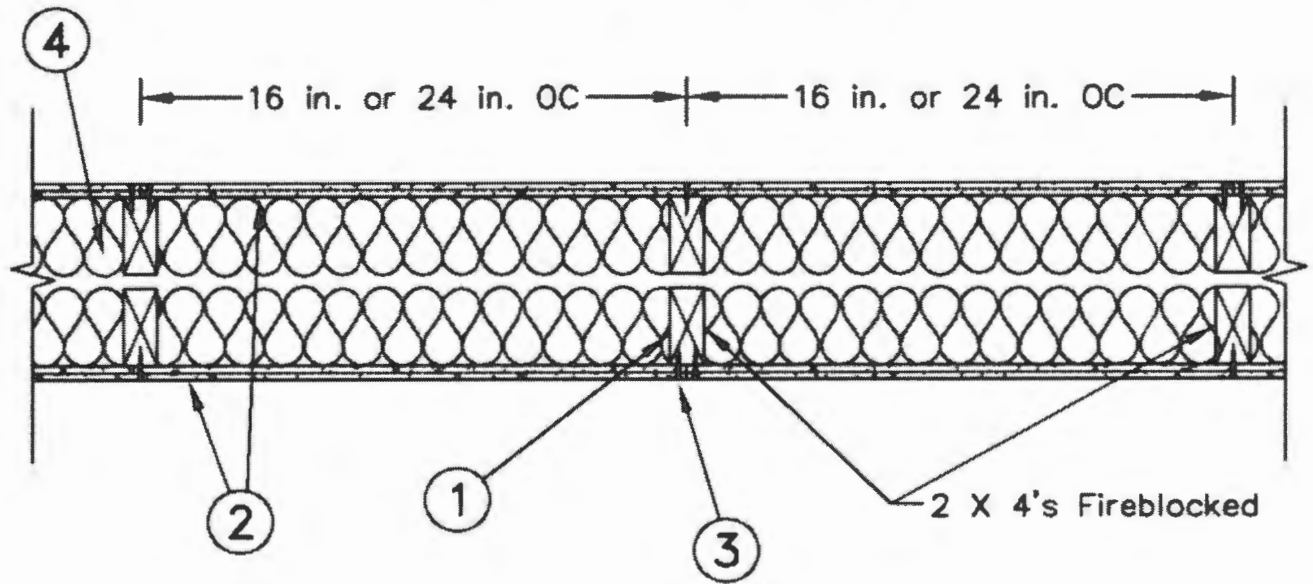
PDF ✓



Configuration A



Configuration B



Configuration C

1. **Wood Studs** — Nom 2 by 4 in., spaced 12, 16 or 24 in. OC as shown in Configurations A, B or C, effectively firestopped.

2. **Wall and Partition Facings and Accessories*** — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically to studs and bearing plates with 1-5/8 in. long Type S screws spaced 12 in. OC at perimeter of panels and 8 in. OC in the field. Vertical joints need not be staggered on opposite sides of wall. Horizontal joints of vertically applied panels need not be backed by studs.

SERIOUS ENERGY INC — QuietRock 530 (finish rating 23 min)

2A. **Wall and Partition Facings and Accessories*** — (As an alternate to Item 2) — Nominal 5/8 in. thick, 4 ft wide panels, applied vertically. Panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. Horizontal joints of vertically applied panels to be backed by studs.

SERIOUS ENERGY INC — Type QuietRock ES, Type QuietRock QR-527.

2B. **Gypsum Board*** — (As an alternate to Items 2 and 2A; acceptable for use with Configuration A when the studs are spaced 16 in. or 24 in. OC) — 5/8 in. thick, 4 ft wide, applied either horizontally or vertically to one side of the assembly, nailed to studs and bearing plates with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4

in. diam heads spaced 7 in. OC. Finish rating 27 min.

AMERICAN GYPSUM CO — Types AGX-1, M-Glass, AG-C

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO — Type DBX-1

CERTAINTEED GYPSUM INC — Types EGRG, GlasRoc, or Type C

CERTAINTEED GYPSUM CANADA INC — Type C

GEORGIA-PACIFIC GYPSUM L L C — Types 5, 9, C, DAP, DD, DA, DGG, DS, GPFS6

LAFARGE NORTH AMERICA INC — Types LGFC6, LGFC-C, LGFC6A, LGFC2, LGFC2A, LGFC-C/A

NATIONAL GYPSUM CO — Types FSK-C, FSW, FSW-3, FSW-5, FSW-C, FSW-G

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type C, PG-9 or PG-C

PANEL REY S A — Type PRX

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD — Type EX-1.

TEMPLE-INLAND — Type X, Veneer Plaster Base - Type X, Water Rated - Type X, Sheathing - Type X, Soffit - Type X, Type TG-C, or GreenGlass Type X.

2C. Gypsum Board* — (As an alternate to Items 2 through 2B; acceptable for use with Configuration A only when the studs are spaced 16 in. OC only) — 5/8 in. thick, 4 ft wide, applied either horizontally or vertically to one side of the assembly, nailed to studs and bearing plates with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads spaced 7 in. OC.

AMERICAN GYPSUM CO — Types AGX-1 (finish rating 23 min.), M-Glass (finish rating 23 min.), Type AGX-11 (finish rating 26 min) or Type AG-C

BEIJING NEW BUILDING MATERIALS PUBLIC LTD CO — Type DBX-1 (finish rating 24 min).

CERTAINTEED GYPSUM INC — Type 1, Type SF3 (finish rating 20 min) or FRPC, Type C or Type X (finish rating 26 min), Type EGRG (finish rating 23 min)

CERTAINTEED GYPSUM CANADA INC — Type C, Type X or Type Abuse-Resistant (finish rating 26 min)

CGC INC — Type AR (finish rating 26 min), Type C (finish rating 26 min), Type FCV (finish rating 26 min), Type IP-AR (finish rating 26 min), Type IPC-AR (finish rating 26 min), Type IP-X1 (finish rating 26 min), Type IP-X2 (finish rating 26 min), Type SCX (finish rating 26 min), Type SHX (finish rating 26 min), Type WRC (finish rating 26 min), Type WRX (finish rating 26 min) .

GEORGIA-PACIFIC GYPSUM L L C — Type 5 (finish rating 26 min), Type 6 (finish rating 23 min), Type 9 (finish rating 26 min), Type C (finish rating 26 min), Type DGG (finish rating 20 min), Type GPFS1 (finish rating 20 min), Type GPFS2 (finish rating 20 min), Type GPFS6 (finish rating 26 min), Type DS, Type DAP, Type DD (finish rating 20 min), DA.

LAFARGE NORTH AMERICA INC — Type LGFC2 (finish rating 20 min), Type LGFC3 (finish rating 20 min), Type LGFC6 (finish rating 26 min), Type LGFC-C (finish rating 20 min), Type LGFC6A (finish rating 34 min), Type LGFC2A, Type LGFC-C/A.

NATIONAL GYPSUM CO — Type FSK (finish rating 20 min), Type FSK-G (finish rating 20 min), Type FSW (finish rating 20 min), Type FSW-2 (finish rating 24 min), Type FSW-3 (finish rating 20 min), Type FSW-5 (finish rating 22 min), Type FSW-G (finish rating 20 min), Type FSK-C (finish rating 20 min), Type FSW-C (finish rating 20 min).

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Types C, PG-2 (finish rating 20 min), PG-3 (finish rating 20 min), Types PG-3W, PG-5W (finish rating 20 min), Type PG-4 (finish rating 20 min), Type PG-6 (finish rating 23 min), Types PG-3WS, PG-5WS (finish rating 20 min), Types PG-5, PG-9 (finish rating 26 min) or Type PG-C.

PANEL REY S A — Type PRX.

SIAM GYPSUM INDUSTRY (SARABURI) CO LTD — Type EX-1 (finish rating 26 min)

TEMPLE-INLAND — Type X, Veneer Plaster Base - Type X, Water Rated - Type X, Sheathing - Type X, Soffit - Type X, TG-C or GreenGlass Type X.

UNITED STATES GYPSUM CO — Type AR (finish rating 26 min), Type SCX (finish rating 26 min), Type C (finish rating 26 min), Type WRX (finish rating 26 min), Type WRC (finish rating 26 min), Type IP-X1 (finish rating 26 min), Type FCV (finish rating 26 min), Type IP-X2 (finish rating 26 min), Type SHX (finish rating 26 min), Type FRX-G (finish rating 29 min), Type IP-AR (finish rating 26 min), Type IPC-AR (finish rating 26 min).

USG MEXICO S A DE C V — Type AR (finish rating 26 min), Type C (finish rating 26 min), Type WRX (finish rating 26 min), Type WRC (finish rating 26 min), Type IP-X1 (finish rating 26 min), Type FCV (finish rating 26 min), Type IP-X2 (finish rating 26 min), Type SHX (finish rating 26 min), SCX (finish rating 26 min), Type IP-AR (finish rating 26 min), Type IPC-AR (finish rating 26 min).

2D. **Gypsum Board*** — (As an alternate to Items 2 through 2C; acceptable for use with Configuration B) — 5/8 in. thick, 4 ft wide, applied either horizontally or vertically to one side of the assembly, nailed to studs and bearing plates with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads spaced 7 in. OC.

AMERICAN GYPSUM CO — Types AG-C.

CERTAINTED GYPSUM INC — Type FRPC (Finish rating 20 min), Type C.

CERTAINTED GYPSUM CANADA INC — Type C.

CGC INC — Types C, IP-X2 (Finish rating 26 min).

GEORGIA-PACIFIC GYPSUM L L C — Type 5 (Finish rating 26 min).

LAFARGE NORTH AMERICA INC — Types LGFC-C, LGFC-C/A.

NATIONAL GYPSUM CO — Types FSK-C, FSW-C, FSW-G.

PABCO BUILDING PRODUCTS L L C, DBA PABCO GYPSUM — Type C or PG-C.

TEMPLE-INLAND — Type TG-C.

UNITED STATES GYPSUM CO — Types C, IP-X2 (Finish rating 26 min).

2E. **Gypsum Board*** — (As an alternate to Items 2 through 2D; acceptable for use with Configuration C) — Nom 5/8 in. thick, 4 ft wide, applied either horizontally or vertically to one side of the assembly, nailed to studs and bearing plates

with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads spaced 7 in. OC.

Any UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. See **Gypsum Board*** (CKNX) category for names of Classified companies.

3. **Joints and Screwheads** — Panel joints covered with paper tape and two layers of joint compound. Screwheads covered with two layers of joint compound.

4. **Batts and Blankets*** — Glass fiber insulation, nom 3-1/2 in. thick, min. density of 0.80 pcf, with a flame spread of 25 or less and a smoke developed of 50 or less, friction-fitted to completely fill the stud cavities. See **Batts and Blankets** Category (BKNV) for names of manufacturers.

*Bearing the UL Classification Mark

Last Updated on 2012-05-11

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YORK STREET

1" = 20'

not to scale

PROPERTY SIGN / FENCE TALL ON MASONRY BASE (BOTH SIDES OF DRIVEWAY)

VEHICULAR ACCESS TO / FROM YORK STREET (SEE SURVEY FOR EXIS)

GRANITE CURB
FENCED DUMPSTER

(19 PARKING SPACES)

PROPOSED TERRACE

EX. TREE TO REMAIN

UNITS (#1-6) ACCESS

UNIT (#7) ACCESS
PROPOSED FOR FLOOR P.

