

NOTES:

GENERAL:

1. REFER TO THE PLANS TITLED, FINAL SITE PLAN AND LANDSCAPE DETAILS PREPARED BY SOREN DENIORD DESIGN STUDIO FOR INFORMATION REGARDING THE LOCATION, DIMENSIONS, AND MATERIALS OF THE PROPOSED VEHICLE AND PEDESTRIAN ACCESS WAYS, AND BICYCLE ACCESS WAYS, WITH CORRESPONDING CURBING. REFER TO THE EXISTING CONDITIONS PLAN BY OCEAN PARK LAND SURVEYING, LLC FOR EXISTING SITE FEATURES. THE CONTRACTOR SHALL NOTIFY ACORN ENGINEERING IF ANY CONFLICTS OR DISCREPANCIES EXIST.

2. THE CONTRACTOR SHALL VERIFY WITH A PROFESSIONAL LAND SURVEYOR THAT THE LOCATION OF ANY PROPOSED PERMANENT STRUCTURES ARE WITHIN THE PROPERTY LINE PRIOR TO CONSTRUCTION. THE CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SHORING BETWEEN THE PERMANENT STRUCTURE AND PROPERTY LINES DURING CONSTRUCTION.

GRADING AND DRAINAGE NOTES:

1. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER, STORM SEWERS, CATCH BASIN DRAINS, OR UNDERDRAINS WITHIN THE CITY OF PORTLAND RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL SECTION 2.5.2.

2. TOPSOIL STRIPPED FROM THE SITE THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED WITHIN THE PROPOSED LIMIT OF WORK AREA.

3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY; NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

4. SPOT GRADES SHOWN ARE THE ELEVATIONS AT THE BOTTOM OF THE CURB. THE TOP OF THE CURB SHALL BE 0.50' OR 6" HIGHER WITHIN THE PROPERTY AND 7" ON THE STREET UNLESS OTHERWISE NOTED.

5. THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER WITH THE LOCATION, ELEVATION, AND TYPE OF MATERIAL OF ANY STORMWATER STUBS.

6. HARBORVIEW DEVELOPMENT, LLC SHALL BE RESPONSIBLE FOR OBTAINING ANY EASEMENT OR TEMPORARY CONSTRUCTION RIGHTS AS NECESSARY BY ADJACENT LAND OWNERS. THE CONTRACTOR SHALL NOT DISTURB ANY SOIL BEYOND THE PROPERTY LINE WITHOUT NOTIFYING AND OBTAINING SUCH EASEMENT OR TEMPORARY CONSTRUCTION RIGHT FROM HARBORVIEW DEVELOPMENT, LLC.

7. CURB ALONG THE EASTERN PARKING LOT PERIMETER MAY NOT HAVE SOIL FLUSH WITH THE TOP OF CURB DEPENDING UPON THE GRADES AT THE ADJACENT PROPERTY LINE.

EROSION CONTROL NOTES:

