

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number 051134 2005
SEP 13 2005

CITY OF PORTLAND

This is to certify that City Of Portland/Herbert Construction, Inc.
 has permission to Electrical backboard enclosure 27' 8" x Metal building to house electrical backboards
 AT 454 Commercial St Portland, OR 97204 043 D005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is labeled or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Cass PF1 9-13-05
 Health Dept. _____
 Appeal Board _____
 Other _____

Department Name

[Signature]
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-174	Issue Date: SEP 13 2005	City: 043 D005001
Owner Address: 389 Congress St		Phone:
Contractor Address: 9 Gould Road Lewiston		Phone: 2077832091

Location of Construction: 454 Commercial St	Owner Name: City Of Portland
Business Name:	Contractor Name: Herbert Construction, LLC
Lessee/Buyer's Name	Phone:

Permit Fee: \$1,218.00	Cost of Work: \$133,000.00	CEO District: 2
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(Past Use:

Proposed Use:
Commercial/ Electrical backboard enclosure/ 27' 8" x 10' Metal building to house electrical backboards

FIRE DEPT: Approved Denied

INSPECTION:
Use Group: Type: *2B*

Signature: *[Signature]*

Proposed Project Description:
Electrical backboard enclosure/ 27' 8" x 10' Metal building to house electrical backboards

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: Date:

Idobson	08/16/2005	Zoning Approval		
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<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>NA</i></p> <p><input type="checkbox"/> Wetland</p> <p><input checked="" type="checkbox"/> Flood Zone <i>Panel 13-AZ el 10</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>Exemption Applied for</i></p> <p>Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>8/31/05</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmar</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1 174	Date Applied For: 08/16/2005	CBL: 043 D005001
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Location of Construction: 454 Commercial St	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone:
Business Name:	Contractor Name: Herbert Construction, LLC	Contractor Address: 9 Gould Road Lewiston	Phone (207) 783-209 1
Applicant/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial/Electrical backboard enclosure/ 27' 8" x 10' Metal building to house electrical backboards	Proposed Project Description: Electrical backboard enclosure/ 27' 8" x 10' Metal building to house electrical backboards
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/31/2005
Note: 08/24/05 talked to Tim Hebert - no real site plan has been submitted - requested one - also requires a site plan **Ok to Issue:**
review or exemption from it - in my hold area
8/31/05 received site plan
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 09/09/2005
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 09/06/2005
Note: **Ok to Issue:**
1) Mean of access require 20 foot fire lane all sides
2) building construction to comply with NFPA 101

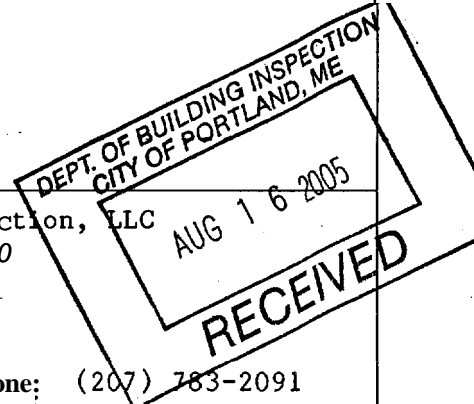
Comments:
9/6/2005-gg: received granted site plan exemption. /gg



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address		
Total Square Footage of Proposed Structure 280 SF		Square Footage of Lot
Assessor's Chart, Block & Lot Chart# Block# Lot# <u>3</u> <u>1</u> <u>5</u>	Owner: City of Portland Dept. of Ports & Transportation Carl Anderson	Telephone: 207-756-8315
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: Timothy Hebert Hebert Construction, LLC 9 Gould Road Lewiston, ME 04240	Cost Of Work: \$ 133,000.00 Fee: \$1,218.00 <i>2000 / 218.00</i>
Current specific use: <u>Exposed Electrical Backboard</u>		
Proposed Specific use: <u>Electrical Backboard Enclosure Building;</u>		
Project description: Construct a 27'-8" x 10'-0" metal building to house existing electrical backboards		
Contractor's name, address & telephone: Timothy Hebert Hebert Construction, LLC 9 Gould Road, Lewiston, ME 04240 Whom should we contact when the permit is ready: Tim Hebert (207) 783-2091 Mailing address: Hebert Construction, LLC 9 Gould Road Lewiston, ME 04240 phone: (207) 783-2091		



Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Timothy R. Hebert</i>	Date: <i>8/16/05</i>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Consultant/Agent/Phone Number 212-2176

Address of Proposed Site

CBL: ~~043-11-00~~ 043-11-00

Description of Proposed Development:

close Extended structure 10' x 27' 8"

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

a) Within Existing Structures; No New Buildings, Demolitions or Additions

Applicant's Assessment
(Yes, No, N/A)

No, N/A, No

b) Footprint Increase Less Than 500 Sq. Ft.