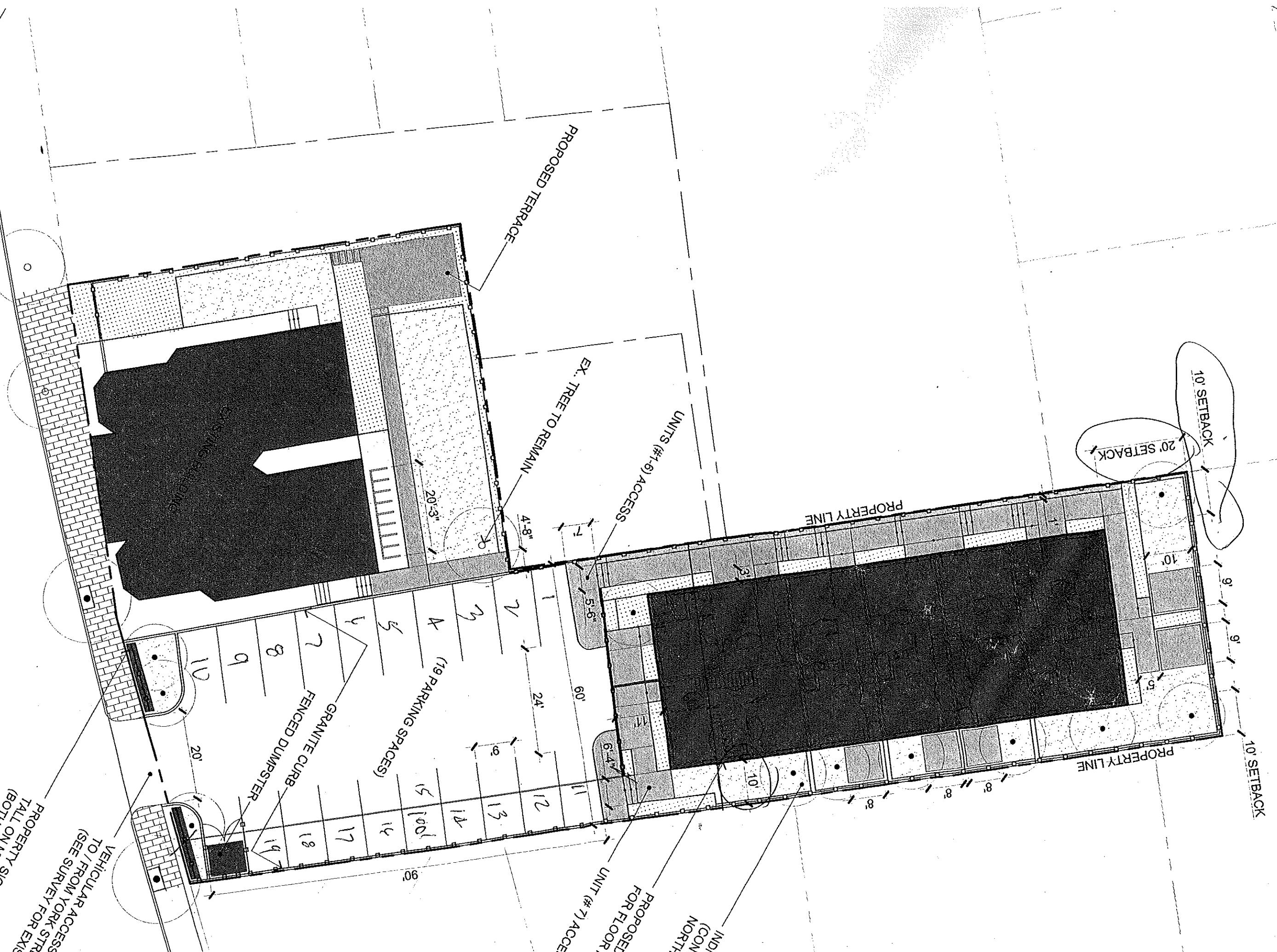
IND11 (CONT NORTH

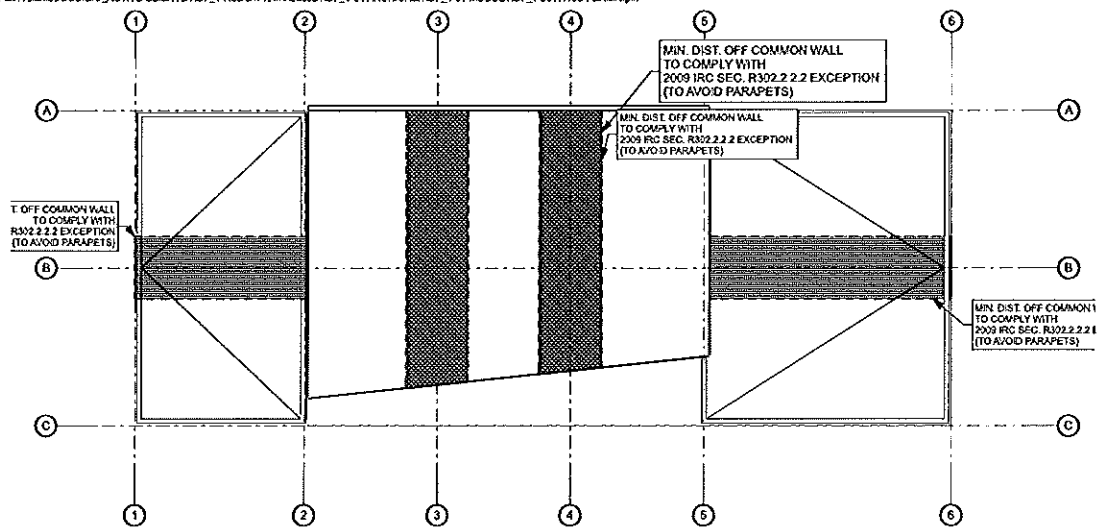
PROPERTY LINE

PROPERTY LINE

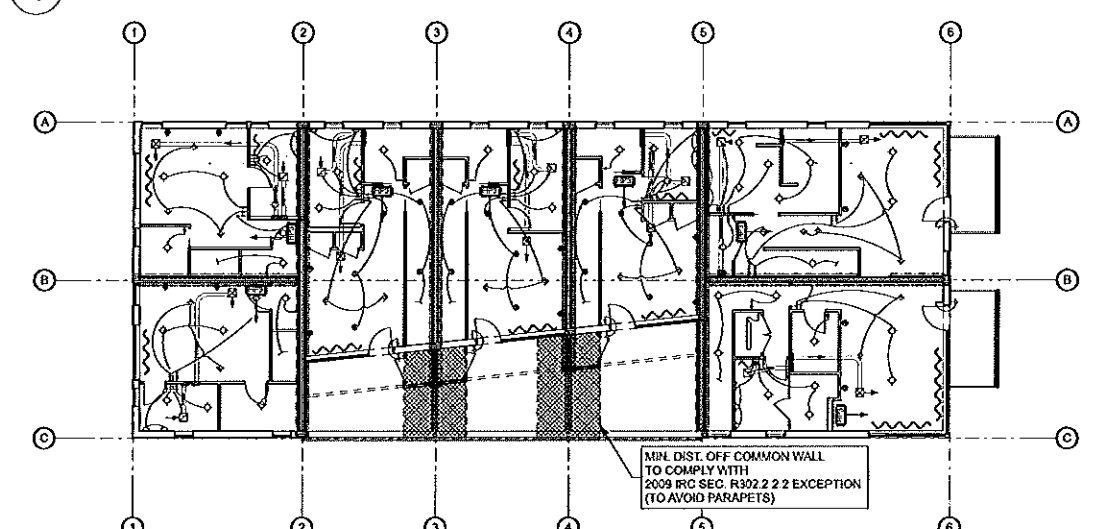
10' SETBACK
20' SETBACK

10' SETBACK

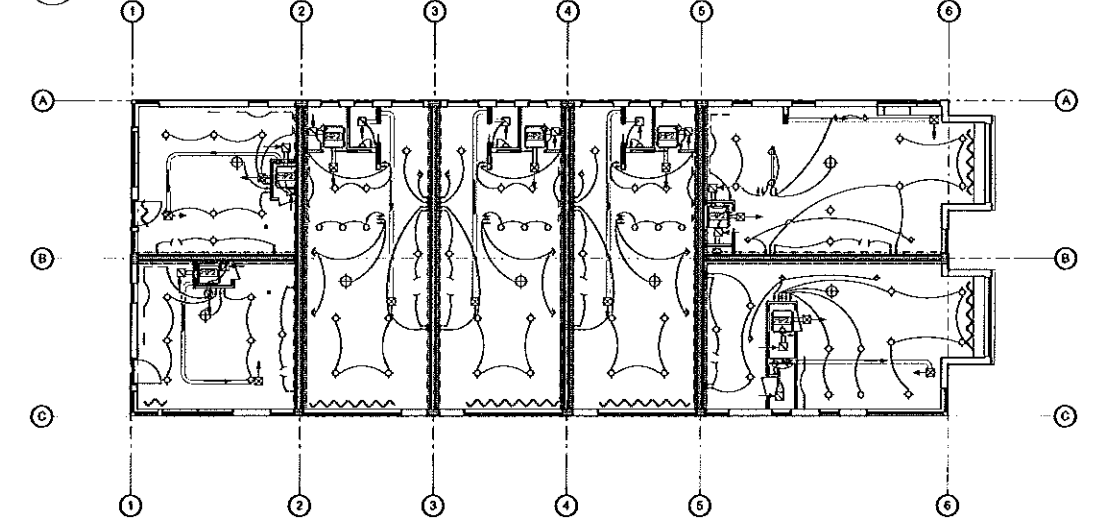




4 ROOF
SCALE: 3/32" = 1'-0"



3 3rd FLOOR
SCALE: 3/32" = 1'-0"



2 2nd FLOOR
SCALE: 3/32" = 1'-0"

LIFE SAFETY NOTES:

BUILDING OCCUPANCY: 7-unit Residential Townhouse

BUILDING CODES: IRC-2009, NFPA-101

FLOOR AREA:
Basement = NONE
1st. floor = 4,160 SF
2nd. floor = 4,160 SF
3rd. floor = 3,520 SF
Total area = 11,840 SF (gross enclosed floor area)

CONSTRUCTION TYPE: Type 5B

SPRINKLERS: Townhouse automatic fire sprinkler system designed and installed per Maine Internal Plumbing Code (UPC 2009) and NFPA

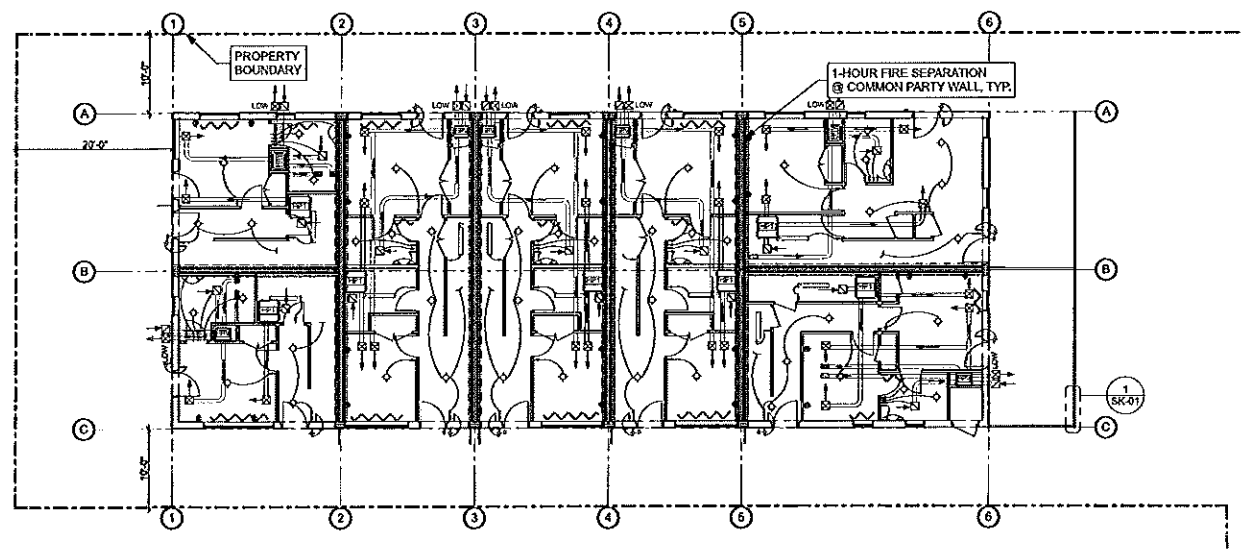
BUILDING HEIGHT: Three (3) floors above grade plane

SMOKE ALARMS: In each bedroom, outside each bedroom, & on each additional story (IRC R314)

LIFE SAFETY SYMBOL KEY:

ONE (1) HOUR PARTITION / BARRIER (2-WAY)

INSTALL STRICTLY PER U.S.G. RECOMMENDATIONS FOR FIRE & ACOUSTIC ASSEMBLIES



1 1st FLOOR
SCALE: 3/32" = 1'-0"

CODE SUMMARY CHECKLIST FOR 121 YORK STREET PORTLAND, ME 04101

Scope and Definitions

IRC 2009 Section 101.2 Scope. Exception: "Detached one- and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories above grade plane in height with a separate means of egress and their accessory structures shall comply with the International Residential Code." P. 1

IRC 2009 Section R101.2 Scope. "The provisions of the International Residential Code for One- and Two-Family Dwellings shall apply to the construction... of detached one- and two-family dwellings and townhouses not more than three stories above grade plane in height with a separate means of egress and their accessory structures." P. 1

IRC 2009 Section R302 Definitions. "Townhouse: A single-family dwelling unit constructed in a group of three or more attached units in which each unit extends from foundation to roof and with a yard or public way on at least two sides." P. 20

IRC 2009 Section R301.2.2.3.1 Height Limitations. "Wood framed buildings shall be limited to three stories above grade..."