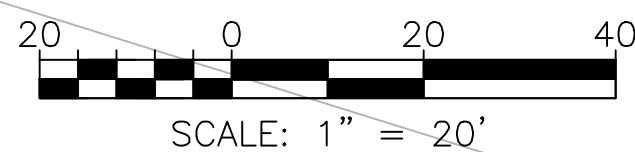
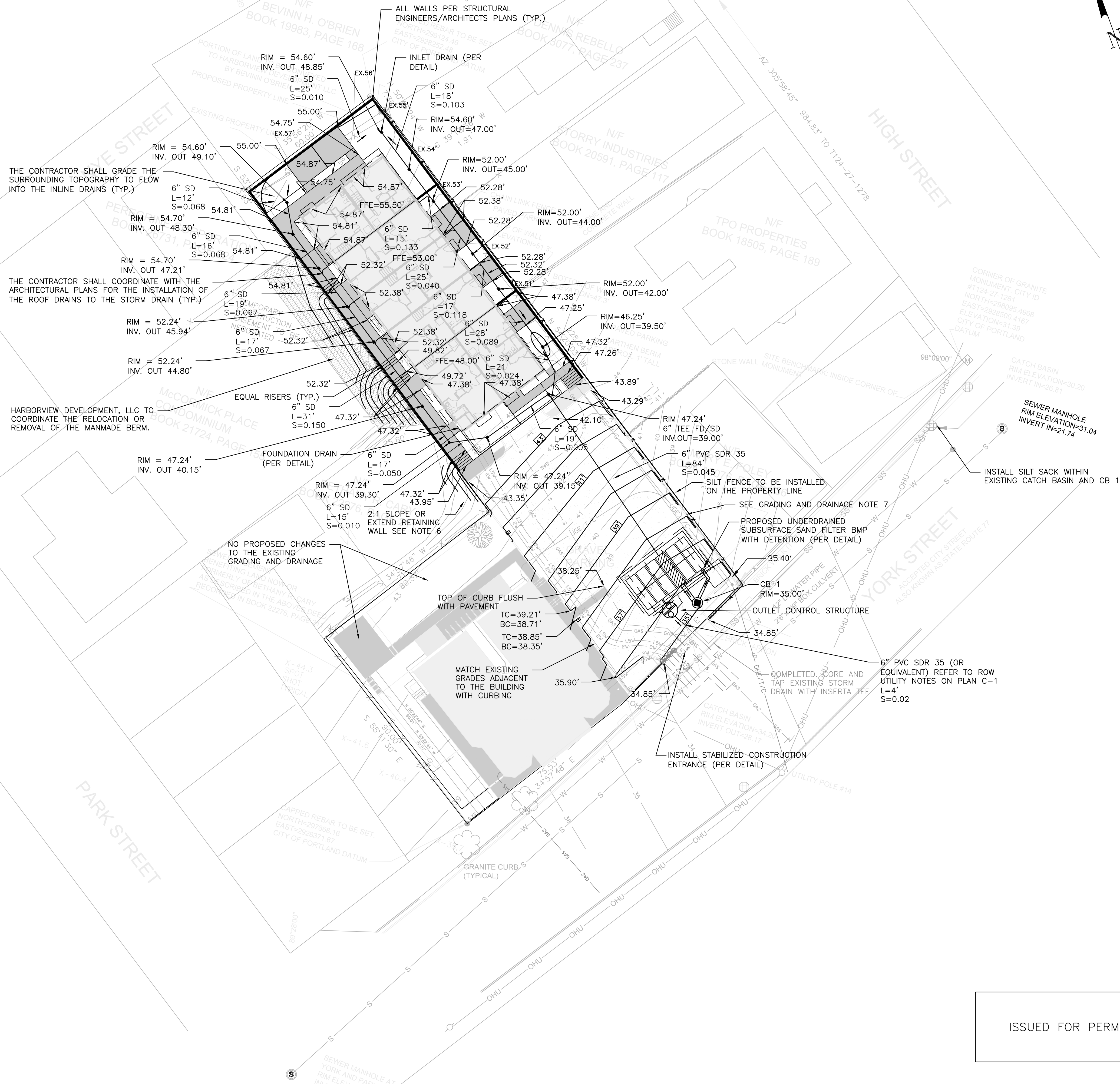
1. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN SUCH A WAY TO LIMIT THE AMOUNT OF DISTURBED AREA AT ONE TIME TO THE EXTENT PRACTICABLE.

2. PRIOR TO THE START OF ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL APPLICABLE EROSION CONTROL DEVICES SUCH AS PERIMETER SILT FENCE, AND OTHER APPLICABLE MEASURES. IN THE EVENT THE CONTRACTOR IS NOT SURE A EROSION CONTROL MEASURE SHOULD BE IMPLEMENTED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD TO CONFIRM IMPLEMENTATION OF ANY EROSION CONTROL DEVICES.

3. ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED, SEEDED AND MULCH SHALL BE APPLIED AS SOON AS POSSIBLE WITHIN 7 DAYS FOLLOWING THE COMPLETION OF ANY SOIL DISTURBANCE, AND PRIOR TO ANY STORM EVENT.

4. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY. THE CONTRACTOR SHALL REFERENCE THE APPROVED EROSION AND SEDIMENTATION CONTROL REPORT FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL DEVICES IN ADDITION TO THE PLAN SET. THE CONTRACTOR SHALL ALSO REFER TO THE MAINE D.E.P.'S PERMIT CONDITIONS, FINDINGS OF FACT AND ORDER (IF ANY), AND THE CURRENT MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL FOR ADDITIONAL INFORMATION.

5. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PRIOR TO PERMANENT SEEDING.



ISSUED FOR PERMITTING

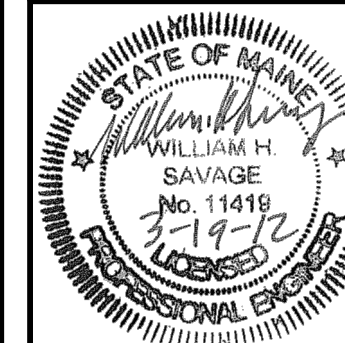
ISSUED FOR	BY	DATE
PRELIMINARY	WHS	3/24/11
FINAL SITE/SUB.	WHS	02/21/11
COMMENT RESPONSE	WHS	02/21/11
COMMENT RESPONSE	WHS	02/21/11
COMMENT RESPONSE	WHS	02/21/11
REVISION	REV.	DATE
UTILITIES	WHS	3/23/11

DRAWING NAME:	GRADING, DRAINAGE, EROSION & SED. CONTROL PLAN
PROJECT NAME:	HARBORVIEW DEVELOPMENT, LLC
CLIENT:	HARBORVIEW DEVELOPMENT, LLC PO BOX 8816, PORTLAND, MAINE 04104

A C O R N
ENGINEERING, INC.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM ACORN ENGINEERING, INC. ANY CHANGES, CORRECTIONS, OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO ACORN ENGINEERING, INC.

FILE:	ACORNPLAN
DATE:	03/14/11
JN:	1035
SCALE:	1"=20'
DESIGNED BY:	WHS
DRAWN BY:	WHS
CHECKED BY:	HPS



DRAWING NO.
C-2