yes

c) No New Curb Cuts, Driveways, Parking Areas

yes

d) Curbs and Sidewalks in Sound Condition/Comply with ADA

No

e) No Additional Parking/ No Traffic Increase

No

f) No Stormwater Problems

yes

g) Sufficient Property Screening

yes

h) Adequate Utilities

Planning Office Use Only

Planning Division Use Only

Exemption Granted

Partial Exemption

Exemption Denied

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
SEP - 2 2005
RECEIVED

SEP - 2 2005
RECEIVED

Planner's Signature

[Handwritten Signature]

Date

8/31/05

White - Planning Office

Pink - Inspections

Yellow - Applicant



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Development
Division of Inspections Services

FROM: MAGUIRE GROUP INC.

RE: Certificate of Design

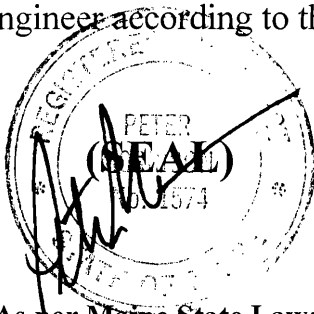
DATE: OCTOBER 28, 2005

These plans and / or specifications covering construction work on:

Electrical Panel Enclosure Building

Commercial Street, Portland, ME 04101

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature: 
Peter Morrision, AIA

Title: Senior Vice President

Firm: Maguire Group Inc.

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Address: 400 Commercial Street
Portland, ME 04101



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: Maguire Group Inc.


Address of Project: Commercial Street, Portland, ME

Nature of Project: Electrical Panel Enclosure Building

Portland International Marine Terminal

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 
Peter Morrison, AIA

Title: Senior Vice President

Firm: Maguire Group Inc.

Address: 400 Commercial Street

Portland, ME 04101

Phone: 207-761-1588

FROM DESIGNER: Maguire Group Inc.
 DATE: October 28, 2005
 Job Name: Electrical Panel Enclosure Bldg., International Marine Terminal
 Address of Construction: Commercial Street, Portland, ME

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) No

Type of Construction Pre-engineered Metal Building

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No if yes, separated or non separated (see Section 302.3) _____

Supervisory alarm system? No Geotechnical/Soils report required?(See Section 1802.2) No