Fire Alarm and Fire Sprinkler Systems

IRC 2009 P2904 1.1 Required sprinkler locations. "Sprinklers shall be installed to protect all areas of a dwelling unit." P. 609

Fire Resistant Construction

IRC 2009 R302.2 Townhouses. "Each townhouse shall be considered a separate building and shall be separated by fire resistance-rated wall assemblies meeting the requirements of Section R-302.1 for exterior walls." P. 49

"Exception: A common 1-hour fire-resistance-rated wall... is permitted for townhouses if such walls do not contain plumbing or mechanical equipment, ducts or vents in the cavity of the common wall. The wall shall be rated for fire exposure from both sides and shall extend to and be tight against exterior walls and the underside of the roof sheathing."

IRC 2009 R302.1 Exterior Walls. "Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1. P. 49

"Exceptions:
1. Walls, projections, openings or penetrations in walls perpendicular to the free used to determine the fire separation distance."

IRC 2009 Table R302.1 (abbreviated)	Walls	Fire-resistance-rated, 1-hour	Min. Fire Separation Distance:	<5 feet
Projections:	Fire-resistance-rated, 1-hour	"	"	22 feet
Openings:	Not allowed	N/A	"	<3 feet
	25% max. wall area	0 hours	"	3 feet
	Unlimited	0 hours	"	5 feet
Penetrations:	All	R302.4	"	<5 feet

IRC 2009 R302.2.2 Parapets. "...1. Where roof surfaces adjacent to the wall or walls are at the same elevation, the parapet shall extend not less than 30 inches above the roof surface."

"Exception: A parapet is not required... when the roof is covered with a minimum class C roof covering, and the roof decking or sheathing is of noncombustible materials... for a distance of 4 feet on each side of the wall..."

IRC 2009 R302.2.4 Structural Independence. "Each individual townhouse shall be structurally independent."

"Exceptions:
1. Foundations supporting exterior walls or common walls.
2. Structural roof and wall sheathing from each unit may fasten to the common wall framing."

Sound Transmission

IRC 2009 AK101.1 General. "Wall and floor-ceiling assemblies separating dwelling units including those separating adjacent townhouse units shall provide air-borne sound insulation for walls, and both air-borne and impact sound insulation for floor-ceiling assemblies."

IRC 2009 AK102.1 General. "Air-borne sound insulation for wall and floor-ceiling assemblies shall meet a Sound Transmission Class (STC) rating of 45..."

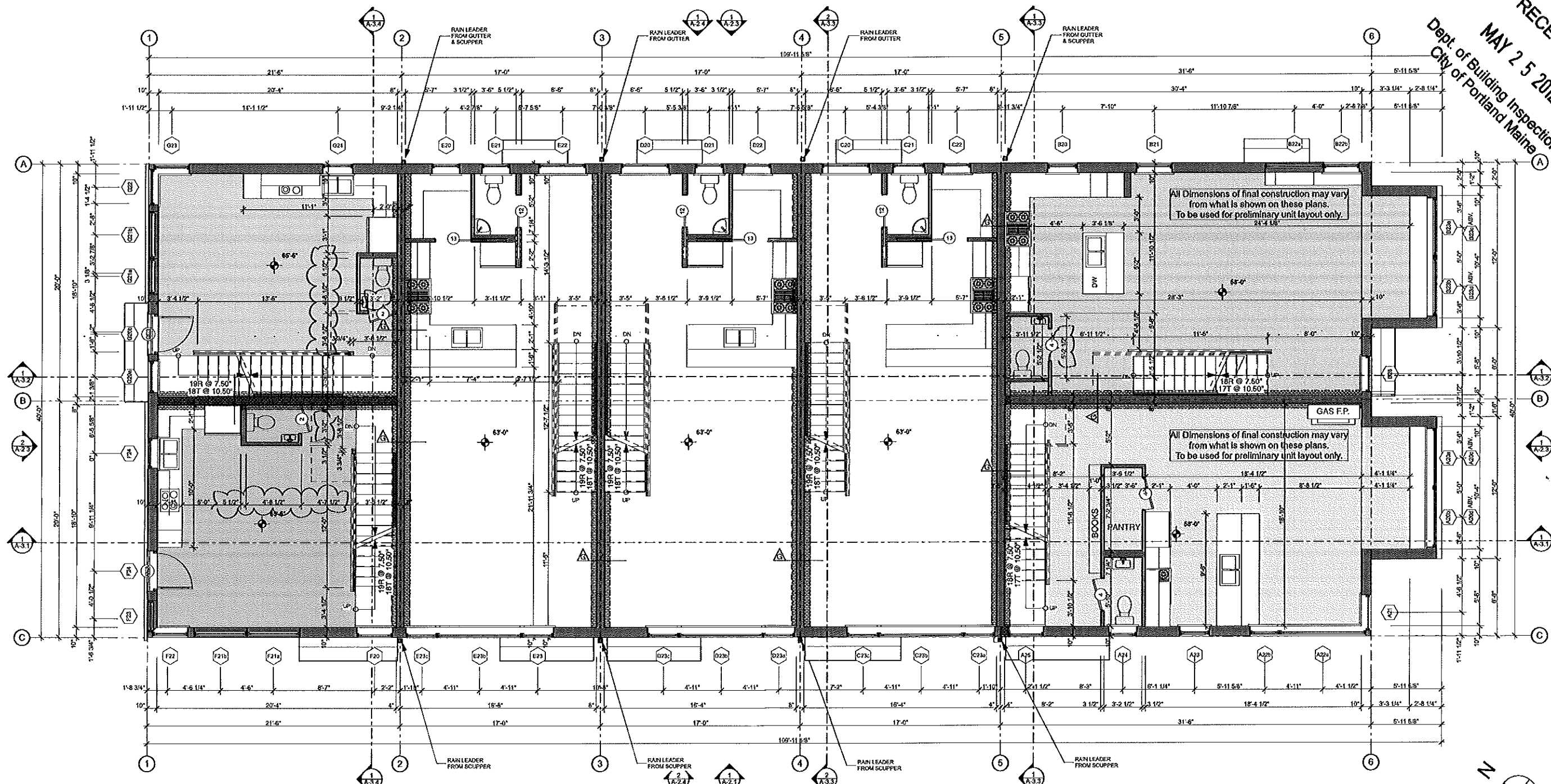
IRC 2009 AK103.1 General. "Floor-ceiling assemblies between dwelling units... shall have an Impact Insulation Class (IIC) rating of not less than 45..."

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All Dimensions of final construction may vary from what is shown on these plans. To be used for preliminary unit layout only.

All Dimensions of final construction may vary from what is shown on these plans. To be used for preliminary unit layout only.

1 2nd FLOOR
SCALE: 1/4" = 1'-0"

KEY:

- LIFE SAFETY SYMBOL KEY: ONE (1) HOUR PARTITION / BARRIER (2-WAY)
- WALL TYPE TAG: SEE ASSEMBLY NOTES A4.1

NOTE: ALL INTERIOR PARTITION WALLS ARE 2X4 FRAMING U.N.O. ALL COMMON WALLS ARE 1-HOUR FIRE RATED

PROJECT:	HARBORVIEW DEVELOPMENT LLC DBA REDFERN HOMES LLC 121 YORK STREET PORTLAND, ME	DRAWING:	2ND FLOOR PLAN
SCALE:		DRAWN BY:	JB
DATE:	APRIL 2, 2012	REVISED:	MAY 25, 2012

KAPLAN THOMPSON ARCHITECTS
424 FORE ST., PORTLAND, ME 04101
207-842-2888 FAX: 842-2826

FOR PERMIT

A-1.3

Door Schedule: UNIT A Exterior Doors												
ID	Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
AE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.		WOOD	5 HORIZ PANEL		TEMPERED
AE2		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.		FIBERGLASS	TRIPLE GLAZED LOW-E		TEMPERED
AE3		3'-0"	8'-0"	0'-1 3/4"	1		T.B.D.		FIBERGLASS	TRIPLE GLAZED LOW-E		TEMPERED
					3							

1 Door Schedule: UNIT A Exterior Doors
SCALE: 1" = 1'-0"

Door Schedule: UNIT B Exterior Doors												
ID	Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
BE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.		WOOD	5 HORIZ PANEL		TEMPERED
BE2		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.		FIBERGLASS	TRIPLE GLAZED LOW-E		TEMPERED
BE3		3'-0"	8'-0"	0'-1 3/4"	1		T.B.D.		FIBERGLASS	TRIPLE GLAZED LOW-E		TEMPERED
					3							

2 Door Schedule: UNIT B Exterior Doors
SCALE: 1" = 1'-0"

Door Schedule: UNIT C Exterior Doors												
ID	3D Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
CE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.		WOOD	5 HORIZ PANEL		TEMPERED
CE2		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.		FIBERGLASS	TRIPLE GLAZED LOW-E		TEMPERED
CE3		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.		FIBERGLASS	TRIPLE GLAZED LOW-E		TEMPERED
					3							

3 Door Schedule: UNIT C Exterior Doors
SCALE: 1" = 1'-0"

Door Schedule: UNIT D Exterior Doors												
ID	3D Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
DE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.			5 HORIZ PANEL		TEMPERED
DE2		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
DE3		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
					3							

4 Door Schedule: UNIT D Exterior Doors
SCALE: 1" = 1'-0"

Door Schedule: UNIT E Exterior Doors												
ID	Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
EE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.			5 HORIZ PANEL		TEMPERED
EE2		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
EE3		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
					3							

5 Door Schedule: UNIT E Exterior Doors
SCALE: 1" = 1'-0"

Door Schedule: UNIT F Exterior Doors												
ID	3D Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
FE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.			5 HORIZ PANEL		TEMPERED
FE2		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
FE3		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
					3							

6 Door Schedule: UNIT F Exterior Doors
SCALE: 1" = 1'-0"

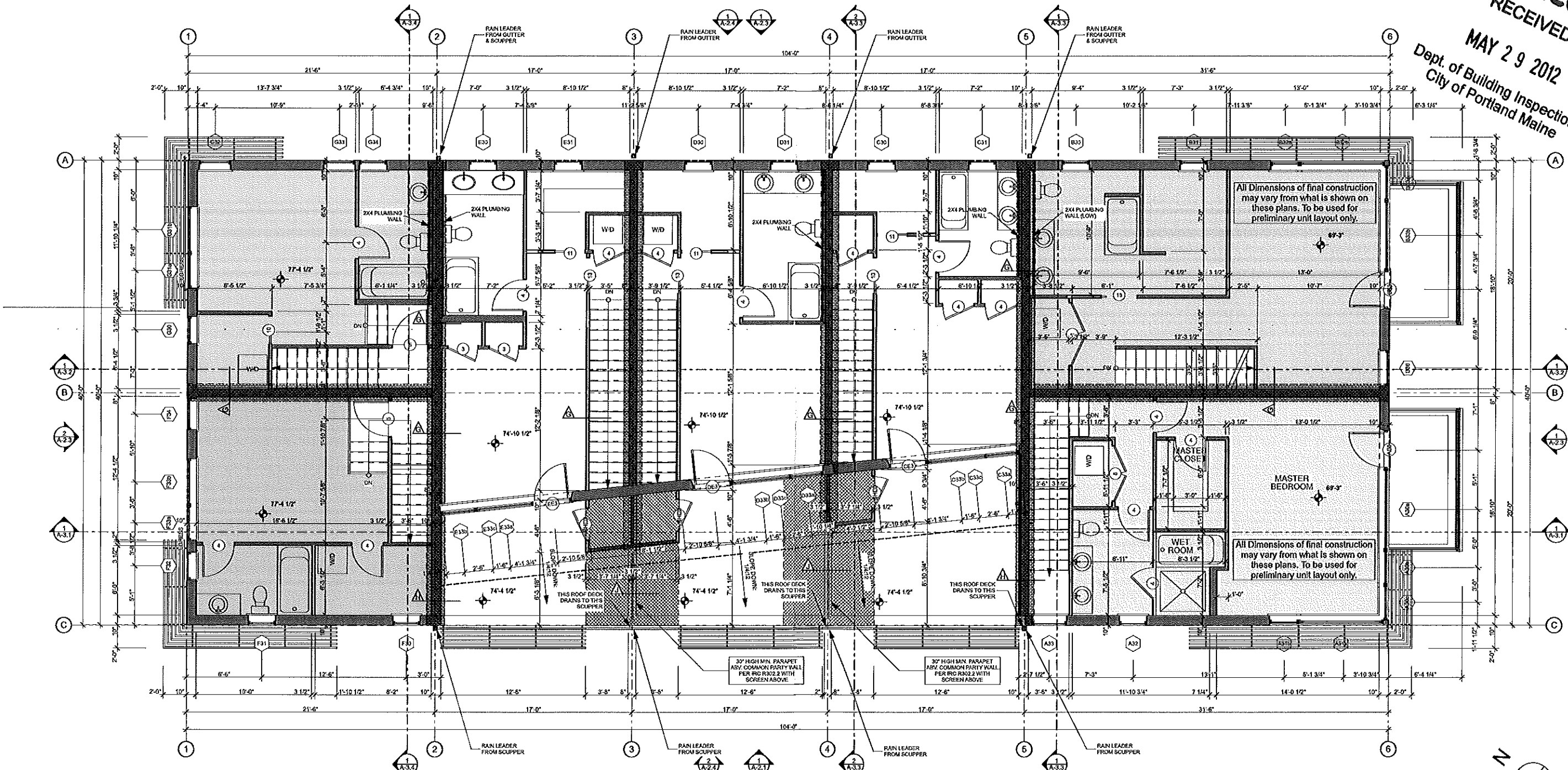
Door Schedule: UNIT G Exterior Doors												
ID	3D Front View	Width	Height	Thickness	Quantity	Model #	Manufacturer	Type	Finish	Glazing	Fire Rating	Notes
GE1		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.			5 HORIZ PANEL		TEMPERED
GE2		3'-0"	7'-0"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
GE3		3'-0"	6'-8"	0'-1 3/4"	1		T.B.D.			TRIPLE GLAZED LOW-E		TEMPERED
					3							

