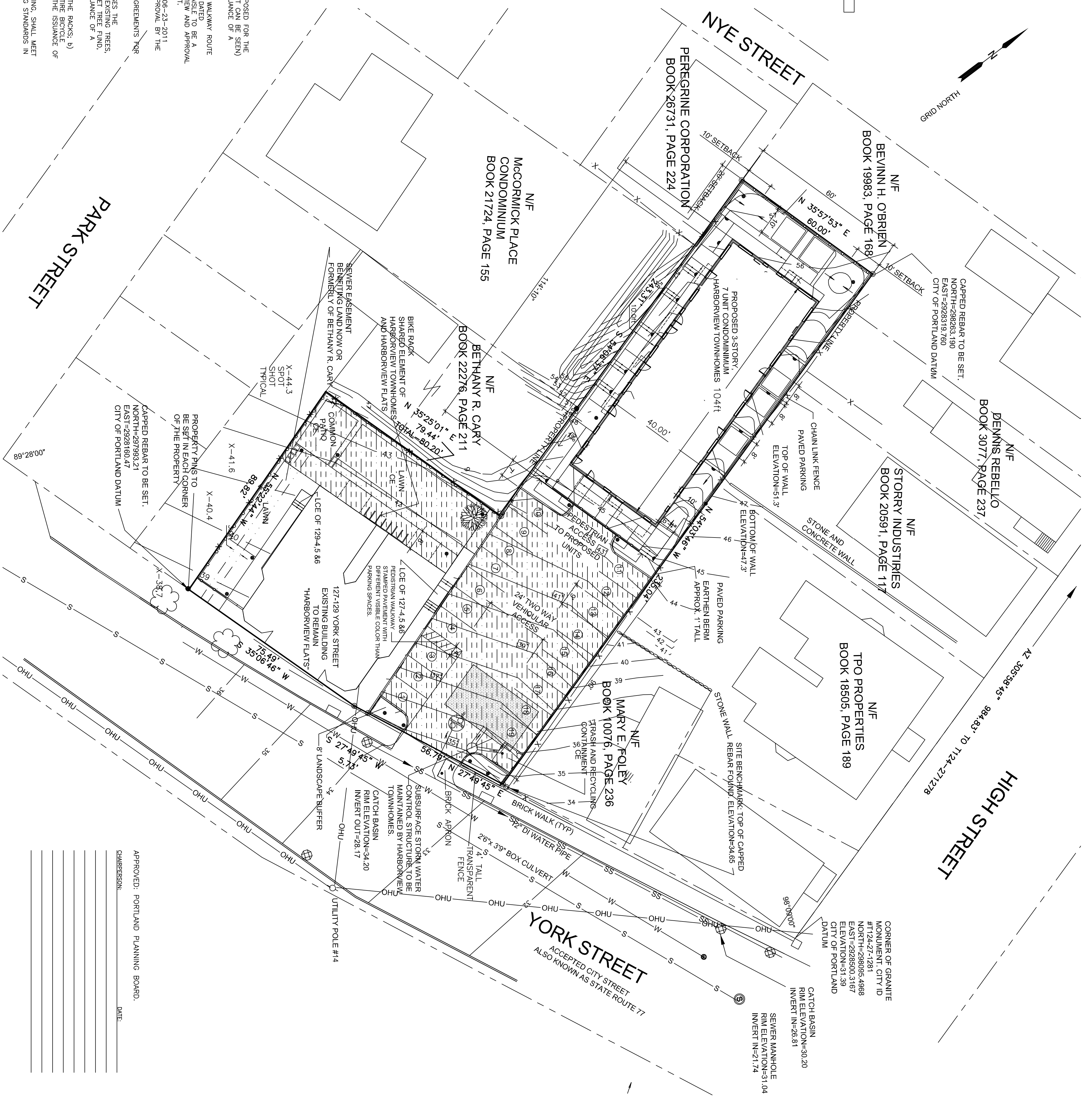


SOURCE: MAPQUEST.COM

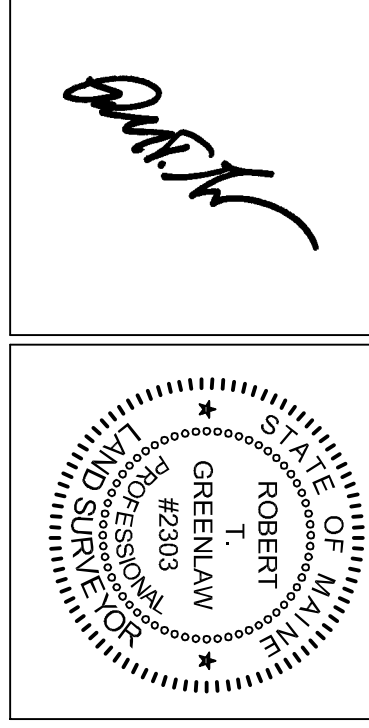
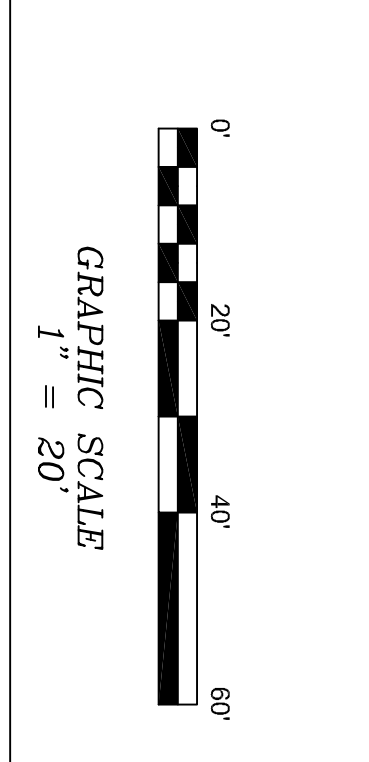


- CONDITIONS OF APPROVAL:**
1. THE APPLICANT SHALL SUBMIT AN EXAMPLE OF THE FENCE PRODUCT PROPOSED FOR THE FRONTAGE OF THE PROPERTY IDENTIFY A LOCATION IN THE AREA WHERE IT CAN BE SEEN FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 2. THE APPLICANT SHALL SUBMIT REVISED SITE PLANS TO INCORPORATE THE WALKWAY ROUTE TO BE CONSTRUCTED TO THE WALKWAY ROUTE AND TO THE WALKWAY ROUTE TO BE A STRAPPED PAVEMENT MATERIAL OF A DIFFERENT AND VISIBLE COLOR FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 3. THE APPLICANT SHALL SUBMIT REVISED DOCUMENTS THAT ADDRESS THE 08-23-2011 WOODWARD & CURRAN ENGINEERING COMMENTS FOR REVIEW AND APPROVAL BY THE PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 4. THE APPLICANT SHALL OBTAIN EASEMENT OR TEMPORARY CONSTRUCTION AGREEMENTS FOR ALL WORK OUTSIDE THE BOUNDARIES OF THE SITE.
 5. THE APPLICANT SHALL SUBMIT A REVISED LANDSCAPE PLAN THAT ADDRESSES THE 06-24-2011 CITY ARBORISTS COMMENTS IN RESPECT OF PRESERVATION OF EXISTING TREES, PLANNING DETAILS, AND 11 NEW STREET TREES/CONTRIBUTIONS TO THE STREET TREE FUND. PLANNING APPROVAL BY THE