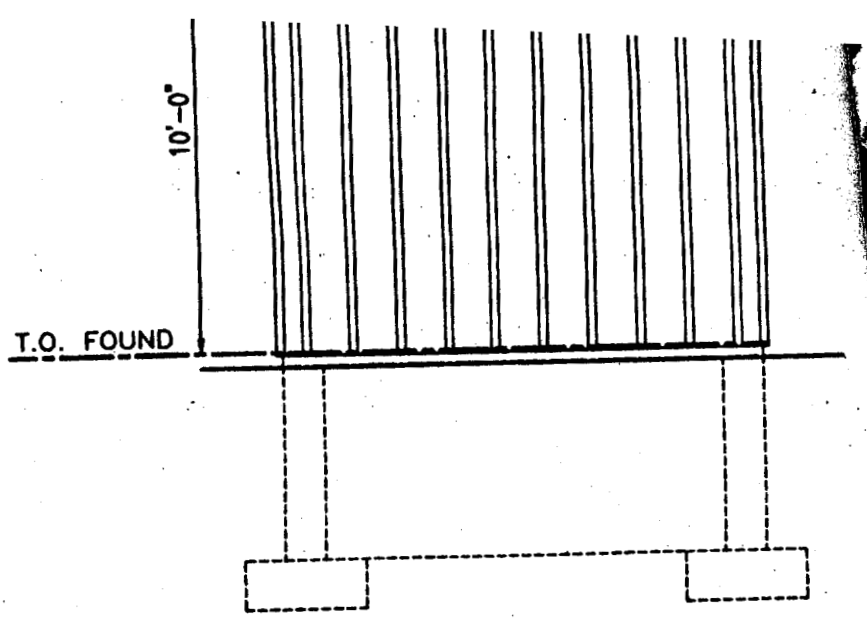
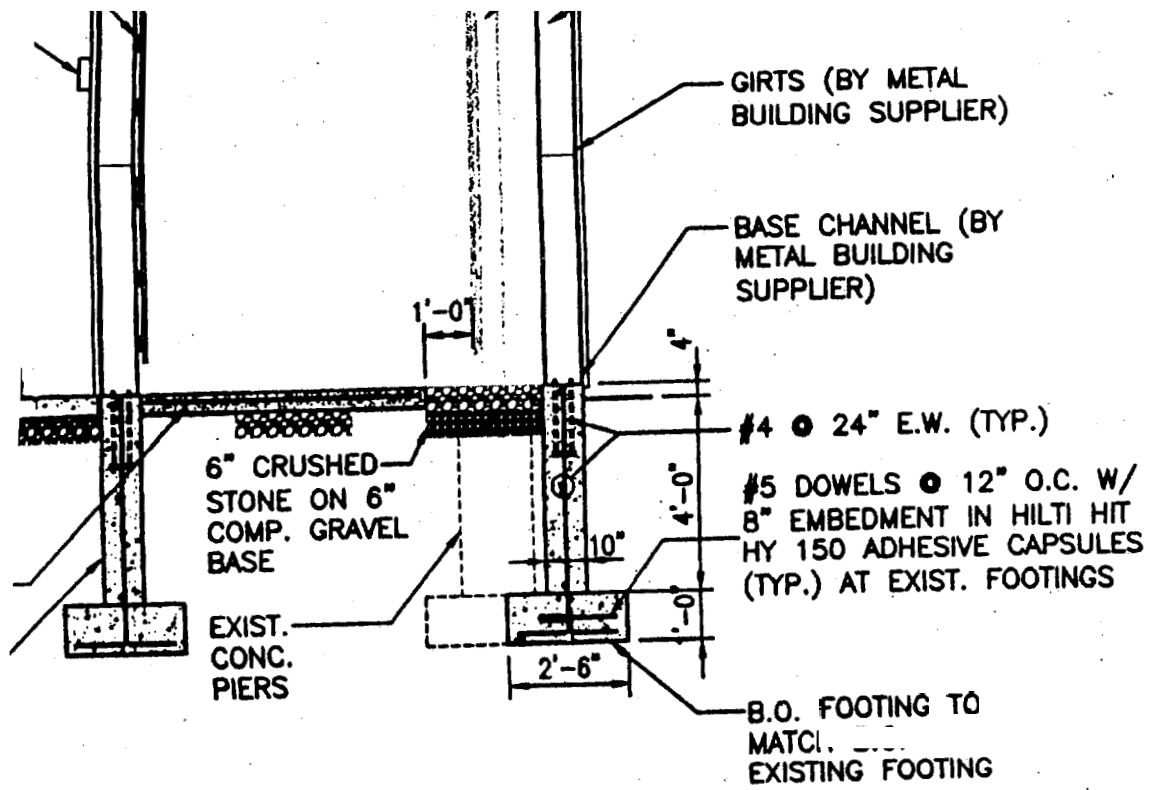
STRUCTURAL DESIGN CALCULATIONS		<u>N/A</u>	Live load reduction (1603.1.1, 1607.9, 1607.10)
_____ Submitted for all structural members (106.1, 106.1.1)		<u>20 psf</u>	Roof live loads (1603.1.2, 1607.11)
DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)			Roof snow loads (7603.7.3, 1608)
Uniformly distributed floor live loads (7603.11, 1607)		<u>50 psf</u>	Ground snow load, P_g (1608.2)
Floor Area Use	Loads Shown	<u>42 psf</u>	If $P_g > 10$ psf, flat-roof snow load, P_f (1608.3)
<u>Electrical Enclosure</u>	<u>125 psf</u>	<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e (Table 1608.3.1)
_____	_____	<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_s (Table 1604.5)
_____	_____	<u>1.2</u>	Roof thermal factor, C_t (Table 1608.3.2)
_____	_____	<u>N/A</u>	Sloped roof snowload, P_s (1608.4)
Wind loads (1603.1.4, 1609)		<u>C</u>	Seismic design category (1616.3)
<u>ASCE 7</u>	Design option utilized (1609.1.1, 1609.6)	<u>8</u>	Basic seismic-force-resisting system (Table 1617.6.2)
<u>100 mph</u>	Basic wind speed (1809.3)	<u>R=3</u>	Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)
<u>1.0</u>	Building category and wind importance factor, I_w (Table 1604.5, 1609.5)	<u>C_d=3</u>	Equivalent Lateral Force Procedure Analysis procedure (1616.6, 1617.5)
<u>C</u>	Wind exposure category (1609.4)	<u>0.22 kips</u>	Design base shear (1617.4, 1617.5.1)
<u>±0.18</u>	Internal pressure coefficient (ASCE 7)	Flood loads (1603.1.6, 1612)	
see attached	Component and cladding pressures (1609.1.1, 1609.6.2.2)	<u>100 year</u>	Flood hazard area (1612.3)
see attached	Main force wind pressures (7603.1.1, 1609.6.2.1)	<u>U.K.</u>	Elevation of structure
Earthquake design data (1603.1.5, 1614-1623) Simplified Analysis Procedure		Other loads	
_____ Design option utilized (1614.1)		<u>2000 lb.</u>	Concentrated loads (1607.4)
<u>II</u>	Seismic use group ("Category") (Table 1604.5, 1616.2)	<u>N/A</u>	Partition loads (1607.5)
<u>S_{DS}=0.35</u>	Spectral response coefficients, S_{DS} & S_{D1} (1615.1)	<u>N/A</u>	Impact loads (1607.8)
<u>S_{D1}=0.16</u>		<u>N/A</u>	Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)
<u>D</u>	Site class (1615.1.5)		