7 Door Schedule: UNIT G Exterior Doors
SCALE: 1" = 1'-0"

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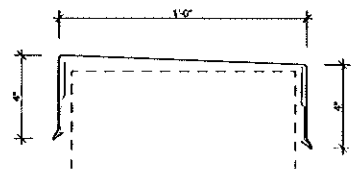
1 3rd FLOOR
SCALE: 1/4" = 1'-0"

KEY: *⊗* showing Typ. continuity to ext wall sheathing

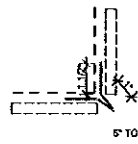
	LIFE SAFETY SYMBOL KEY: ONE (1) HOUR PARTITION / BARRIER (2-WAY)
	WALL TYPE TAG: SEE ASSEMBLY NOTES A4.1
NOTE: ALL INTERIOR PARTITION WALLS ARE 2X4 FRAMING U.N.O. ALL COMMON WALLS ARE 1-HOUR FIRE RATED	

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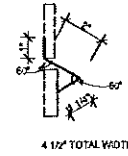
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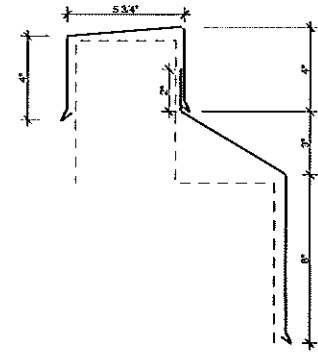
4 FLASHING DETAIL @ DECK PARAPET
SCALE: 3" = 1'-0"



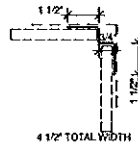
6 OUTSIDE CORNER
SCALE: 3" = 1'-0"



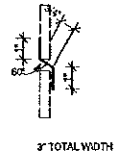
8 HORZ. FLASHING @ SIDING TRANSITION
SCALE: 3" = 1'-0"



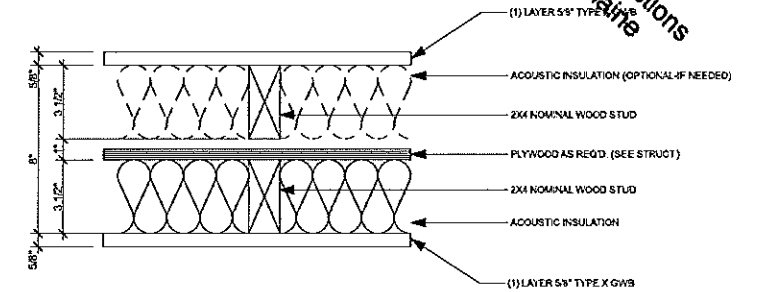
5 FLASHING DETAIL @ ROOF PARAPETS
SCALE: 3" = 1'-0"



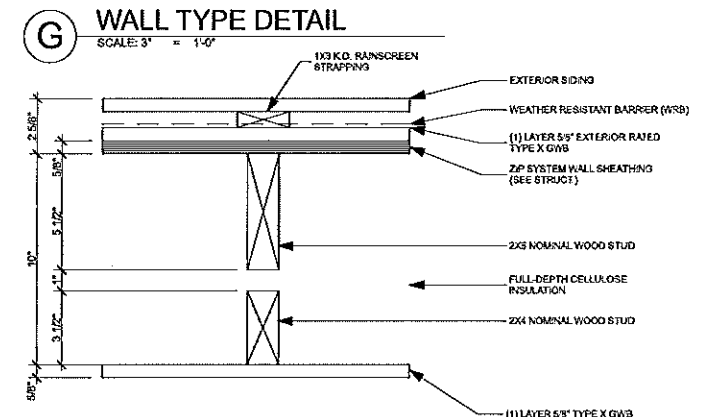
7 INSIDE CORNER
SCALE: 3" = 1'-0"



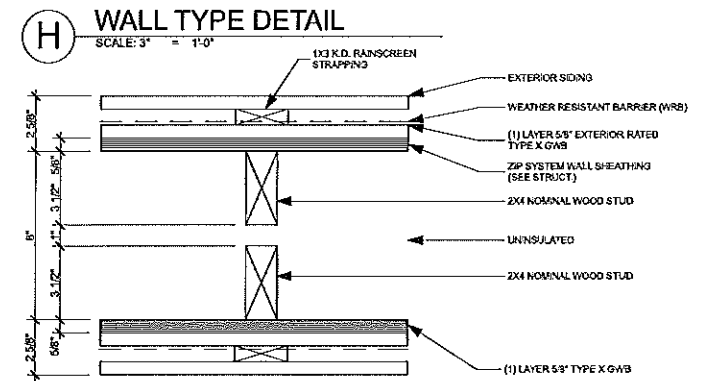
9 HORZ. FLASHING @ PANEL GAP
SCALE: 3" = 1'-0"



GA FILE NO. WP 3370 - 1 HOUR FIRE - 45 TO 49 STC SOUND
UL DESIGN NO. U376 - 1 HOUR FIRE RESISTANCE RATING - ANSUL 283

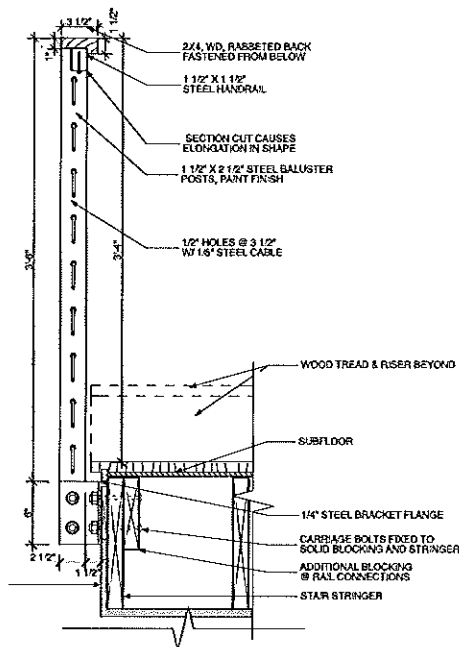


GA FILE NO. WP 8105 - 1 HOUR FIRE EXTERIOR WALL - (SIMILAR)

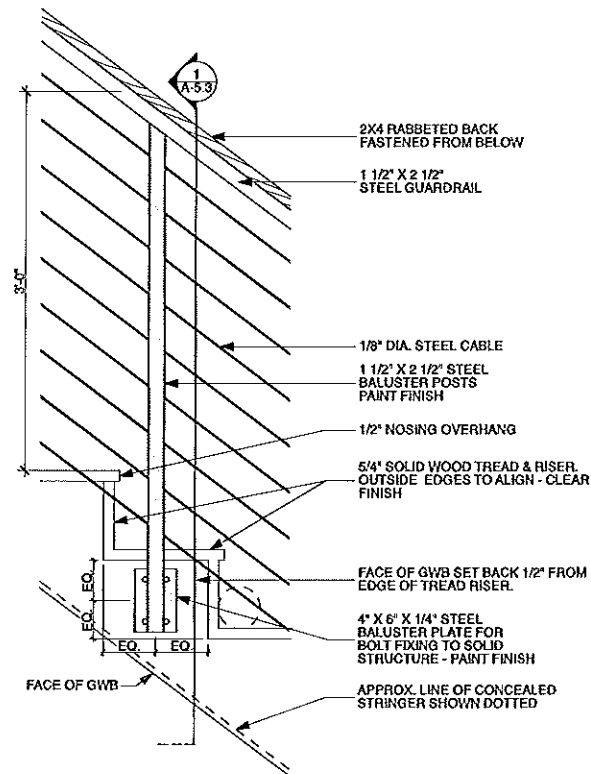


GA FILE NO. WP 8105 - 1 HOUR FIRE EXTERIOR WALL - (SIMILAR)

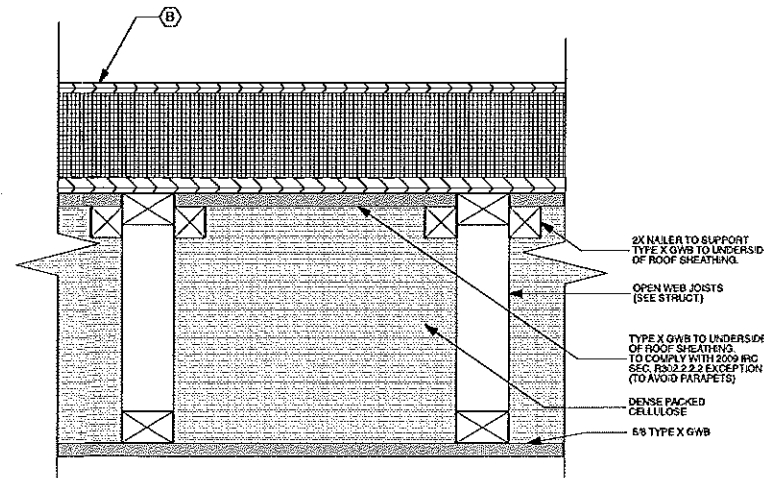
J WALL TYPE DETAIL
SCALE: 3" = 1'-0"