PLANNING AUTHORITY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 6. A. A DETAIL FOR THE BICYCLE PARKING THAT SHOWS: a) SPACING BETWEEN THE BIKES; b) SPACING FROM FRONT BACK TO THE WALL; AND c) DIMENSIONS FOR THE ENTIRE RANGE OF A PARKING AREA SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 7. ANY ADDITIONAL SITE LIGHTING, INCLUDING EXTERIOR WALL MOUNTED LIGHTING, SHALL MEET THE CITY'S STANDARDS AS CURRENTLY SET OUT IN SECTION 12 SITE LIGHTING STANDARDS IN THE CITY'S TECHNICAL MANUAL.
 - REVISION 1 06-30-2011: VARIOUS NOTES ADDED

REVISIONS:

REVISION 5 10-23-2011: CHANGES TO NOTES AND PLAN PER ENGINEER REVIEW.	STATE OF MAINE, CUMBERLAND SS
REVISION 4 10-14-2011: ADDED CONDITIONS OF APPROVAL.	REGISTRY OF DEEDS
REVISION 3 07-14-2011: REVISED BEARINGS AND NOTES.	RECEIVED
REVISION 2 07-01-2011: REVISED PROPOSED CONTOURS AND ADDED STORMWATER CONTROL STRUCTURE.	AT : : H : M. AND RECORDED IN PLAN BOOK PAGE
LOCATION: 127-129 YORK STREET PORTLAND, MAINE	2011

STATE OF MAINE, CUMBERLAND SS	REGISTRY OF DEEDS
RECEIVED	AT : : H : M. AND RECORDED IN PLAN BOOK PAGE
2011	



I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303

DATE: OCTOBER 22, 2011

CERTIFICATE:

APPROVED: PORTLAND PLANNING BOARD.	DATE:
CHAIRPERSON:	