Building components and cladding wind pressures:

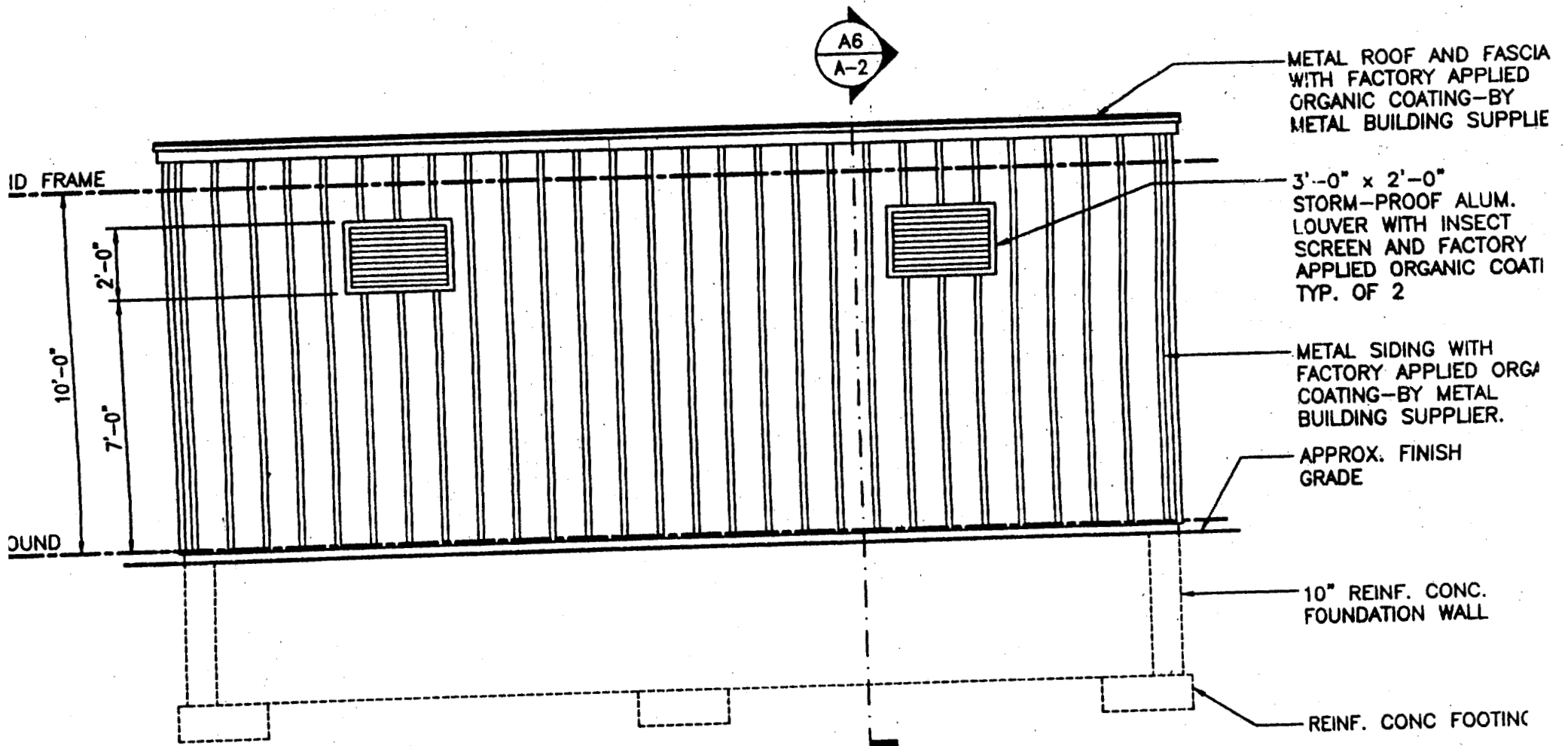
Zone		P (psf)	
		windward	leeward
1	roof	8.27	-23.50
2	roof edge	9.96	-39.70
3	roof corner	10.44	-64.84
4	wall	24.48	-26.65
5	wall edge	25.41	-33.85

Main force wind pressures:

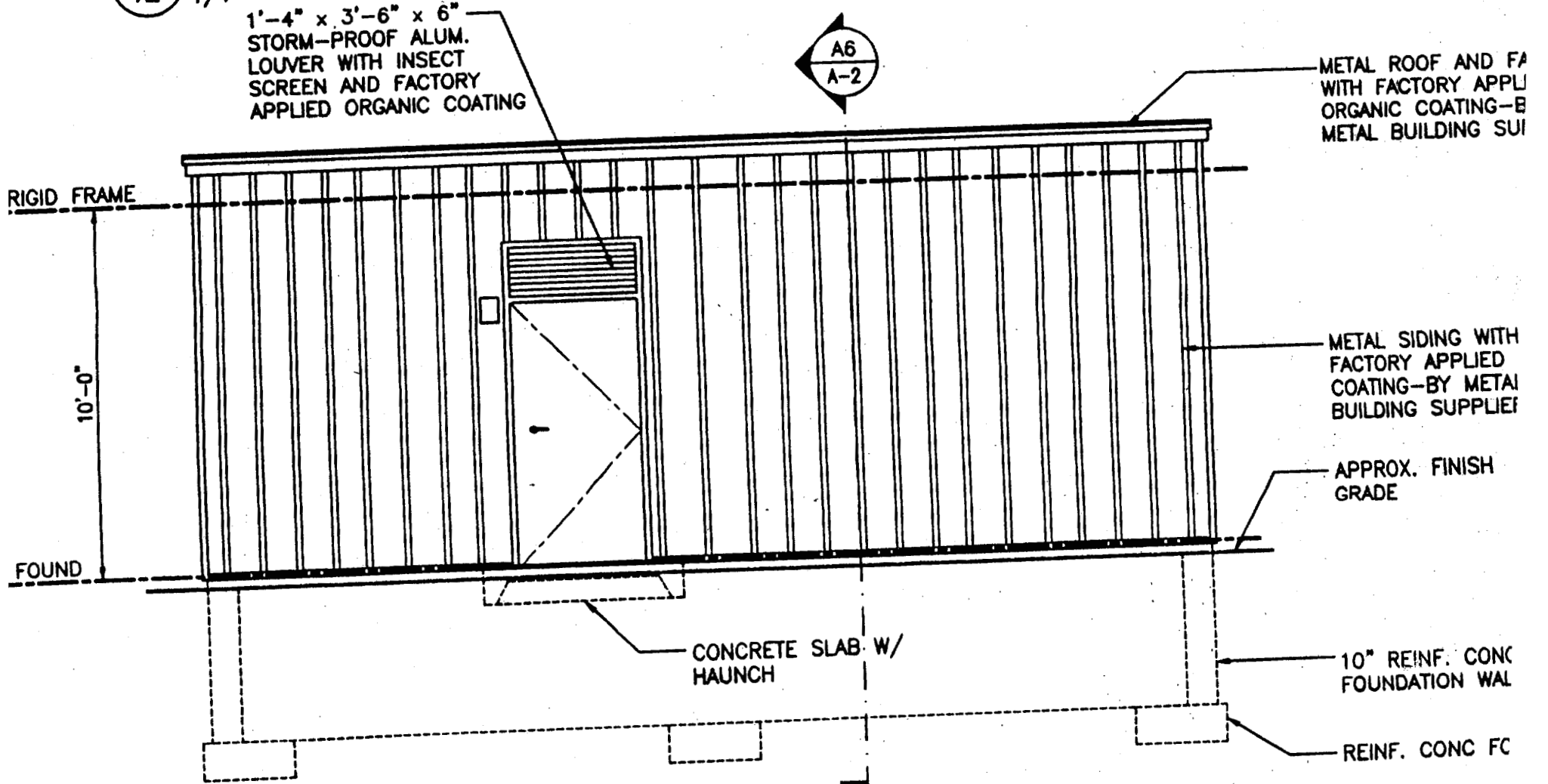
Windward Wall 16.5 psf
Leeward Wall -11.6 psf
Windward Roof -24.8 psf, +0.4 psf
Leeward Roof -14.9 psf