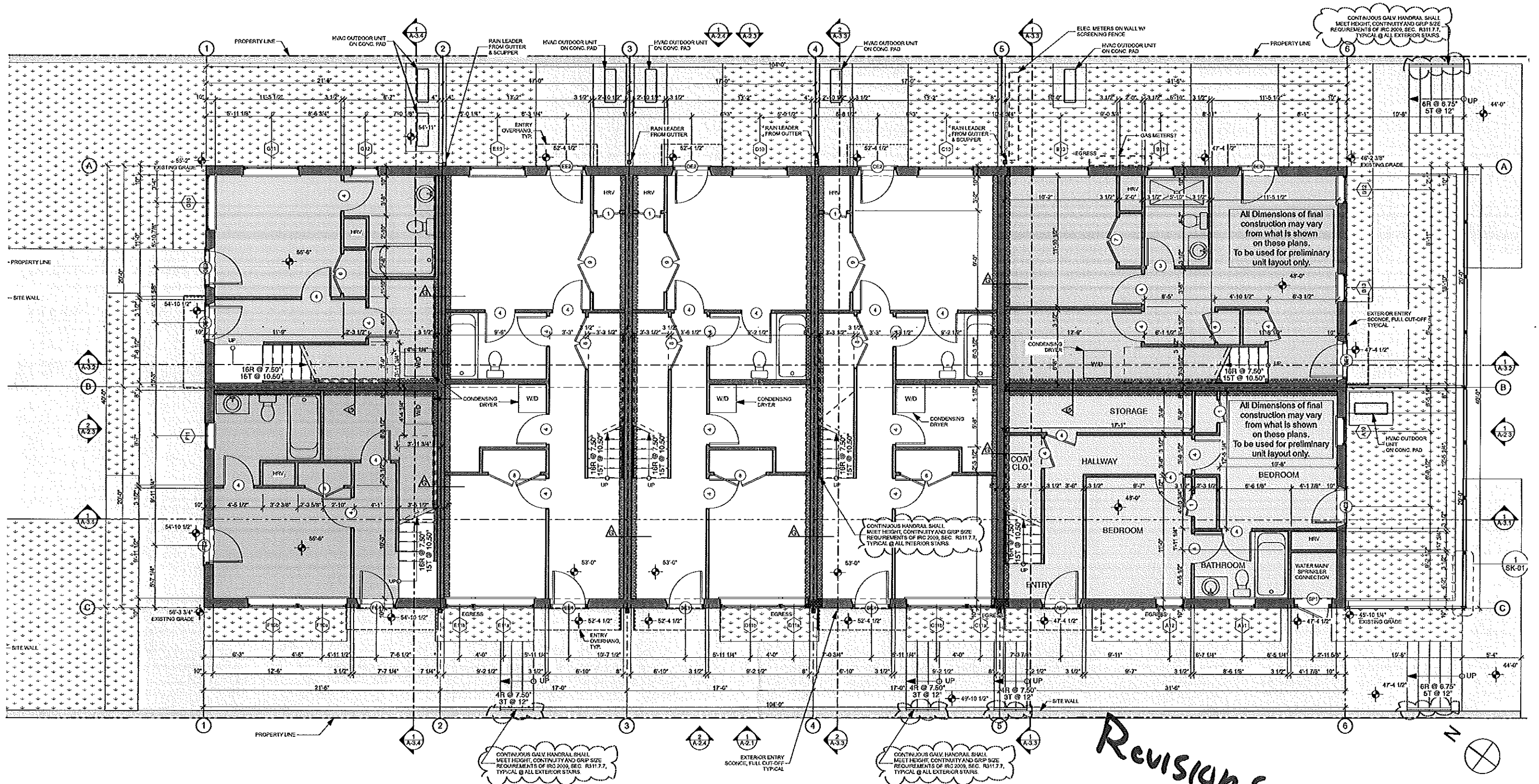
1 STAIR SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



2 STAIR RAIL ELEVATION
SCALE: 1 1/2" = 1'-0"



3 ROOF FIRE RESISTANCE DETAIL
SCALE: 3" = 1'-0"



1 1st FLOOR
SCALE: 1/4" = 1'-0"

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207-842-2888 FAX 842-2888

Revisions

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KEY:

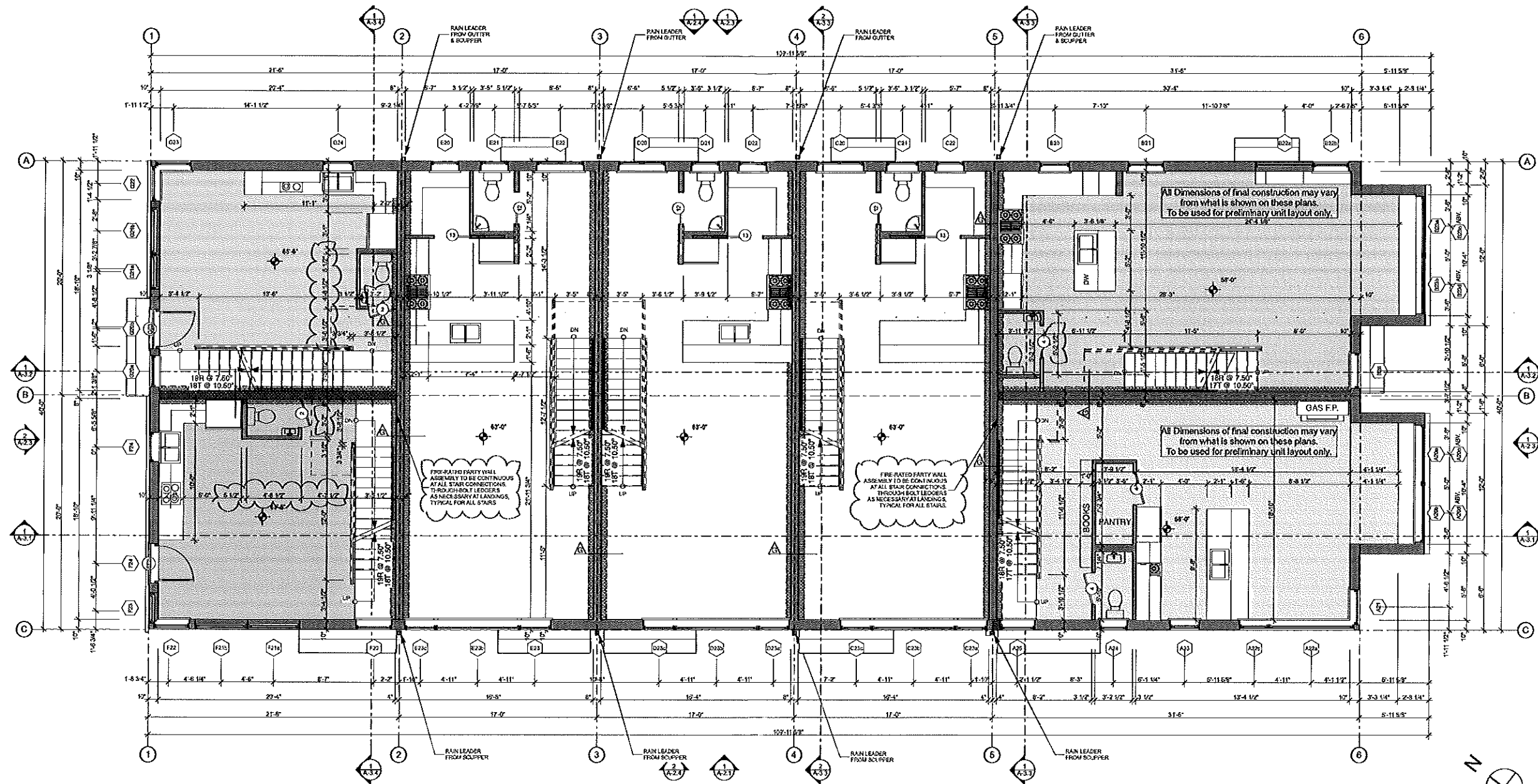
	LIFE SAFETY SYMBOL KEY: ONE (1) HOUR PARTITION / BARRIER (2-WAY)
	WALL TYPE TAG: SEE ASSEMBLY NOTES A4.1
	NOTE: ALL INTERIOR PARTITION WALLS ARE 2X4 FRAMING U.N.O. ALL COMMON WALLS ARE 1-HOUR FIRE RATED

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FOR PERMIT

PROJECT: HARBORVIEW DEVELOPMENT
DRAWING: 1st FLOOR PLAN
DATE: APRIL 2, 2012
DRAWN BY: JB
REVISED: MAY 31, 2012

A-1.2



1 2nd FLOOR
SCALE: 1/4" = 1'-0"

KEY:

- LIFE SAFETY SYMBOL KEY: ONE (1) HOUR PARTITION / BARRIER (2-WAY)
- WALL TYPE TAG: SEE ASSEMBLY NOTES A4.1

NOTE: ALL INTERIOR PARTITION WALLS ARE 2X4 FRAMING U.N.O. ALL COMMON WALLS ARE 1-HOUR FIRE RATED

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City of Portland Maine

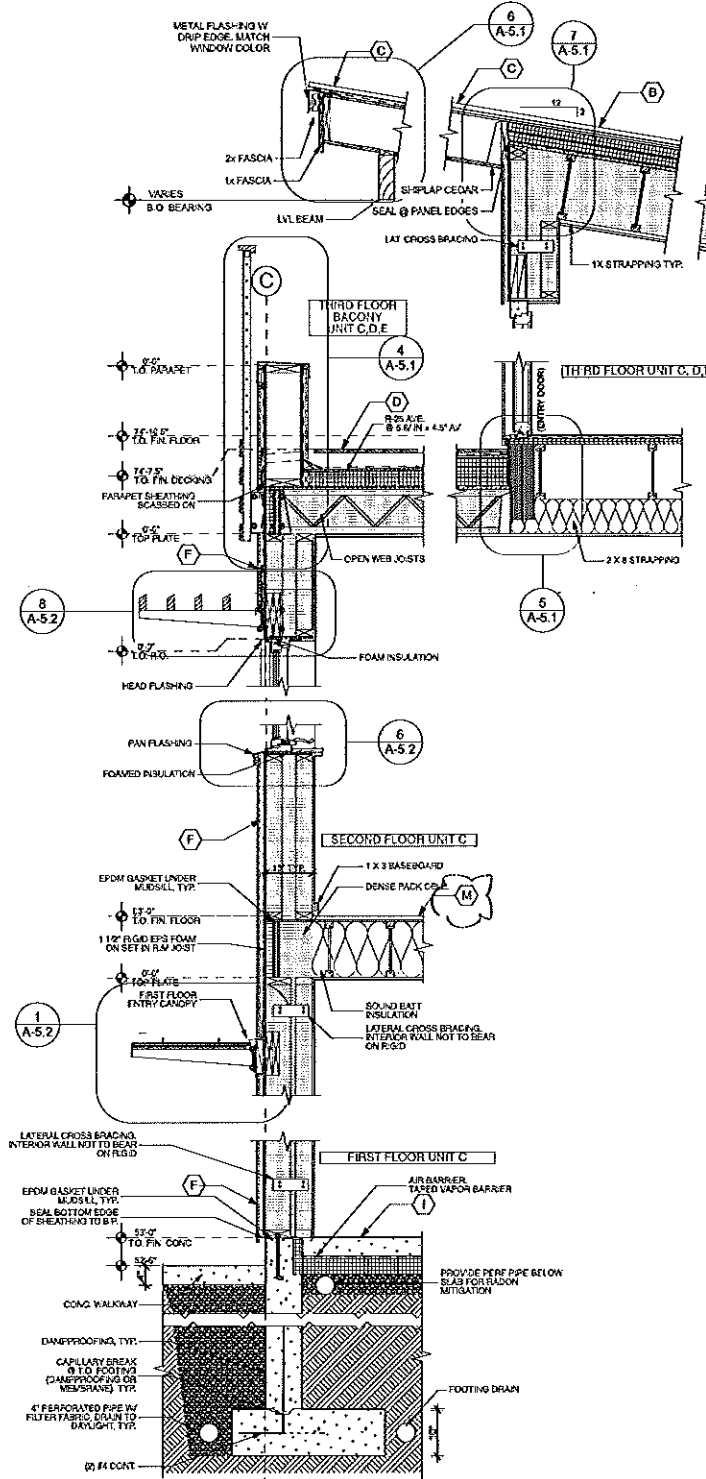
KAPLAN THOMPSON
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207-842-2888 FAX: 842-2888