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: HARBORVIEW DEVELOPMENT LLC BOOK 28350 PAGE 43 AS RECORDED IN PORTLAND, MAINE 04103.
2. BEARINGS ARE BASED UPON TWO CITY OF PORTLAND GRANITE MONUMENTS ONE OF WHICH IS SHOWN BEING THE INSIDE CORNER OF A GRANITE MONUMENT LOCATED AT THE NORTHWESTERLY STREET CORNER OF YORK AND HIGH STREETS.
3. MONUMENT LOCATED AT THE SOUTHWESTERLY STREET CORNER OF HIGH AND PLEASANT STREETS. AN IRON MONUMENT WAS UTILIZED AS A BASIS FOR THE STREETS LINE SHOWN HEREON.
4. MAINE STATE PLANE COORDINATES ARE SHOWN HEREON AS REFERENCE TO THE CITY OF PORTLAND COORDINATE SYSTEM.
5. ELEVATIONS BASED UPON THE HIGH POINT OF A GRANITE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF YORK AND HIGH STREETS. MONUMENT CITY ID #FT124-27-1281 NORTH=298095.4988 EAST=2928500.3167 ELEVATION=31.39 CITY OF PORTLAND DATUM
6. CATCH BASIN RIM ELEVATION=28.81 INVERT IN=28.17
7. CATCH BASIN RIM ELEVATION=30.20 INVERT IN=28.81
8. CORNER OF GRANITE MONUMENT CITY ID #FT124-27-1281 NORTH=298095.4988 EAST=2928500.3167 ELEVATION=31.39 CITY OF PORTLAND DATUM
9. TPO PROPERTIES BOOK 18505, PAGE 189
10. STOREY INDUSTRIES BOOK 20591, PAGE 117
11. DENNIS REBELLO BOOK 3077, PAGE 237
12. BEVINN H. O'BRIEN BOOK 19983, PAGE 168
13. CAPPED REBAR TO BE SET. NORTH=2982633.190 EAST=2928319.760 CITY OF PORTLAND DATUM
14. CHAIN LINK FENCE
15. PAVED PARKING
16. TOP OF WALL ELEVATION=51.3'
17. BOTTOM OF WALL ELEVATION=47.3'
18. EARTHEN BERM APPROX. 1' TALL
19. BRICK WALK (TYP)
20. 26" x 39" BOX CULVERT
21. 8" LANDSCAPE BUFFER
22. UTILITY POLE #14
23. SUBSURFACE STORM WATER CONTROL STRUCTURE TO BE MAINTAINED BY HARBORVIEW TOWNHOMES.
24. CATCH BASIN RIM ELEVATION=34.20 INVERT OUT=28.17
25. BRICK WALK
26. 4" TALL TRANSPARENT FENCE
27. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
28. SHARED ELEMENT OF BICYCLE PARKING AND HARBORVIEW FLATS
29. BIKE RACK
30. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
31. COMMON FUND
32. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
33. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
34. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
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48. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
49. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS
50. 127-129 YORK STREET EXISTING BUILDING TO REMAIN HARBORVIEW FLATS

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP. THE FLOOD INSURANCE RATE MAP IS AVAILABLE FROM FEMA. THE EFFECTIVE DATE OF JULY 17, 1996 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

CS @	Capped 5/8" Rebar Set	(60.00)	Distance from reference
IPF	Iron Pipe Found		With #203.
MOE	Monument Found	N/E	Now or Formerly
124	Contour Line Proposed	123456/99	Deed Book/Page of Local Registry
---	Property Line		
---	Street Line		
---	Setback Line		
---	Old Lot Line		
○	Willow Tree 24" Diameter		
○	Street Tree Maple 3" Diameter		
○	Common Element		
○	Designated Parking Space		
○	Common Element		
○	LCE - F - United Common Element-Harborview Flats Condominium		
○	LCE - TH - United Common Element- Harborview Townhomes		

SUBDIVISION PLAT

AT 127-129 YORK STREET, PORTLAND, MAINE
HARBORVIEW FLATS CONDOMINIUMS & HARBORVIEW TOWNHOMES CONDOMINIUMS

FOR: HARBORVIEW FLATS CONDOMINIUMS & HARBORVIEW TOWNHOMES CONDOMINIUMS

PREPARED BY: OCEAN PARK LAND SURVEYING LLC
134 PORTLAND AVE
OLD ORCHARD BEACH MAINE
BOBGREENLAW@FAIRPOINT.NE

DRAWN BY: RTG
CHECKED BY: MMB
SCALE: 1" = 20'
DATE OF SURVEY: 10/20/2010
JOB NUMBER: 121 YORK ST
SHEET: 2 OF 2
DRAWER: 2010 NO. 010