7 NORTH & SOUTH ELEVATION
 A2 1/4" = 1'-0"



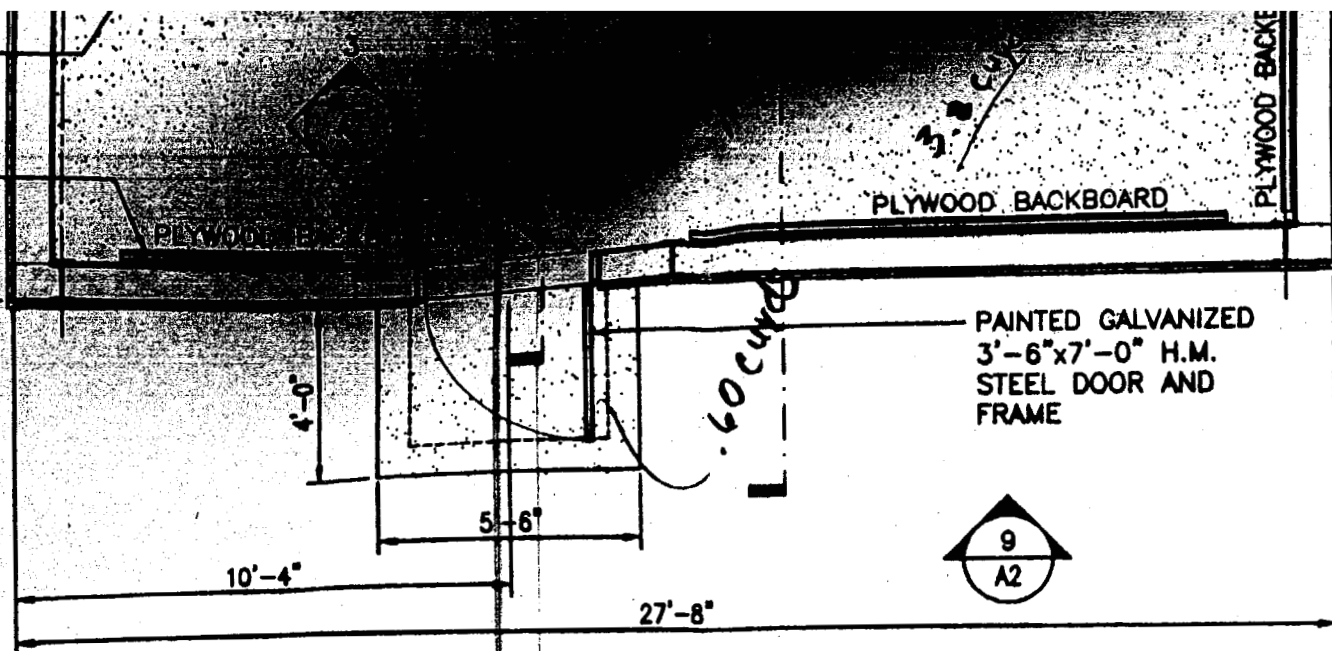
8 WEST ELEVATION
 A2 1/4" = 1'-0"



9 EAST ELEVATION

ELECTRICAL PANELS,
BACKBOARD AND
POSTS TO REMAIN

PLYWOOD
BACKBOARD
PANELS, TYP., SEE
ELEC. DWG.