FOR PERMIT

PROJECT: HARBORVIEW DEVELOPMENT LLC
DBA REDFERN HOMES LLC
121 YORK STREET
PORTLAND, ME

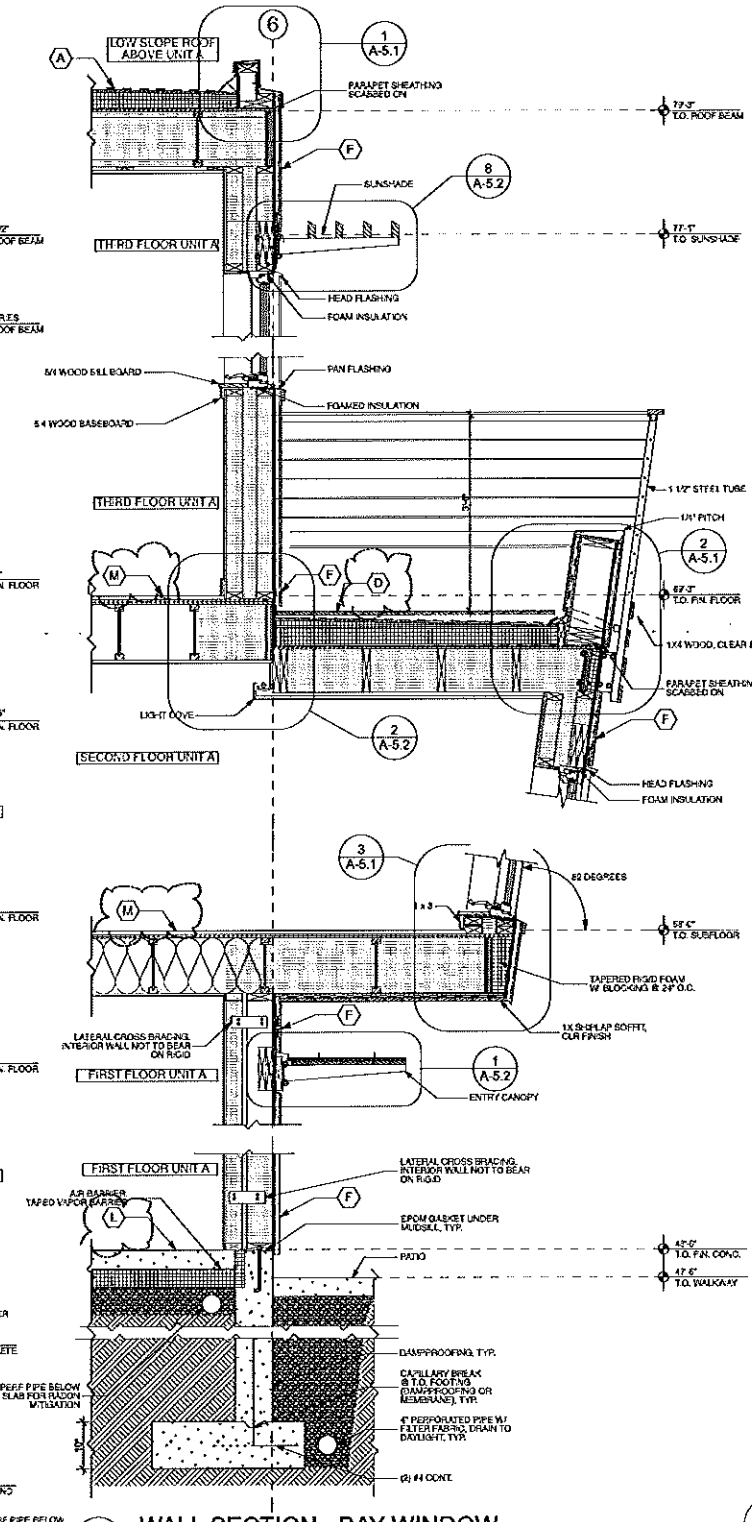
DRAWING: 2ND FLOOR PLAN
SCALE: DRAWN BY: JB
DATE: APRIL 2, 2012
REVISED: MAY 25, 2012
MAY 31, 2012

A-1.3



4 WALL SECTION - DECK EAVE
SCALE: 3/4" = 1'-0"

3 PARTY WALL - INTERIOR
SCALE: 3/4" = 1'-0"



2 WALL SECTION - BAY WINDOW
SCALE: 3/4" = 1'-0"

1 WALL SECTION - THICK SLAB
SCALE: 3/4" = 1'-0"

ASSEMBLY NOTES

- A FLAT ROOF - R-68
Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Tapered Polyiso. Insulation, On Non-Tapered Polyiso. Insulation (R-25 avg.), On 1/2" Zip System Roof Sheathing w/ Taped Seams (See Struct.) On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-43), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
- B SHED ROOF - R-68
Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.) On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-43), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
- C SHED ROOF @ EAVE
Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Roof Sheathing (See Struct.) On 2x framing (See Struct.) on Soffit Material. See Interior Finish Schedule for Finish Materials.
- D ROOF DECK - R-68
1x Decking (1/2" Synth. Decking), On Reverse Tapered 2x Sleepers @ 16" O.C., On Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Tapered Polyiso. Insulation, On Non-Tapered Polyiso. Insulation (R-45 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.) On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-43), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
- E EXTERIOR WALL - R-38
Exterior Siding (Type S1, S2 or S3 (See Elevations for Extents), On Rainscreen (1x3 K.D. strapping or "Home Sicker" - see siding type for extants), On Weather Resistant Barrier (WRB) On 1/2" Zip System Wall Sheathing w/ Taped Seams, On 2x framing (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-35), On 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials.
- F PARTY WALL Type 1: Interior/Interior - STC Rating: 45
Double 2 x 4 Wall (8") w/ Min. Formaldehyde-Free Bat Insulation One Side w/ 5/8" Type X GWB both sides.
- G PARTY WALL Type 2: Exterior/Interior - R-38
Exterior Siding (Type S1, S2 or S3 (See Elevations for Extents), On Rainscreen (1x3 K.D. strapping or "Home Sicker" - see siding type for extants), On Weather Resistant Barrier (WRB) On 1/2" Zip System Wall Sheathing w/ Taped Seams, On Type X GWB, On 10" Double Stud Wall (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-36), On 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials. Type X GWB both sides.
- H PARTY WALL Type 3: Parapet Wall - Uninsulated
SAW ASSEMBLY BOTH SIDES: Exterior Siding Type 1, 2 or 3 (See Elevations for Extents), On Rainscreen (1x3 K.D. strapping or "Home Sicker" - see siding type for extant), On Weather Resistant Barrier (WRB) On 1/2" Zip System Wall Sheathing w/ Taped Seams, On Type X GWB, On 10" Double Stud Wall (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-36), On 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials.
- I CONC. FOUND. WALL @ Grade Ceiling - R-17
Free Draining Backfill, on Fluid-Applied Waterproofing, On Reinforced Concrete Retaining Wall (See Struct.) On 1" Rigid Insul., On Min. 16 Mil. Vapor Barrier Taped & Sealed, On 2x Framing w/ Dense Pack Cellulose, On 5/8" Type X GWB, On Interior Finish. See Interior Finish Schedule for Finish Materials.
- J INTERIOR SLAB ON GRADE - R-16
Sealed Reinforced 4" Concrete slab (see struct.) On 15 Mil. mat. Poly Vapor Barrier Taped and Sealed, On 4" Rigid EPS Insulation, On 6" Crushed-Germetel (No Fines)
- M INTERIOR FRAMED FLOORS
Finish Floor Materials (See Interior Finish Schedule), On Structural Floor Sheathing (See Struct.), On Floor Joists (See Struct.), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule For Finish Materials.

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PROJECT:
HARBORVIEW DEVELOPMENT LLC
DBA REOPEN HOMES LLC
181 YOUNG STREET
PORTLAND, ME

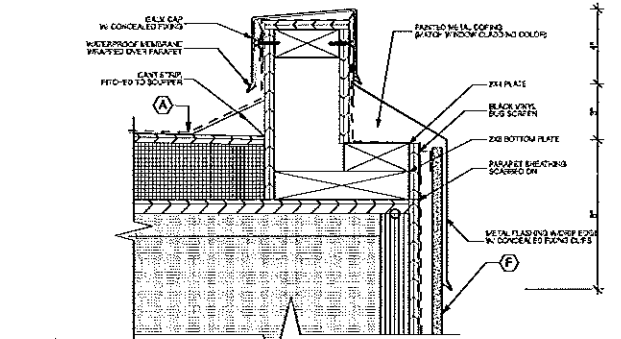
DRAWING: WALL SECTIONS
SCALE:
DATE: APRIL 2, 2012
DRAWN BY: JB
REVISED: JUNE 1, 2012

A-4.1

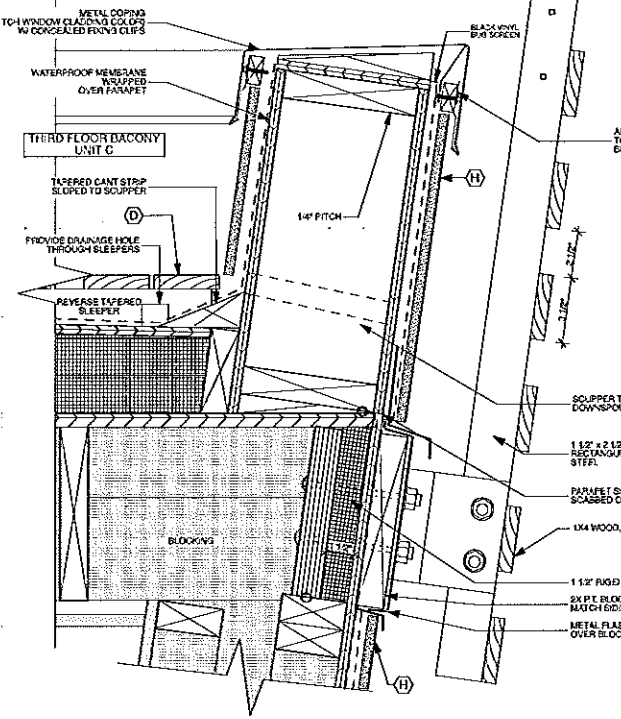
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City of Portland Maine

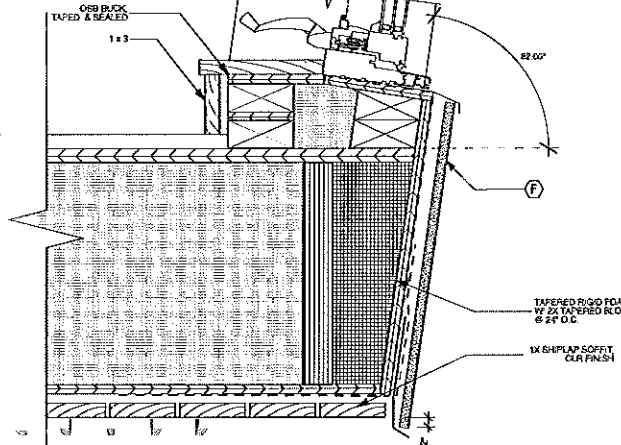
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1 PARAPET WALL
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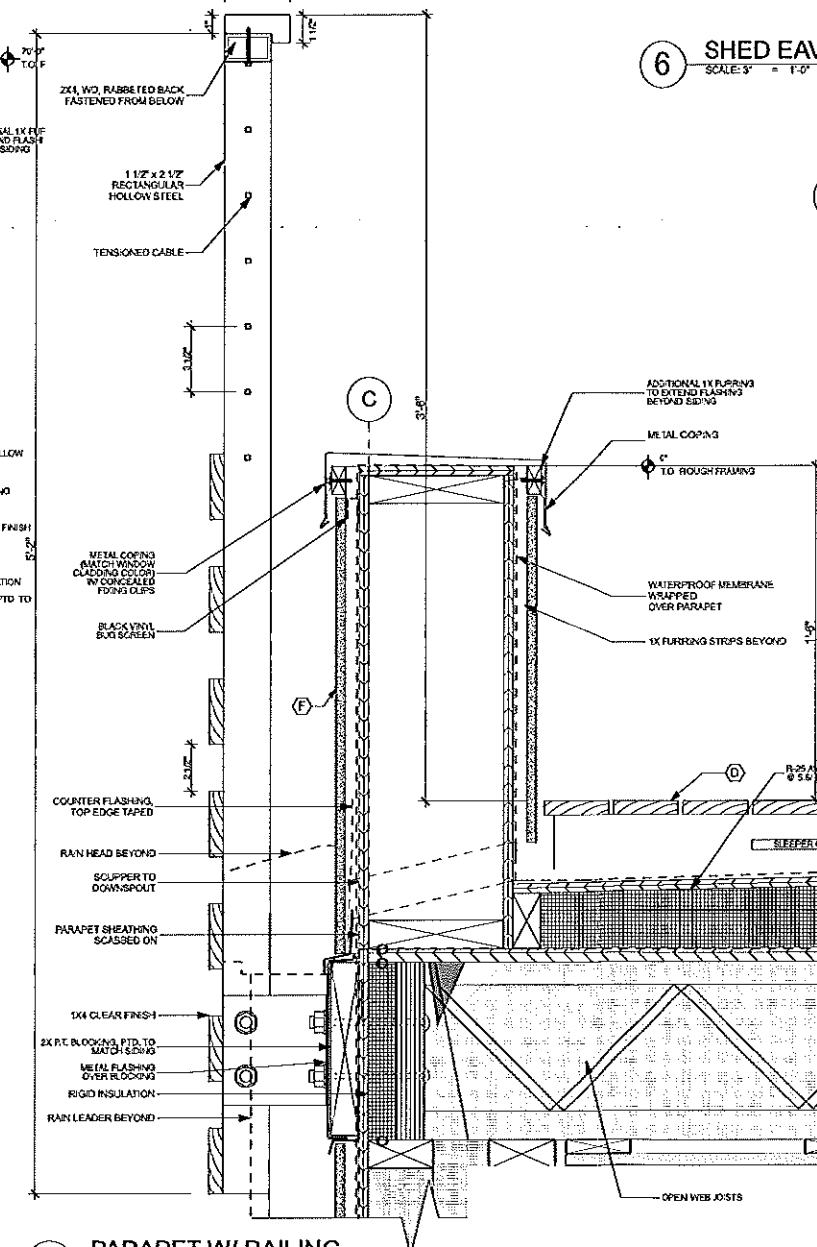
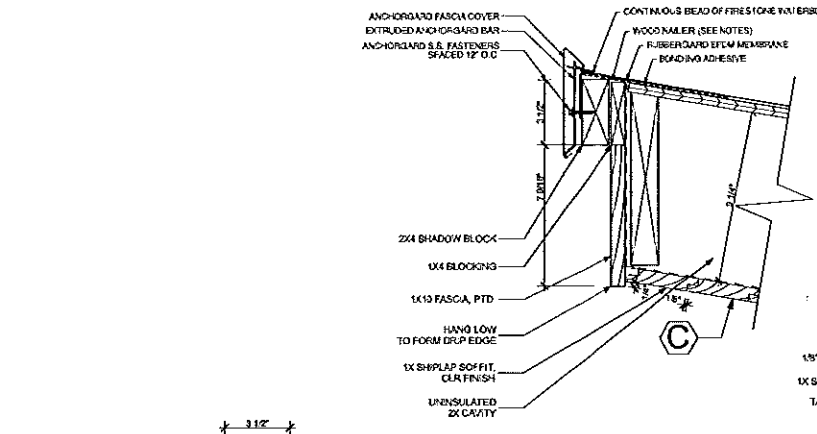


