



PORTLAND MAINE

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Planning & Urban Development Department
Gregory A. Mitchell, Acting Director

Planning Division
Alexander Jaegerman, Director

June 14th, 2012

Jonathan Culley
Harborview Development LLC dba Redfern Properties LLC
P.O. Box 8816
Portland, Maine 04104

Project Name: Harborview Townhomes: New building comprising 7 residential units
Project ID: 2011-214
Project Address: 127 York Street (aka 121-129 York Street)

Dear Mr Culley:

I refer to recent discussions regarding the design of the 6 foot high privacy fence around three sides of the site of the proposed new building and am writing to document the current position re site plan approval.

In April, 2012 staff were made aware of the fact that the fence detail approved by the Planning Board in 2011 was inconsistent with the design theme that had been developed by the architects for the building. Although a number of alternatives to the approved fence detail appeared feasible, Soren Deniord requested that your team be given more time to develop a design that met both the aesthetic and functional objectives. For this reason we agreed to approve final plans that show the original approved detail with an accompanying note that states "*Revised privacy fence detail to be submitted for review and approval prior to CO*" (reference detail 5 on L3.0 April 16, 2012, attached).


We request that any redesign of the fence detail address the functional objectives of the site plan requirements. One of the key objectives of the fencing around the proposed parking lot is to avoid the glare from car lights from intruding into neighbors windows and to screen the vehicles as viewed from adjacent properties, and therefore the section along the east side of the parking lot would need to be solid.

We would also request that any new fence detail be attractive from both sides of the fence and achieve some screening (as implied by "privacy" fence) between the residential windows of the proposed condo building and those of the surrounding residential buildings.

I suggest that the revised detail be submitted as soon as possible to allow time for the review.

Thank you.

Sincerely,


Jean Fraser, Planner

Attachment: Final approved plans L2.0 and L3.0
Cc Applicant's team: Soren Deniord; Jamie Broadbent (by e-mail)
Planning Division: Barbara Barhydt; Phil diPierro; Jeff Tarling

Quantity	Size	Comments
10	1.5' x 1.5'	10/0
11	1.5' x 1.5'	9/8
20	1' x 1'	20' C.C.
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PLANTING NOTES

- All plant materials and installation shall be in accordance with the City of Portland Manual (Section 4).
- No planting will be installed until all grading and construction has been completed in immediate area. Contractor to verify all utilities are properly and to protect all utilities during excavation for plants.
- If there is a discrepancy between the number of plants shown on the drawings and the number of plants shown on plan will take precedence.
- All container material to be grown in container a minimum of 6 months.
- All materials shall comply with the latest edition of the American Horticultural Society Plant Material Association of New Jersey.
- Contractor shall verify all plants to properly form planting companions at no cost to the owner.
- Contractor shall guarantee new plant material through one calendar year from time of professional acceptance.
- The Landscape Architect will tag all plants at the time of installation. All plants shall be installed in accordance with the City of Portland Manual (Section 4).
- All plant materials shall be inspected by the Landscape Architect prior to installation.
- All proposed plants shall be located on a plan approved by Landscape Architect before the plants are installed.
- All detailed areas not to be planted or planted shall be shown on a plan approved by the Landscape Architect. The area shall be shown on a plan approved by the Landscape Architect. The area shall be shown on a plan approved by the Landscape Architect. The area shall be shown on a plan approved by the Landscape Architect.
- Staking and spraying shall be determined by the Landscape Architect on all trees by law. For all trees, the contractor shall be responsible for staking and spraying. If staking and spraying is required, the contractor shall provide all staking and spraying materials, and pay when at end of first growing season.
- For tree planting in lawn areas, only detailed lawn shall be turned and treated as necessary.
- Landscape Architect to tag trees to be protected on site.

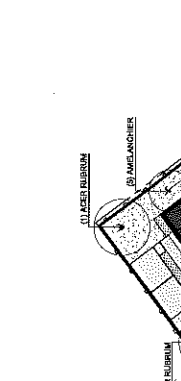


PLANT LIST

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10	1.5' x 1.5'	10/0
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SYMBOLS LEGEND

- CONCRETE PAVING
- BRICK PAVING
- ASPHALT PAVING (REFER TO CIVIL DRAWING)
- STAMPED/PAINTED ASPHALT
- TURF AND/OR GRASS COVER
- PROPOSED CONCRETE STEPS
- 8' TALL WOOD FENCE
- BICYCLE PARKING (PER SPEC)
- GRANITE CURB (DETAIL 2.13.10)

PLANT LEGEND

- EXISTING TREE
- PROPOSED Acer Rubrum sp.
- PROPOSED Acer glabrum variety
- TRIPLE GRAZE (WITH PROPOSED STREET TREES)
- LAWN
- PROPOSED MIX BRASSES (SEE PLANT LIST)

PROJECT:
121 YORK ST.
PORTLAND, ME

CLIENT:
HARDYSON DEVELOPMENT LLC
2001 17TH AVENUE
PORTLAND, ME 04106

DATE: APRIL 16, 2012

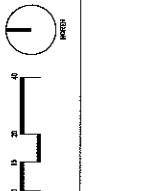
SCALE: AS NOTED

TITLE: LANDSCAPE PLAN

SHEET: L2.0

SEAN BRIDGES DESIGN STUDIO
45 MILLWOOD DR.
PORTLAND, ME 04106
503.771.8520
sean@bridgesdesign.com

as approved re site Plan



as approved re site plan