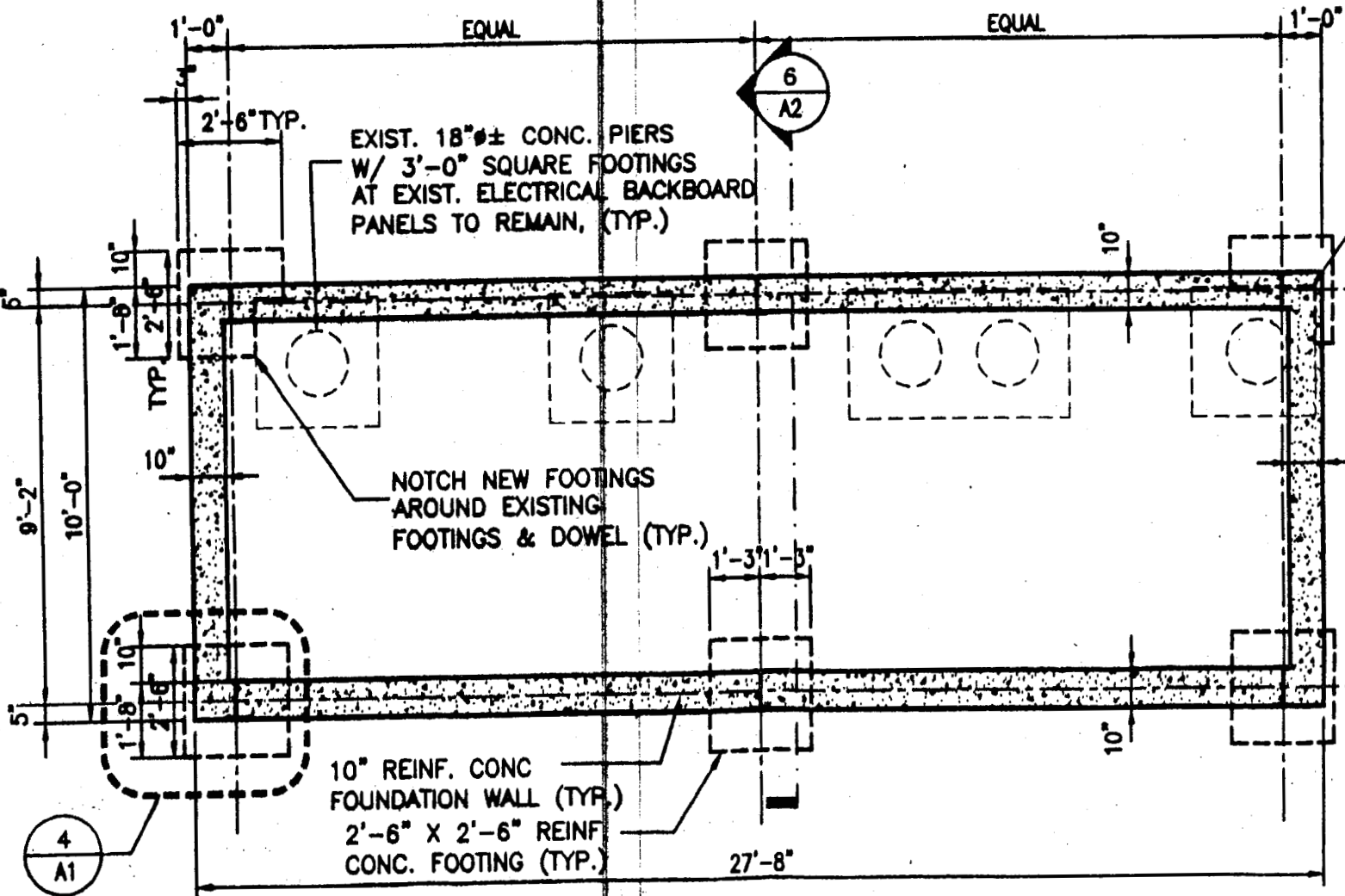


5'-0"
MIN.

EXIST. TRANSFORMER AND
CONC. PAD TO REMAIN
(APPROXIMATE LOCATION)
SEE ELEC. DWG.

TO-
REMAIN. PROTECT
DURING DEMOLITION
AND CONSTRUCTION
OPERATIONS.

2 PLAN-NEW ELEC. PANEL BUILDING ENCLOSURE
A2 1/4" = 1'-0"



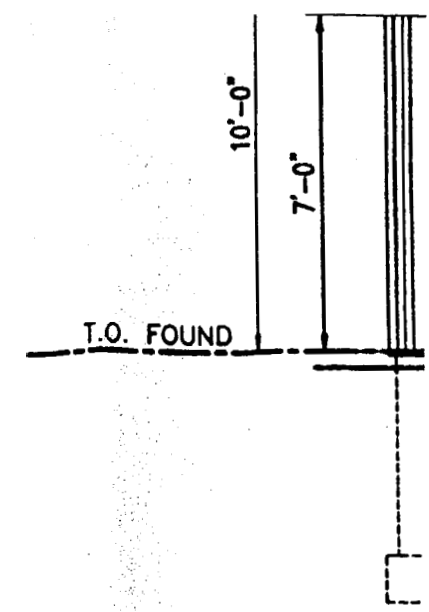
NOTE:
CONTRACTOR SHALL PROVIDE SLEEVES
THROUGH NEW FOUNDATION WALLS
AT ALL EXISTING ELECTRICAL CONDUITS.
SLEEVES SHALL ALLOW FOR A MINIMUM
1" CLEAR AROUND CONDUITS.

BOTTOM OF NEW FOOTINGS TO
MATCH BOTTOM OF EXISTING
FOOTINGS. PROVIDE #5 DOWELS
● 12" O.C. DRILLED & GROUTED
INTO EXISTING FOOTINGS (TYP.)

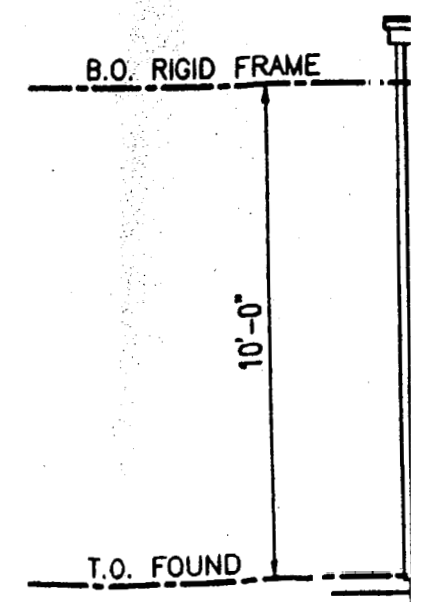
EXIST. TRANSFORMER AND
CONC. PAD TO REMAIN
(APPROXIMATE LOCATION)
SEE ELEC. DWG.

EXIST. BOLLARDS TO
REMAIN. PROTECT
DURING DEMOLITION
AND CONSTRUCTION
OPERATIONS.