2 RAILING AT BAY WINDOW
SCALE: 3" = 1'-0"

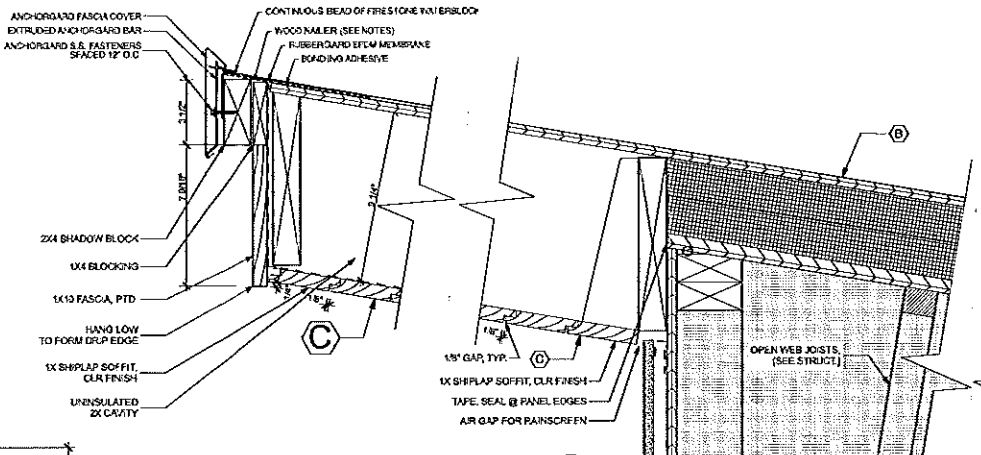


3 BAY WINDOW FLOOR
SCALE: 3" = 1'-0"

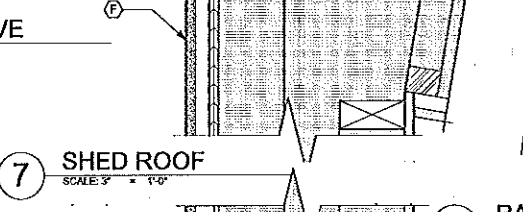
KAPLAN THOMPSON ARCHITECTS
424 FORD ST., PORTLAND, ME 04101
207-642-2888 FAX: 642-2828



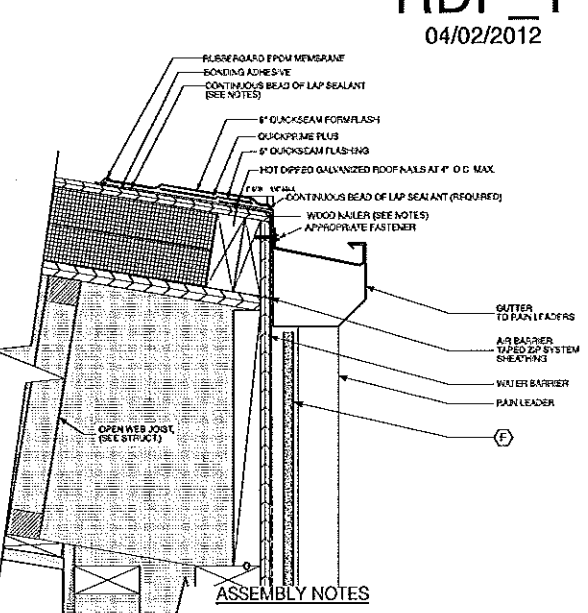
4 PARAPET W/ RAILING
SCALE: 3" = 1'-0"



6 SHED EAVE
SCALE: 3" = 1'-0"



7 SHED ROOF
SCALE: 3" = 1'-0"



8 RAIN GUTTER
SCALE: 3" = 1'-0"

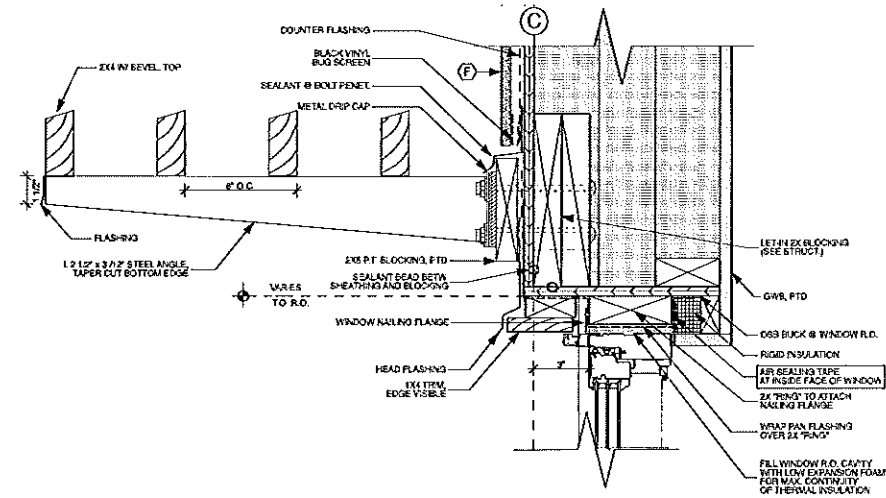
- ASSEMBLY NOTES
- A FLAT ROOF - R-68 Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Tapered Polyiso. Insulation, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.), On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-40), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
 - B SHED ROOF - R-68 Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.), On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-50), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
 - C SHED ROOF @ EAVE Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Roof Sheathing (See Struct.), On 2x Framing (See Struct.), on Soffit Material. See Interior Finish Schedule for Finish Materials.
 - D ROOF DECK - R-58 1x Decking (AK Synth. Decking), On Reverse Tapered 2x Sleepers @ 16" O.C., On Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Tapered Polyiso. Insulation, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.), On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-34), on 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
 - E EXTERIOR WALL - R-36 Exterior Siding Type S1, S2 or S3 (See Elevations for Exerts), On Rainscreen (1x3 K.D. strapping or "Home Slicker" - see siding type for extent), Incl. black vinyl bug screen, On Weather Resistant Barrier (WRB) On 1/2" Zip System Wall Sheathing w/ Taped Seams, On 10" Double Stud Wall (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-38), on 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials.
 - G PARTY WALL Type 1: Interior/Interior - STG Rating: 45 Double 2x4 Wall (8") w/ Min. Formaldehyde-Free Bat Insulation One Side w/ 5/8" Type X GWB both sides.
 - H PARTY WALL Type 2: Exterior/Interior - R-36 Exterior Siding Type S1, S2 or S3 (See Elevations for Exerts) On Rainscreen (1x3 K.D. strapping or "Home Slicker" - see siding type for extent), On Weather Resistant Barrier (WRB) On 1/2" Zip System Wall Sheathing w/ Taped Seams, On Type X GWB, On 10" Double Stud Wall (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-38), on 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials. Type X GWB both sides.
 - J PARTY WALL Type 3: Parapet Wall - Uninsulated SAME ASSEMBLY BOTH SIDES: Exterior Siding Type 1, 2 or 3 (See Elevations for Exerts), On Rainscreen (1x3 K.D. strapping or "Home Slicker" - see siding type for extent), On Weather Resistant Barrier (WRB) On 1/2" Zip System Wall Sheathing w/ Taped Seams, On Type X GWB, On 10" Double Stud Wall (See Struct.)
 - K CONC. FOUND. WALL @ Grade Change - R-17 Free Draining Slicker, on Flashed Footing, On Reinforced Concrete Retaining Wall (See Struct.) On 1" Rigid Insul., On Min. 15 Mil. Vapor Barrier Taped & Sealed, On 2x Framing w/ Dense Pack Cellulose, On 5/8" Type X GWB, On Interior Finish. See Interior Finish Schedule for Finish Materials.
 - L INTERIOR SLAB ON GRADE - R-16 Strapped Reinforced 4" Concrete slab (see struct.), On 15 Mil. m.m. Poly Vapor Barrier Taped and Sealed, On 4" Rigid EPS Insulation, On 6" Crushed Gravel @ (10" Finis)
 - M INTERIOR FRAMED FLOORS Finish Floor Material (See Interior Finish Schedule), On Structural Floor Sheathing (See Struct.), On Floor Joists (See Struct.), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.

5 DECK/WALL
SCALE: 3" = 1'-0"

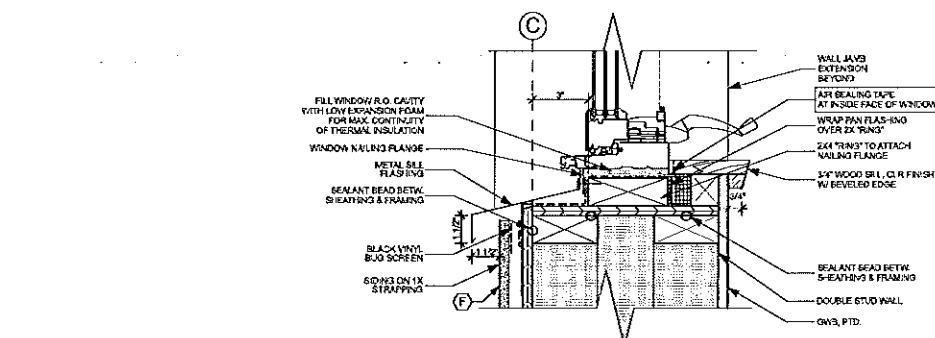
FOR PERMIT

PROJECT:	HARBORVIEW DEVELOPMENT LLC DBA REDFERN HOMES LLC 181 YORK STREET PORTLAND, ME	DRAWING:	DETAILS
SCALE:		DRAWN BY:	JB
DATE:	APRIL 2, 2012	REVISED:	JUNE 1, 2012
			A-5.1

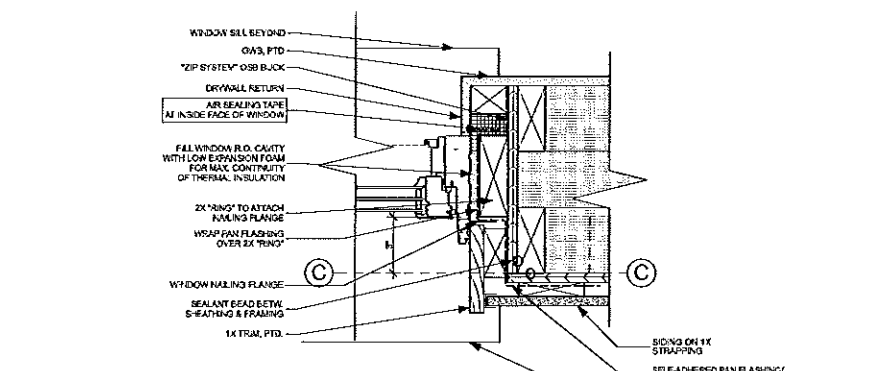
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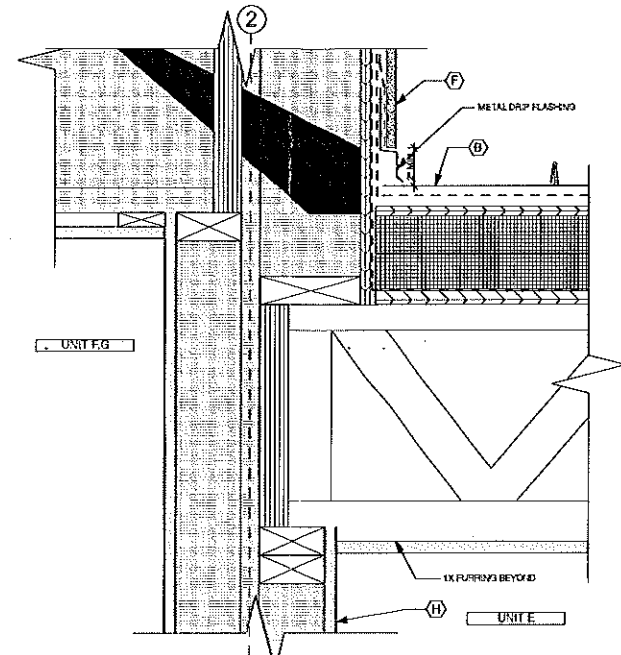
8 SUNSHADE & WINDOW HEAD
SCALE: 3" = 1'-0"



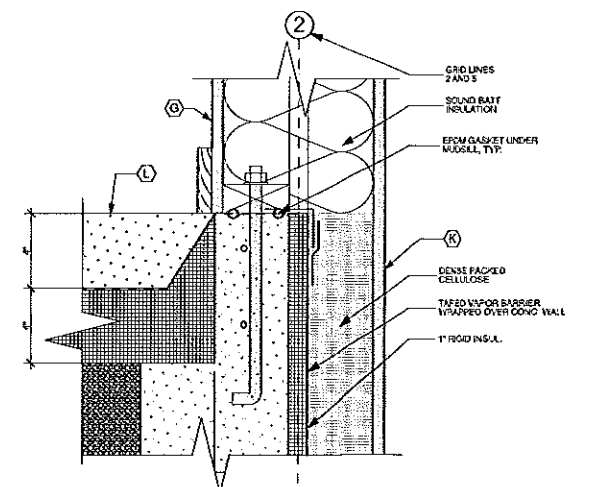
7 WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



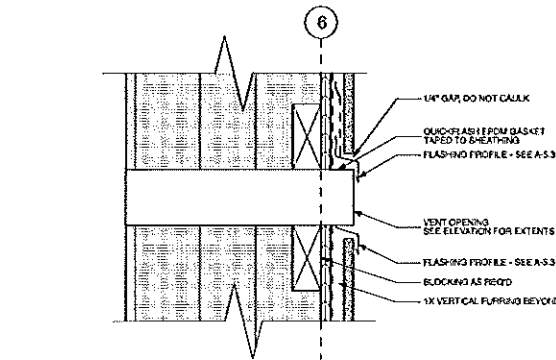
6 WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



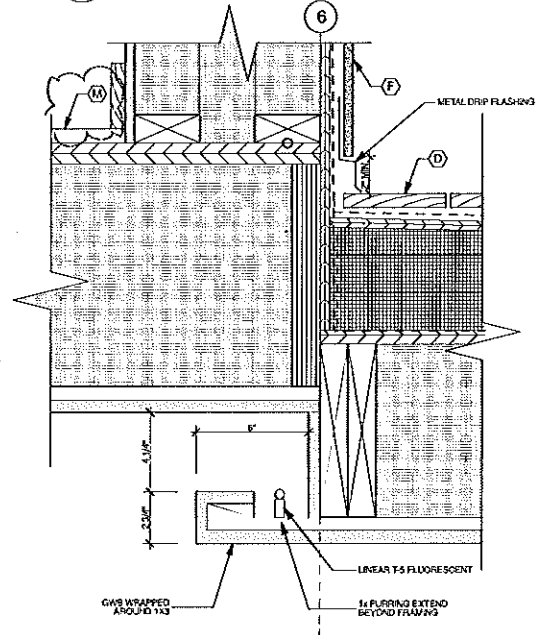
5 PARTY WALL - INTERIOR ROOF
SCALE: 3" = 1'-0"



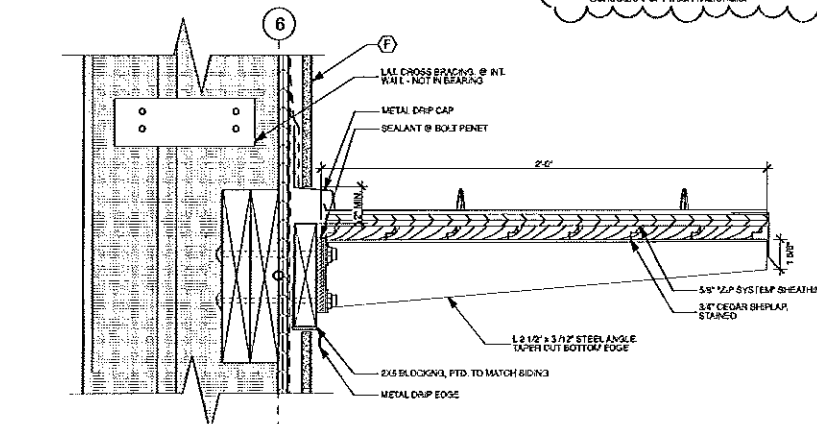
4 FOUNDATION WALL
SCALE: 3" = 1'-0"



3 FIXTURE PENETRATION DETAIL
SCALE: 3" = 1'-0"



2 LIGHT COVE
SCALE: 3" = 1'-0"



1 DOOR CANOPY
SCALE: 3" = 1'-0"

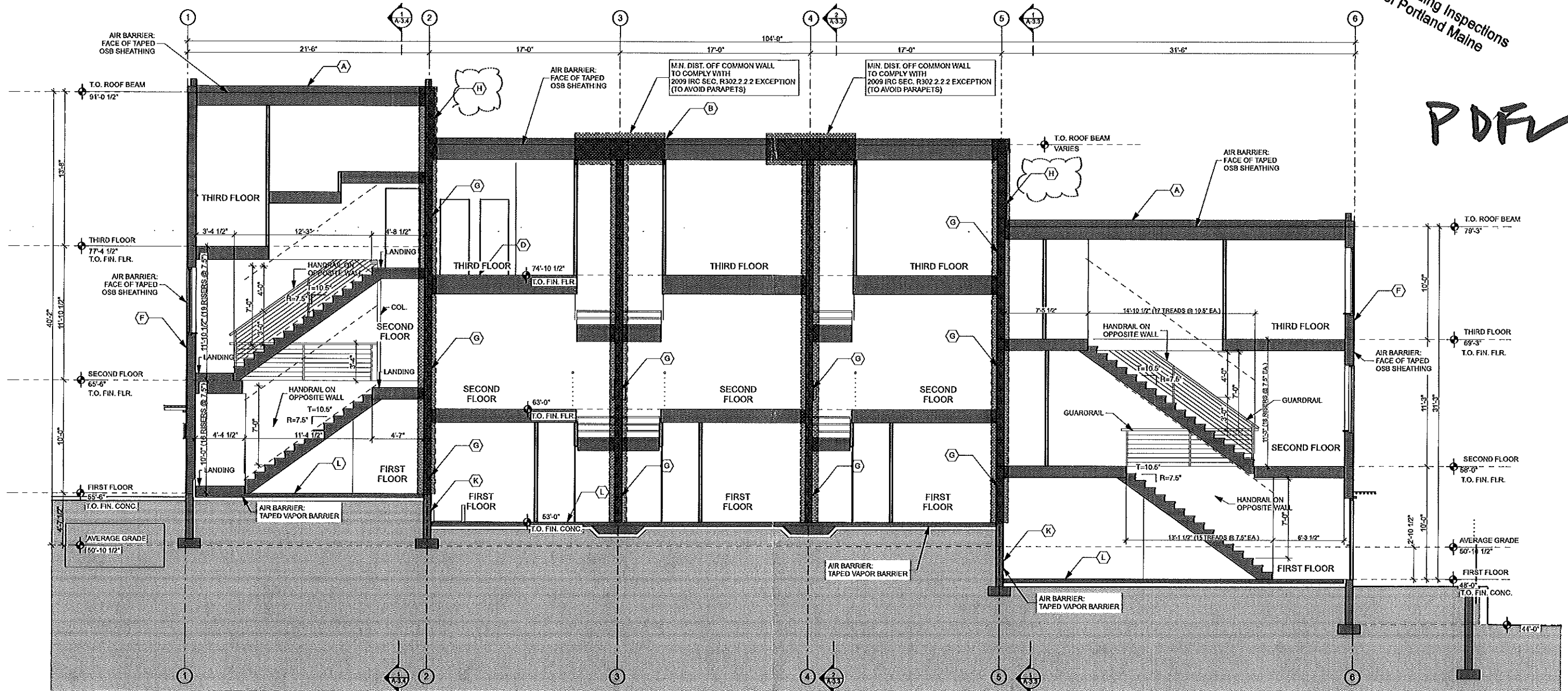
ASSEMBLY NOTES

- A FLAT ROOF - R-68 Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Tapered Polyiso. Insulation, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.) On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-43) On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
- B SHED ROOF - R-68 Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.) On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-43) On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
- C SHED ROOF (8 RAWS) Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Roof Sheathing (See Struct.), On 2x Framing (See Struct.), on Soffit Material. See Interior Finish Schedule for Finish Materials.
- D ROOF DECK - R-58 1x Decking (Ab. Synth. Decking), On Reverse Tapered 2x Sleepers @ 16 O.C., On Fully Adhered T.P.O. Membrane Roof System, On 1/2" Protection Board, On Tapered Polyiso. Insulation, On Non-Tapered Polyiso. Insulation (R-25 avg.), On Zip System Roof Sheathing w/ Taped Seams (See Struct.) On Open Web Joists (See Struct.) Filled w/ Dense Pack Cellulose Insulation (R-34), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.
- F EXTERIOR WALL - R-38 Exterior Siding Type S1, S2 or S3 (See Elevations for Extents), On Reinscreen (1x3 K.D. strapping or "Home Slicker" - see siding type for extents), Incl. Black Vinyl Bug Screen, On Weather Resistant Barrier (WRB), On 1/2" Zip System Wall Sheathing w/ Taped Seams, On 10" Double Stud Wall (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-36), on 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials.
- G PARTY WALL Type 1: Interior/Interior - STC Rating: 45 Double 2x4 Wall (B) w/ Min. Formaldehyde-Free Bat Insulation One Side w/ 6" Type X GWB both sides.
- H PARTY WALL Type 2: Exterior/Interior - R-38 Exterior Siding (Type S1, S2 or S3 (See Elevations for Extents), On Reinscreen (1x3 K.D. strapping or "Home Slicker" - see siding type for extents), On Weather Resistant Barrier (WRB), On 1/2" Zip System Wall Sheathing w/ Taped Seams, On Type X GWB, On 10" Double Stud Wall (See Struct.) w/ Full-Depth Dense-Packed Cellulose (R-36), on 5/8" Type X GWB. See Interior Finish Schedule for Finish Materials. Type X GWB both sides.
- J PARTY WALL Type 3: Parapet Wall - Uninsulated SAVER ASSEMBLY BOTH SIDES: Exterior Siding Type 1, 2 or 3 (See Elevations for Extents), On Reinscreen (1x3 K.D. strapping or "Home Slicker" - see siding type for extents), On Weather Resistant Barrier (WRB), On 1/2" Zip System Wall Sheathing w/ Taped Seams, On Type X GWB, On 10" Double Stud Wall (See Struct.)
- K CONG. FOUND. WALL @ Grade Change: -R-17 Free Draining Backfill, on Fluid Applied Waterproofing, on Reinforced Concrete Retaining Wall (See Struct.) On 1" Rigid Insul., On Min. 15 Mil. Vapor Barrier Taped & Sealed, On 2x Framing w/ Dense Pack Cellulose, On 5/8" Type X GWB, On Interior Finish. See Interior Finish Schedule for Finish Materials.
- L INTERIOR SLAB ON GRADE: -R-16 Sealed Reinforced 4" Concrete slab (see struct.) On 15 Mil. min. Poly Vapor Barrier Taped and Sealed, On 4" Rigid EPS Insulation, On 6" Crushed Gravel fill (No Frost)
- M INTERIOR FRAISED FLOORS: FINISH FLOOR RESTRICTION (See Interior Finish Schedule), On Structural Floor Sheathing (See Struct.), On Floor Joists (See Struct.), On 5/8" Type X GWB Ceiling. See Interior Finish Schedule for Finish Materials.

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City of Portland Maine

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1 SECTION: LENGTH STAIRS
SCALE: 1/4" = 1'-0"