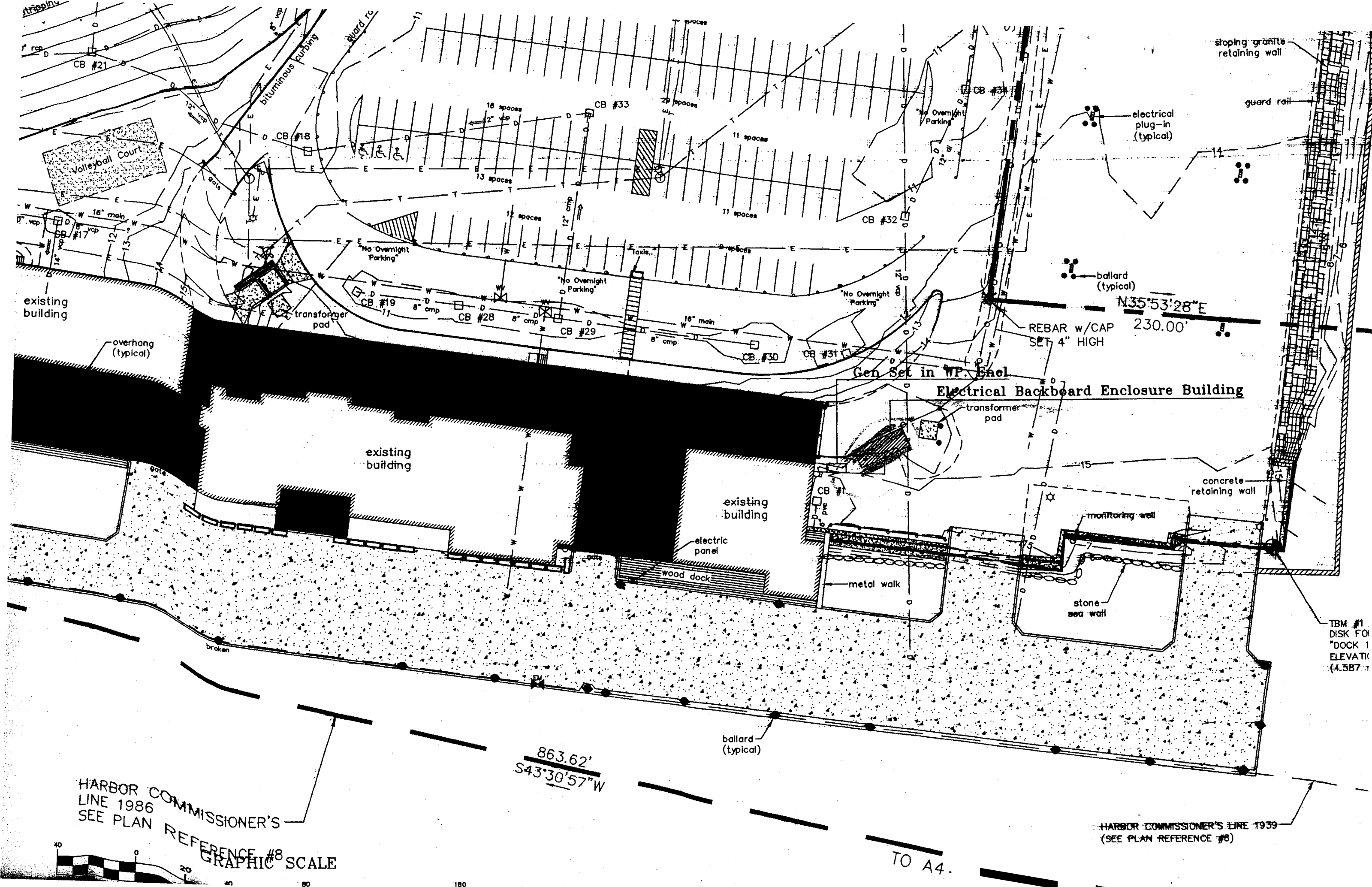
1 FOUNDATION PLAN-NEW ELEC. PANEL BUILDING ENCLOSURE
A2 1/4" = 1'-0"



8 V
A2 1"



9
A2



HARBOR COMMISSIONER'S
 LINE 1986
 SEE PLAN REFERENCE #8
 GRAPHIC SCALE

HARBOR COMMISSIONER'S LINE 1939
 (SEE PLAN REFERENCE #8)

TBM #1
 DISK FOR
 "DOCK 1"
 ELEVATION
 (4.587)

TO A4.



PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation	
Street subdivision Lot #	

PROPERTY OWNERS NAME

Last: _____ First: _____

Applicant Name: Pullen Bios Inc.

Mailing Address of Owner/Applicant (if Different): 10 Howe St Bangor Maine

Date Permit Issued: 3/18/06 \$ 1110.00 If Double Fee Charged

Local Plumbing Inspector Signature: [Signature] L.P.I. # 0690

43 D 005

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Signature of Owner/Applicant

Date

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

- NEW PLUMBING
- RELOCATED PLUMBING

Type of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY VERTICAL

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # _____

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p> <p>OR</p> <p>TRANSFER FEE [\$6.00]</p>		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
<p>SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE</p>				Fixtures (Subtotal) Column 2
			4	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)



CITY OF PORTLAND, MAINE

Department of Building Inspections

_____ 20_____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ____ Plumbing (I5) ____ Electrical (I2) ____ Site Plan (U2) ____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy