

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT ISSUED

PERMIT

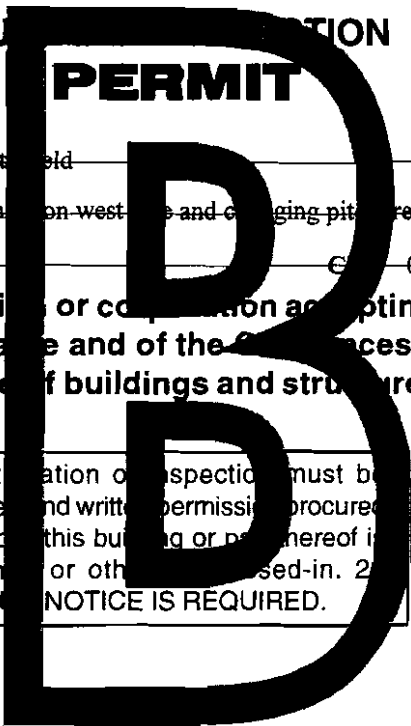
Permit Number: 101432

JAN 4 1999

Please Read Application And Notes, If Any, Attached

This is to certify that VALCOURT PETER/Carl Lit old
has permission to Replace roof - removing dormer on west side and changing pitch remodel/repair 1st & 2nd floors & finish base
AT 194 YORK ST City of Portland
E 043 B003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT R. Santner
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1432	Issue Date:	CBL: 043 B003001
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Location of Construction: 194 YORK ST	Owner Name: VALCOURT PETER	Owner Address: 7 ARLINGTON PLACE	Phone: 207-469-8494
Business Name:	Contractor Name: Carl Littefield	Contractor Address: 79 Town Farm Road Buxton	Phone: 2079296040
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - Replace roof - removing dormers on west side and changing pitch, remodel/repair 1st & 2nd floors & finish basement	Permit Fee: \$670.00	Cost of Work: \$65,000.00	CEO District: 2	(19804)
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB		

Proposed Project Description:
Replace roof - removing dormers on west side and changing pitch, remodel/repair 1st & 2nd floors & finish basement

Signature: *RC*
Signature: *[Handwritten Signature]*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 11/16/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan

Maj Minor MM

OK w/ conditions.
Date: 11/19/10 *ASU*

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Date: _____

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review
 Approved
 Approved w/Conditions
 Denied

Date: *Jan*

PERMIT ISSUED

JAN 4 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1432	Date Applied For: 11/16/2010	CBL: 043 B003001
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Location of Construction: 194 YORK ST	Owner Name: VALCOURT PETER	Owner Address: 7 ARLINGTON PLACE	Phone: 207-469-8494
Business Name:	Contractor Name: Carl Littefield	Contractor Address: 79 Town Farm Road Buxton	Phone: (207) 929-6040
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Replace roof - removing dormers on west side and changing pitch, remodel/repair 1st & 2nd floors & finish basement	Proposed Project Description: Replace roof - removing dormers on west side and changing pitch, remodel/repair 1st & 2nd floors & finish basement
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 11/18/2010
Note: Part of the original application was to add an apartment in the basement. Zoning did not allow a second unit, **Ok to Issue:**
 so the project description has been changed. See email received 11/18/10.

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jonathan Rioux **Approval Date:** 01/03/2011
Note: **Ok to Issue:**

- 2) This property was posted-against-occupancy and shall remain vacant until authorized by the City, see attached letter. A separate electrical permit is required for installation and modifications to the existing electrical system. When installation has conformed with the City's Electrical Code to the satisfaction of the inspector, the red tag will be removed from the electrical service.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, and on every level. A Carbon Monoxide Detector hardwired with battery backup shall be installed in each area giving access to bedrooms.
- 4) A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers.
- 5) Energy Efficiency (N1101.2.1) "R-Factors of Walls, Floors, Ceilings, Building Envelope must be submitted to this Office prior to close-in or backfill.
- 6) Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
- 7) Fastener schedule per the IRC 2003
- 8) The attic scuttle opening must be 22" x 30".
- 9) The existing building shall be inspected for adequate fasteners and bearing for spans, and modifications may be required.
- 10) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office. **JAN 4 2010**
- 11) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

PERMIT ISSUED
City of Portland

Dept: Fire **Status:** Approved **Reviewer:** Capt Keith Gautreau **Approval Date:** 01/11/2011
Note: This renovation will not require residential sprinklers. **Ok to Issue:**
 Capt. Gautreau

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Business Name:	Contractor Name: Carl Littefield	Contractor Address: 79 Town Farm Road Buxton	Phone: (207) 929-6040
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Comments:

11/18/2010-amachado: Spoke to Peter Valcort.

-Need right, title & interest

-Can't add second unit - doesn't have land area per dwelling unit

-Need floor plans that show existing conditions & proposed changes (unclear)

-Need cross section of existing roof configuration.

He will submit required information & will change project description to not add a unit in the basement.

12/20/2010-jrioux: Info. needed: attic access, cross section to include main girder/ lally columns, flr. Framing, stair detail, headroom, egress windows, and CO/ smk. Detectors. and truss specs.

1/4/2011-jrioux: Owner stated windows are "already egress" in bedrooms.

PERMIT ISSUED

JAN 4 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

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LITTLEFIELD CONSTRUCTION

79 Town Farm Road
Buxton, Maine 04093

Office: 207-929-6040
Fax: 207-929-8610

FAX COVER SHEET

Date: 12-23-10 Number of Pages: 3
To: JOHN Rioux From: Carl Littlefield
Company: _____ Littlefield Construction
Office: _____ Office: 207-929-6040
Fax: 874-8716 Fax: 207-929-8610

NOTES: RE: PETER VALCOURT
194 York Street
Portland ME

F. UNTRUCK

V. M. V.

Job: (HNCY7818) / ST1A

THIS DWG. PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x8 SPF 2100-1.8E T2, T3 2x8 SPF #142;
 Bot chord 2x8 SPF 2100-1.8E
 Webs 2x4 SPF #142
 JJ Sider 2x4 SPF #142; BLOCK LENGTH = 2.362'
 RL Sider 2x4 SPF #142; BLOCK LENGTH = 2.362'

Special loads
 — (Load/Fac. = 1.15 / Plate Dir. Fac. = 1.15)
 TC - From 108 psf at 0.00 to 108 psf at 17.00
 TB - From 108 psf at 17.00 to 108 psf at 34.00
 BC - From 20 psf at 0.00 to 20 psf at 11.15
 CC - From 20 psf at 11.15 to 20 psf at 22.35
 BC - From 20 psf at 22.35 to 20 psf at 34.00

MAX CSI: TC = 0.88, BC = 0.78, WEBS = 0.78.

Wind reactions based on MWFRS pressures.

60 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT B, EXP C, wind TC DL = 1.2 psf, wind BC DL = 0.2 psf.

Left and right endbraces are not exposed to wind

Calculated horizontal deflection is 0.23" due to live load and 0.20" due to dead load.

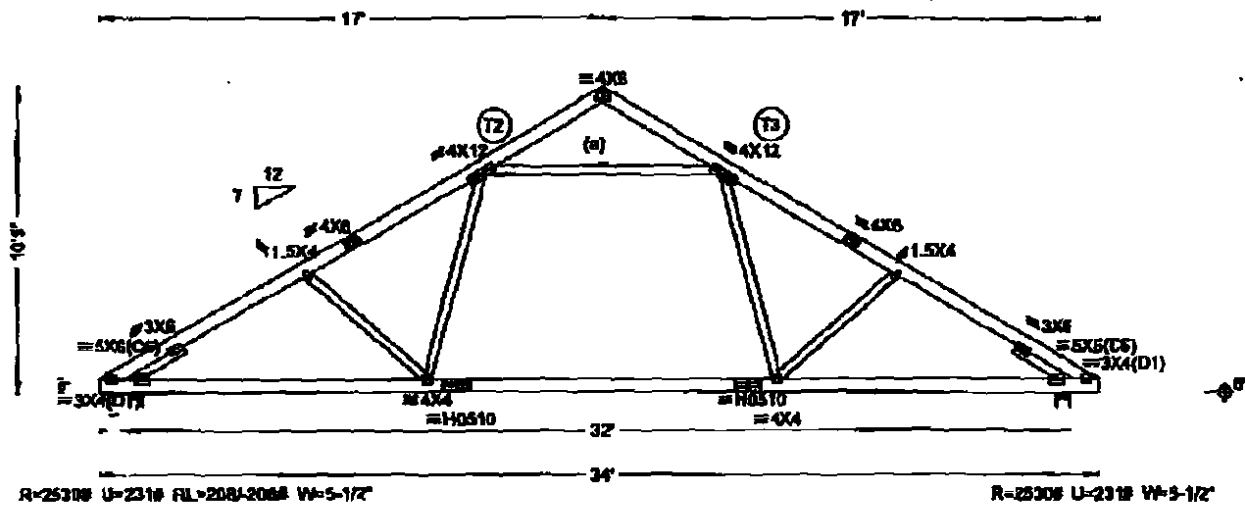
(a) Continuous lateral bracing equally spaced on members.


Bottom chord checked for 10.00 psf non-uniform bottom chord live load applied per IRC-09 section 301.6.

Calculated vertical deflection is 0.08" due to live load at X = 24'-0" and 0.15" due to total load at X = 24'-0". UTRAO RW and UTRSD HSD load.

Deflection meets L240 live and L180 total load. Check increase factor for dead load is 1.20.

Truss designed for unbalanced snow load based on Pg-60.08 psf, Cd=1.10, Ce=1.00, CAT B & Pt-46.20 psf.



PLT. TYP. NAME	QUANTITY - 14 TOTAL = 14	REV. 10.02.02.1014.22	SEQ = 140471 SCALE = 0.1675
 <p>Aradstock Trusses Inc. Engineered Roof and Floor Trusses P.O. Box 348 Princeton, Mo. 64788 Ph 207-768-5857 or 877-287-8777 Fax 207-768-5838 aradstocktrusses.com</p>	<p>WARNING: READ AND FOLLOW ALL NOTES ON THIS DRAWING IMPORTANT: FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLER.</p> <p>Truss fabricator assumes care in fabricating, handling, shipping, handling, maintaining, storing and lifting the final gables of steel building components. It is the responsibility of the contractor to verify the truss design and follow the final gables of steel building components. It is the responsibility of the contractor to verify the truss design and follow the final gables of steel building components. It is the responsibility of the contractor to verify the truss design and follow the final gables of steel building components.</p> <p>The Building Components Group Inc. shall not be responsible for any deviations from the drawings, any claims to hold the truss manufacturer with AIA/IBCF, or for handling, shipping, installation & handling of trusses.</p> <p>A seal on the drawing of truss design shall be the responsibility of professional engineering responsibility only on the drawings. The seal and use of this drawing for any structure is the responsibility of the fabricator per AIA/IBCF 5.0a.2.</p> <p>For more information on this job's general program and these conditions: (IBCF) www.ibcf.org WFC: www.wfc.org WCA: www.wca.org ICC: www.iccb.org</p>	<p>TC LL 48.0psf TC DL 7.0psf BC DL 10.0psf BC LL 0.0psf TOTLD. 63.0psf</p> <p>DUR.FAC. 1.15 SPACING 24.0'</p>	<p>REF DATE 10-20-2010 DRWS CJA LEN. 24 JOB #: HNCY7818 TYPE COMM</p>



commercial

Telephone (207) 929 - 6040

Franklin

LITTLEFIELD CONSTRUCTION

79 Town Farm Road
Buxton, Maine 04093



residential

Fax (207) 929 - 8610

12-23-2010

RE: Peter Valcourt Project
194 York Street
Portland, Maine

Outline of Project:

- **Replace rotten wood on daylight (as needed)**
- **Update Plumbing**
- **Update Heating (as needed)**
- **New Bathroom**
- **New electrical**

If you have any question, please feel free to contact us: 207-929-6040 (office)
207-286-6562 (Carl's Cell)

Thank you,

Carl Littlefield
Littlefield Construction

Job: (HNCY791B) / ST 1G

Top chord 2x8 SPF 2100-1.8E, T2, T3 2x6 SPF #1WR2
Bot chord 2x8 SPF 2100-1.8E
Webbs 2x4 SPF #1W2

Special loads

—(Lumber Dur.Fac.= 1.15 / Plyb Dur.Fac.= 1.15)
TC-From 108 psf at 0.00 to 108 psf at 17.00
TC-From 108 psf at 17.00 to 189 psf at 34.00
BC-From 28 psf at 0.00 to 29 psf at 11.55
BC-From 28 psf at 11.55 to 29 psf at 22.85
BC-From 28 psf at 22.85 to 29 psf at 34.80

MAX CE: TC = 0.04, BC = 0.08, WEBS = 0.00.

Wind conditions based on NEAFRS premises.

Truss designed for unsharpened snow load based on P_g=80.00 psf, C_w=1.0, C_e=1.00, CAT II & P=88.20 psf.

THIS ONE PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY LITTLEFIELD.

All plates are 1.5X4 except as noted.

80 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED Mfg, Located anywhere in roof, CAT II, EXP C, Wind TC DL=1.2 psf, Wind BC DL=4.2 psf.

End verticals not exposed to wind pressure.

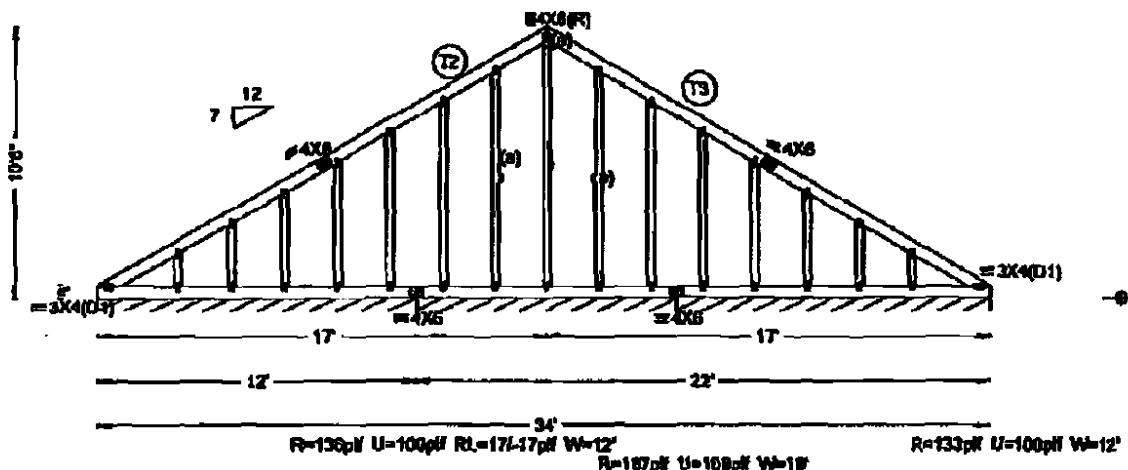
See DWGS A10018050108, G0111211108, & G0120501108 for more requirements.

(a) Continuous lateral bracing equally spaced on members.

Members sized checked for 10.00 psf non-concentrated uniform chord line load applied per IRC-09 section 301.5.

Calculated vertical deflection in CLIP due to live load at X = 33.3-ft and 0.00" due to total load at X = 33.3-ft, L/240 live and L/180 total load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



PLT. TYP. -NAIVE

SECTION ONE - DIMENSIONS AND FINISHES

QTY= 2 TOTAL= 2

REV. 10.02.1014.22

SEQ = 146480
SCALE = 0.1667

ArrowTruss Inc.
Engineered Roof and Floor Trusses
P.O. Box 588 Presque Isle, Me. 04769
PH 207-762-2817 or 477-281-6777
Fax 207-762-5818
www.arrowtrusses.com

WARNING! READ AND FOLLOW ALL NOTES ON THIS DRAWING
"IMPORTANT" - FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

Trusses are to be used in accordance with the following: handling, shipping, installing and bracing. Refer to and follow the latest edition of ICC's Building Code and other applicable codes, by TPI and WPCA for the building jurisdiction prior to performing these functions. Installers shall provide temporary bracing per ICC. Lifting and erection, by certified crew, properly address structural shoring and installation of level form as properly detailed on drawings. Contractor shall be responsible for providing lateral bracing of webbs shall have bracing installed per ICC's section 61.2.2 or 61.2.3, as applicable. Apply plates to each top of truss and bottom as shown above and to the Joint Details, unless noted otherwise. Refer to drawings 108A-2 for standard plate positions.

Truss Building Components Group Inc. shall be responsible for any deviation from this drawing, any failure to build the truss in accordance with 108B-1, 1, or 2 for handling, shipping, installation & bracing of trusses.

A system is hereby created as shown upon this drawing, including complete set of technical drawings, responsibility shall be for design thereof. The safety and life of the structure is the responsibility of the Building Designer per ANSI/TPI 1 2013.

For more information see 888-888-8888 (toll free) or visit our website: www.truss.com

TRUSSCO: www.truss.com TPI: www.tpi.com WPCA: www.wpcainc.com ICC: www.iccsafe.org

TC LL	48.0psf
TC DL	7.0psf
BC DL	10.0psf
BC LL	0.0psf
TOT.LD.	63.0psf
DUR.FAC.	1.15
SPACING	24.0"

REF	
DATE	12-20-2010
DRWG	
C/A LEN.	34
JOB #:	HNCY791B
TYPE	GABL



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>194 York St Portland ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>1980</u>	Square Footage of Lot <u>1960</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>043 B003 001</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Peter Valcourt</u> Address <u>7 Arlington Pl.</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>(207) 469-8494</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>65,000</u> C of O Fee: \$ <u>670.00</u> Total Fee: \$ <u>670.00</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Single Family</u> Proposed Specific use: <u>2 unit</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Replace old roof; remodel/repair floor 1 and 2; Finish Basement, to include</u> <u>additional unit. see email received 11/18/10.</u>		
Contractor's name: <u>Carl Littlefield</u> Address: <u>79 Town Farm Rd</u> City, State & Zip: <u>Buxton Maine 04093</u> Telephone: <u>(207) 929-6040</u> Who should we contact when the permit is ready: <u>Carl Littlefield</u> Telephone: _____ Mailing address: <u>-above-</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
NOV 16 2010

Signature: Peter Valcourt / A. Jalimura Date: 11-2-2010

This is not a permit; you may not commence ANY work until the permit is issued by the City of Portland, Maine

RECEIVED

NOV 18 2010

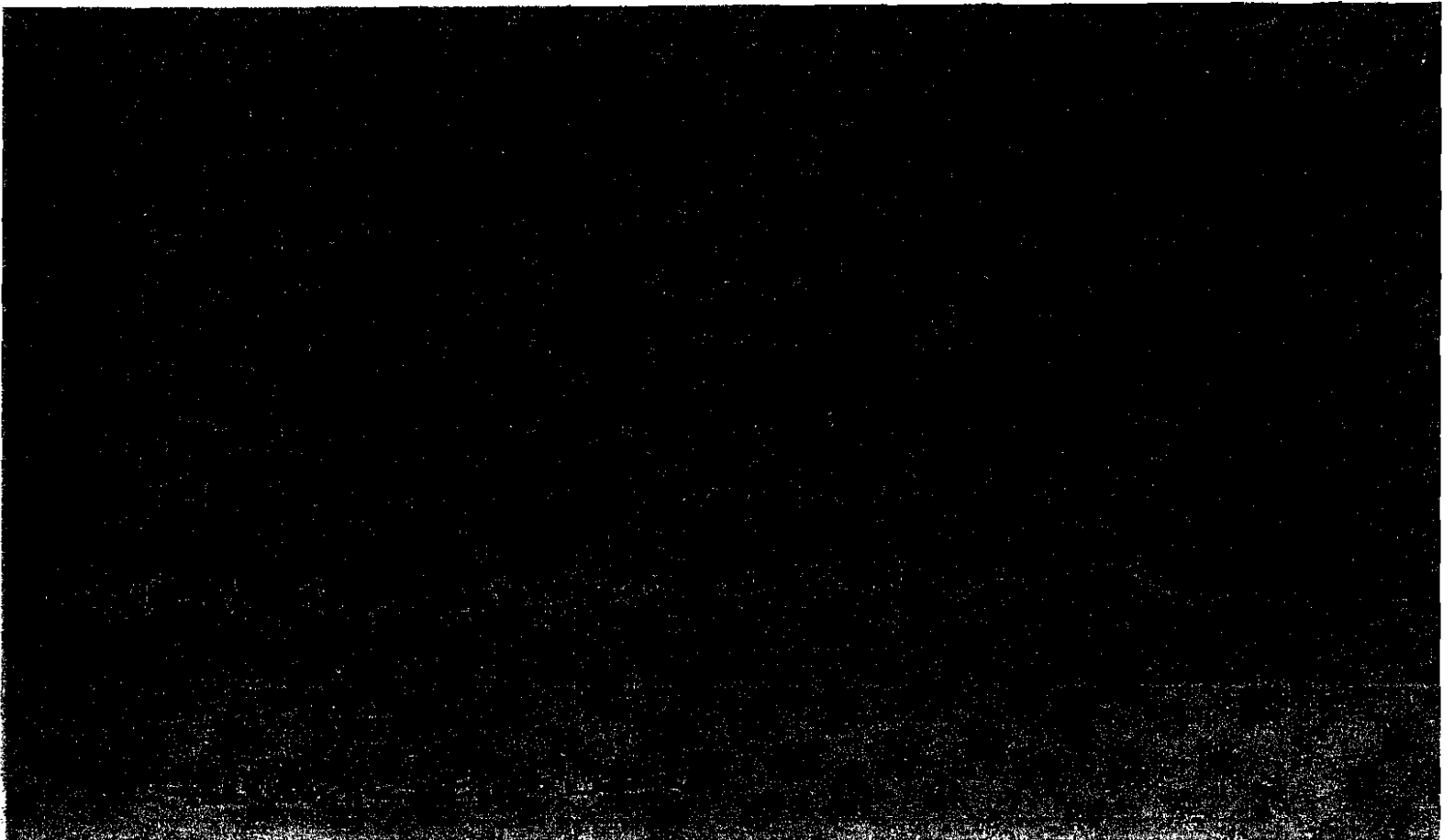
Dept. of Building Inspections
City of Portland Maine



Peter Valcourt
7 Arlington Place
Portland, ME 04101

*I will not be seeking change in use
to create a second dwelling at this
point in time.*

Peter Valcourt 11/17/10



Ann Machado - Re: 194 York St paperwork

From: Peter Valcourt <peter.valcourt@yahoo.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 11/18/2010 3:24 PM
Subject: Re: 194 York St paperwork

It will not be finished. Maybe a little storage but just a pull down ladder to that area.

Peter Valcourt
Century21 First Choice
207-469-8494

On Nov 18, 2010, at 2:13 PM, "Ann Machado" <AMACHADO@portlandmaine.gov> wrote:

Peter, thanks for the information. One more question; is the attic going to be finished and if so, will it be used for anything?

Thanks.

Ann Machado
Zoning Specialist
(207) 874-8709

>>> Peter Valcourt <peter.valcourt@yahoo.com> 11/18/2010 12:11 PM >>>
Thanks Anne

Let me know if you need anything else

RECEIVED

NOV 18 2010



381 MAIN STREET, SUITE 3
GORHAM, ME. 04038
207-839-2188
FAX: 207-839-3072

ROUTE 25
STANDISH, ME. 04084
207-642-3112
FAX: 207-642-2165

72 AUBURN STREET
PORTLAND, ME. 04103
Department of Building Inspections
City of Portland Maine
Fax: 207-659-5000

CONTRACT FOR SALE OF REAL ESTATE

July 10th, 20 10 RECEIVED OF Peter Valcourt and Anastasia Yakimova

whose address is 7 Arlington Place, Portland ME 04101 (hereinafter

called "Buyer") the sum of (\$ 1000) One Thousand dollars as earnest money deposit

and in part payment on account of the purchase price of the real estate owned by Mary Cardona

located at 194 York Street in the city/town of Portland County of

Cumberland State of Maine, to wit:

being all part of the property owned by the Seller at said address and described at said County's Registry of Deeds in Book 21133 Page 322. If "part of", see Section 21 "Other conditions" for an explanation.

Included with the sale are all fixtures (including but not limited to existing storm and screen windows, shades and/or blinds, shutters, curtain rods, electrical fixtures) and the following personal property: bath fixtures that are in home but not currently hooked up

Real Property NOT Included NONE
TOTAL PURCHASE PRICE SHALL BE \$ 195000
One hundred seventy three thousand dollars
to be paid as follows: Five

1. Entire purchase price payable in cash or certified check at the time of closing, subject to Buyer obtaining a/n mortgage in the amount of 96.5% % of the purchase price at an interest rate not to exceed 5.95 % advertised over a period of not less than 30 years. Buyer to pay origination fee and/or discount points not to exceed 9 and Seller to pay \$500 toward the Buyer's points, closing costs and/or prepaids. Buyer shall apply for said mortgage within 7 days of the effective date of contract. Buyer shall provide the Seller, within 45 days of the effective date of this agreement, with a mortgage commitment letter from lender showing that the Buyer has secured the loan commitment. If Buyer fails to provide Seller with this mortgage commitment letter within said period, Seller may deliver a notice to the Buyer that this agreement is terminated three days after delivery of such notice, unless Buyer delivers the mortgage commitment letter before the end of the three day period. If this agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to the Buyer. Buyer is under a good faith obligation to actively seek, and accept, financing on the above terms, and acknowledges that a breach of the good faith obligation will be a breach of this contract. If necessary, Buyer shall seek financing from more than one source to obtain financing under the terms and conditions set forth in this contract. If Buyer decides to pay cash, instead of finance this transaction, Buyer shall provide Seller with proof of funds to close within the time above for mortgage commitment letter.

~~Century 21 First Choice Realty~~ shall receive and hold the Deposit and act as trustee until closing subject to the following conditions: Linscott Real Estate MKC - PSV

2. This offer shall be valid until July 12 (date) 5 PM for obtaining Offeror's acceptance; and in the event of Offeror's non-acceptance, the Deposit shall be returned to Buyer. Buyer shall pay the balance of the purchase price and execute all papers necessary for the completion of this purchase on Aug. 30, 2010 or any other date the Buyer and Seller shall agree to in writing MKC PSV

3. A deed showing good and merchantable title shall be delivered to Buyer at time of closing. Should title to the property prove to be unmarketable, Seller, after written notice from Buyer of the defect(s) causing such unmarketability, shall have thirty days (unless otherwise agreed to, in writing, by both parties at the time the defect is discovered) to remedy the defect(s). If defect(s) are not corrected so there is marketable title, then Buyer may, at Buyer's option, elect to void said contract and be relieved from all obligations hereunder. If Buyer declares this contract void as a result of this sub-paragraph, Seller agrees that all earnest money shall be returned to the Buyer.

4. Property shall be conveyed by Warranty deed and shall be free and clear of all encumbrances except zoning and building restrictions of record, restrictive covenants of record and usual public utilities servicing the property.

5. Occupancy of the property shall be given At Time of Closing at which time premises shall be in the same condition as at present, excepting only reasonable use and wear.

Buyer [Signature] 7/10/10 Date
Buyer [Signature] 7/10/10 Date

Seller [Signature] Date
Seller [Signature] Date

THIS IS NOT A BOUNDARY SURVEY

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MORTGAGE INSPECTION OF: DEED BOOK 21133 PAGE 319 COUNTY Cumberland
 PLAN BOOK -- PAGE -- LOT --

ADDRESS: 194 York Street, Portland, Maine

Job Number: 711-01

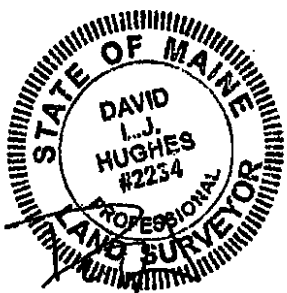
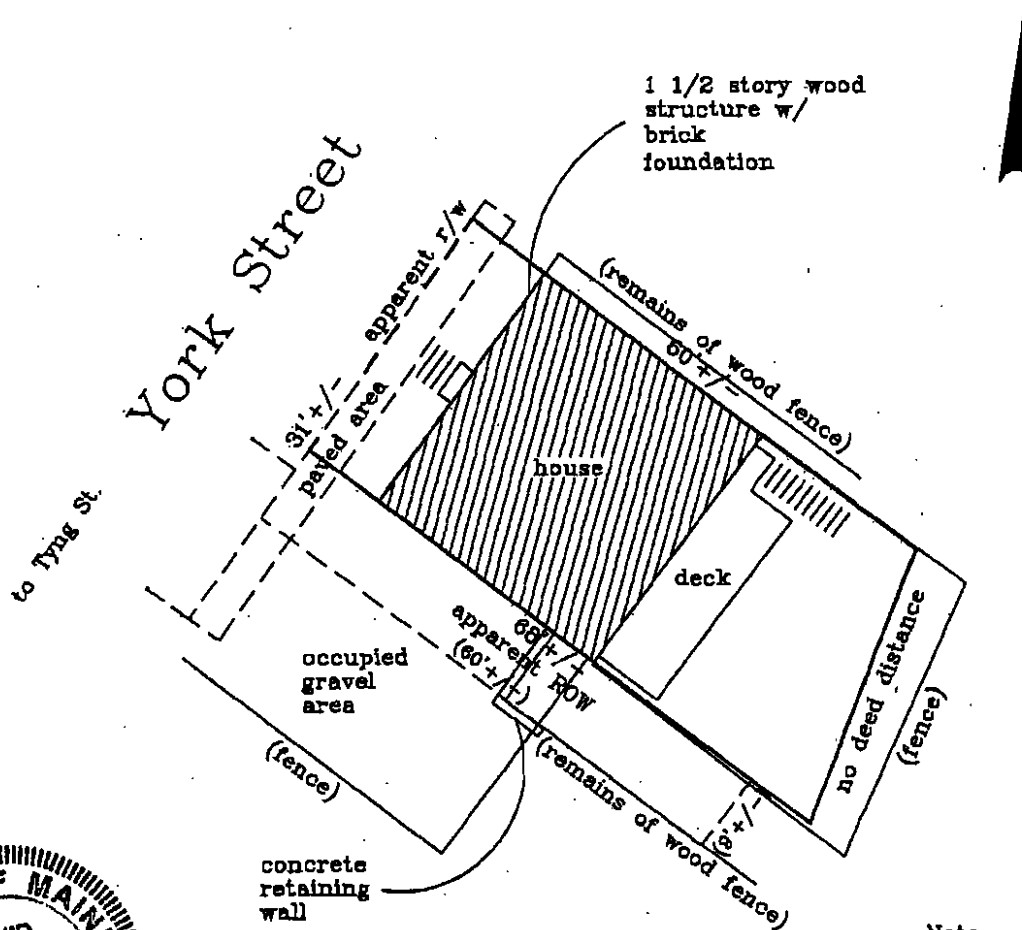
Buyers: Peter J. Valcourt & Anastasia Yakimova

Inspection Date: 11-15-10

Scale: 1" = 20'

Client File #: S10-B28CBS

Seller: Mary Katherine Cardona



Note:
 Lines of occupation
 are shown.
 A boundary survey
 may yield different
 results.

I HEREBY CERTIFY TO: New England Title; Reliant Mortgage Company, LLC and its title insurer.
 Monuments found did not conflict with the deed description.
 The dwelling setbacks do not violata town zoning requirements.
 As delineated on the Federal Emergency Management Agency Community Panel 230051-0013 B :
 The structure does not fall within the special flood hazard zone.
 The land does not fall within the special flood hazard zone.
 A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Livingston-Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport, Maine 04048
 207-967-9761 phone 207-967-4831 fax
 www.livingstonhughes.com

Ann Machado - 194 York Street

From: "David Hughes" <dhughes@livingstonhughes.com>
To: <amachado@portlandmaine.gov>
Date: 11/18/2010 11:08 AM
Subject: 194 York Street

Anne-

This is a mortgage loan inspection not to be used for building or boundaries.

Cornerboard to cornerboard measurement is 30.6'.

Deed calls for 30.7'

Thanks

Dave

David L. J. Hughes

President

Livingston-Hughes Surveyors

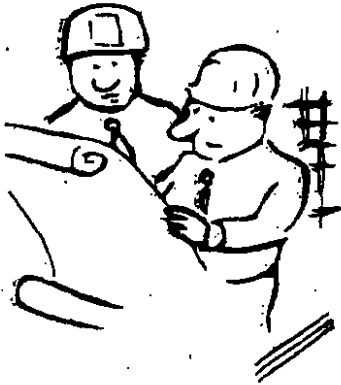
88 Guinea Road

Kennebunkport, ME 04046

207-967-9761 Phone

207-967-4831 Fax

Livingston-Hughes Surveyors



To: BERSY

From: DAVE

Date: 11/16

Please be aware of these important notes for Job#: 711-01

Notes:

o BUYER ASKED FOR DETAIL ON FENCES

o HOUSE FITS ON THE LOT

o WE FENCE AND PARK IN THE GRANEL AREA WHICH IS PARTLY R.O.W

o HOUSE IS O.K.

Please call with questions.

Thanks!

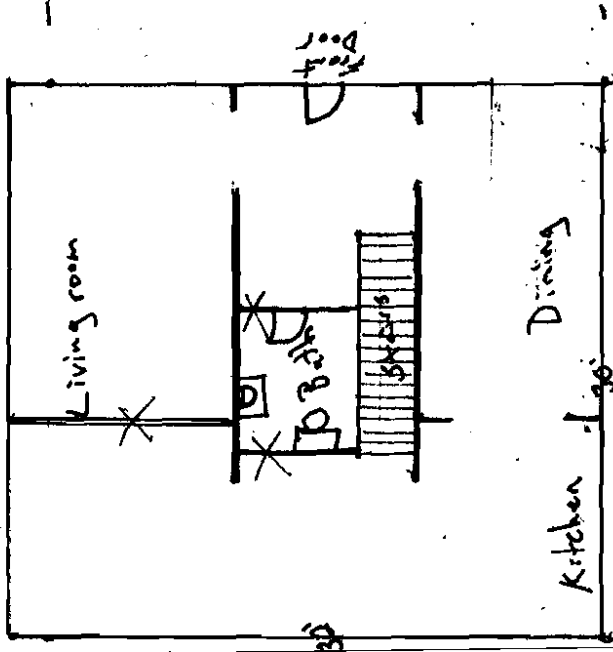
RECEIVED

NOV 18 2010

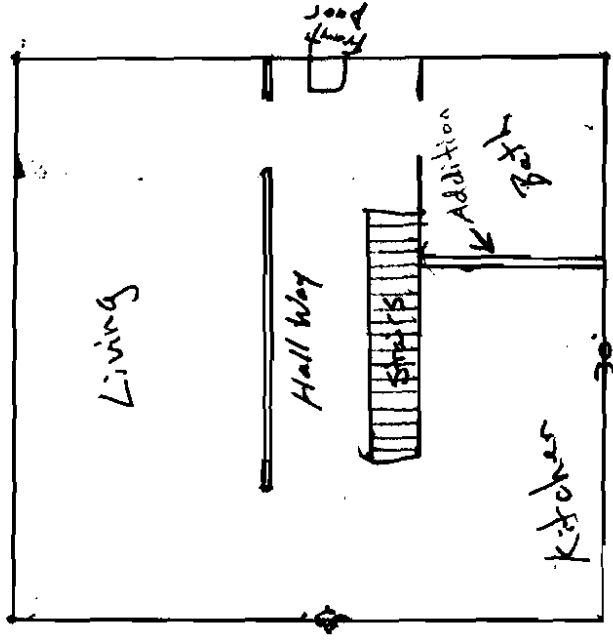
Dept. of Building Inspections
City of Portland Maine

1st Floor

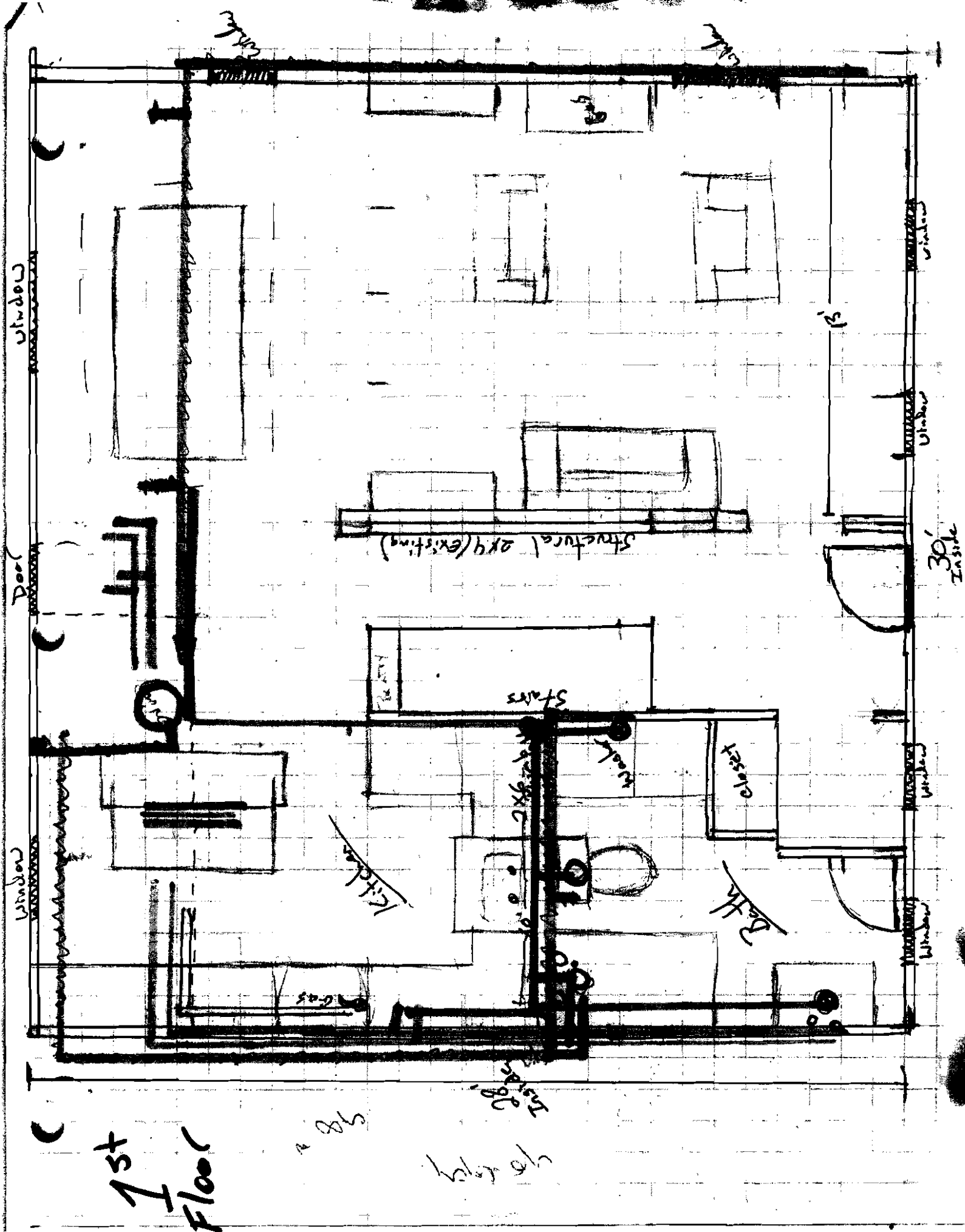
Current Layout



New Layout



- Original Bath becomes a Hall
- Moving Bath
- Removing old Bath wall & Bath
- Remove wall in living room



1st Floor

1st floor

286

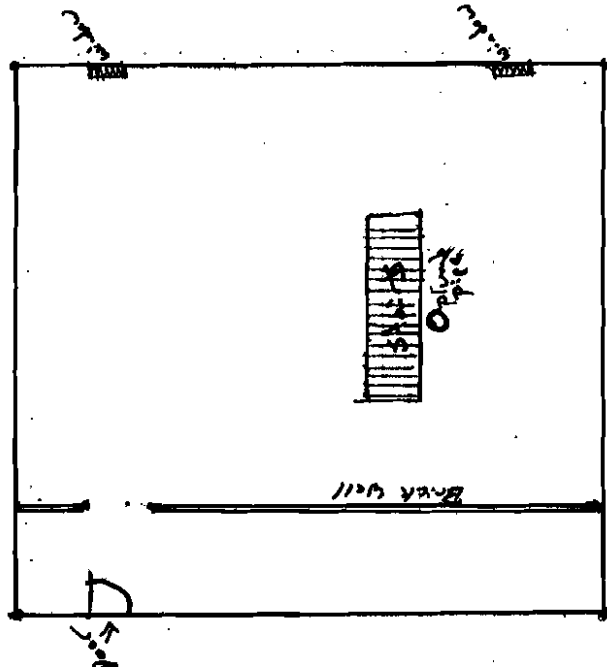
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NOV 18 2010

Dept. of Building Inspections
City of Portland Maine

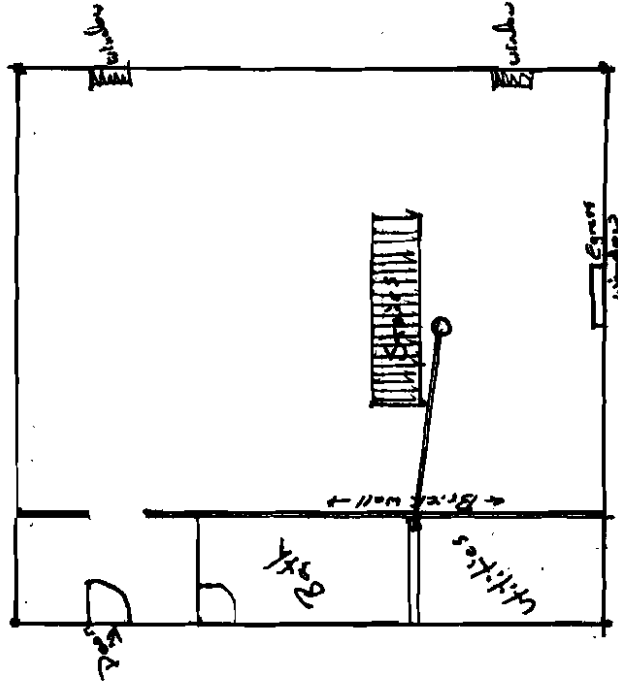
Basement

Current Layout

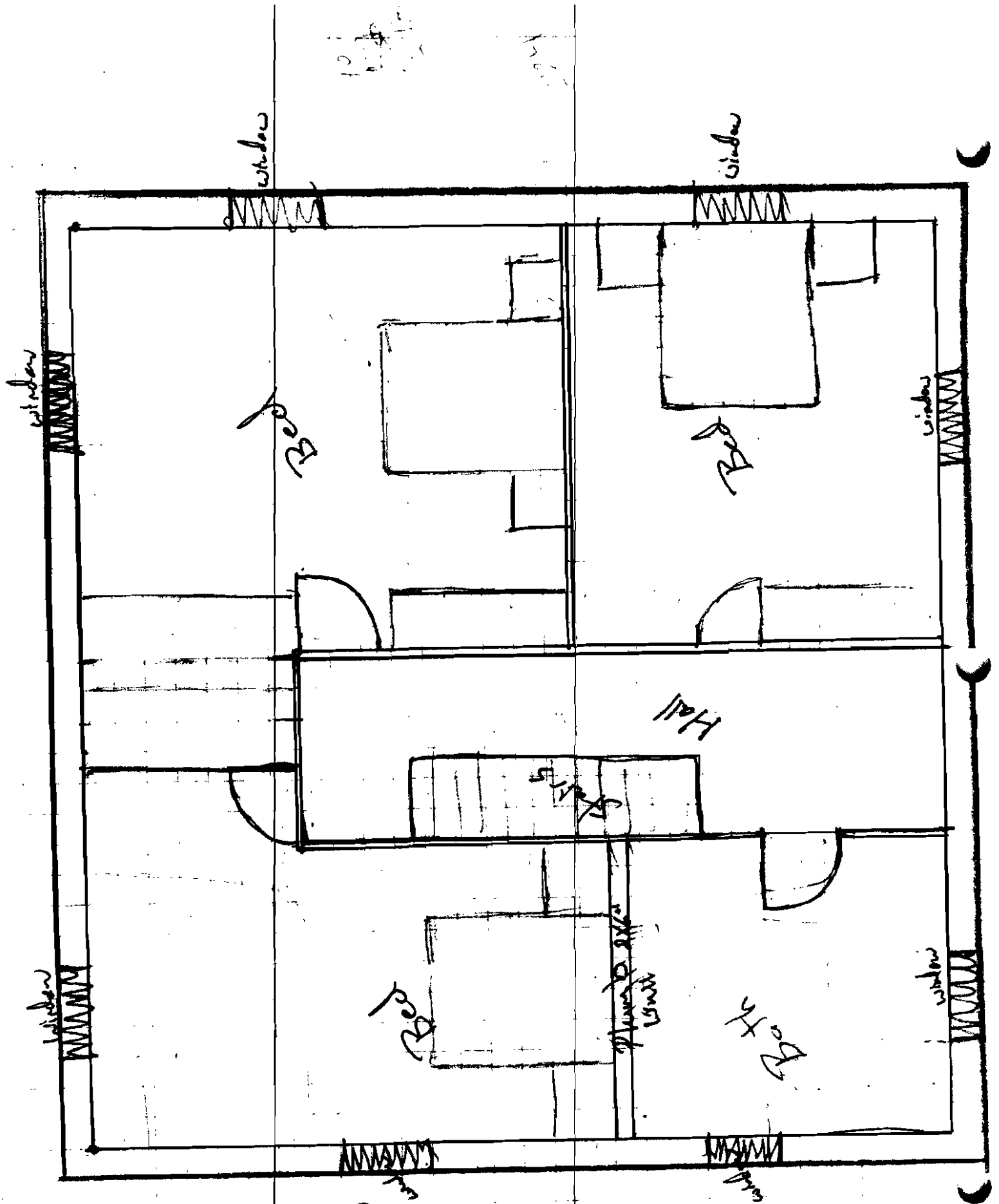


- Brick/Concrete Walls
- Concrete foundation Floor

New Layout



- Adding Exterior wall frame/Insulation
- Adding Egress window
- Adding Flooring
- Adding Bath
- Extending Plumb pipe 10' to bath.



2nd FLOOR

No layout changes
Reframing Bath wall

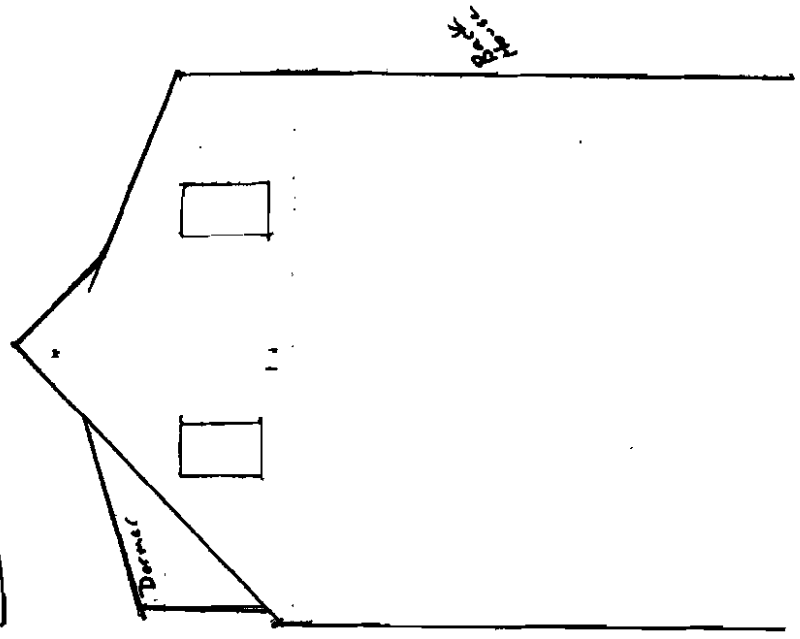
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NOV 18 2010

Dept. of Building Inspections
City of Portland Maine

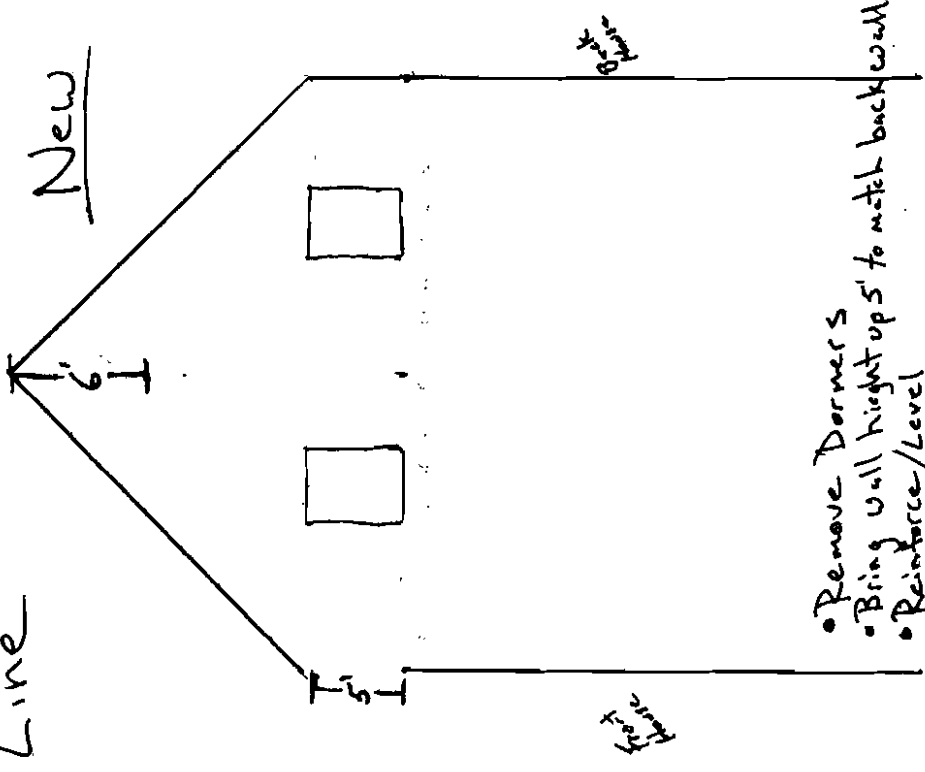
Root

Current



Line

New



- Remove Dormers
- Bring wall height up 5' to match back wall
- Reinforce/Level
- Place new trusses
- Roof line increased 6'

at this is for storage - see email
new roof configuration adding
minimal floor area.

NEW

NEW

- Removed Dormers on West side
- Reframed West wall, 2x6" to match East side
- Level/Frame Sill for Trusses (both 2x6")
- Set pre built Engineered trusses on sill

34'

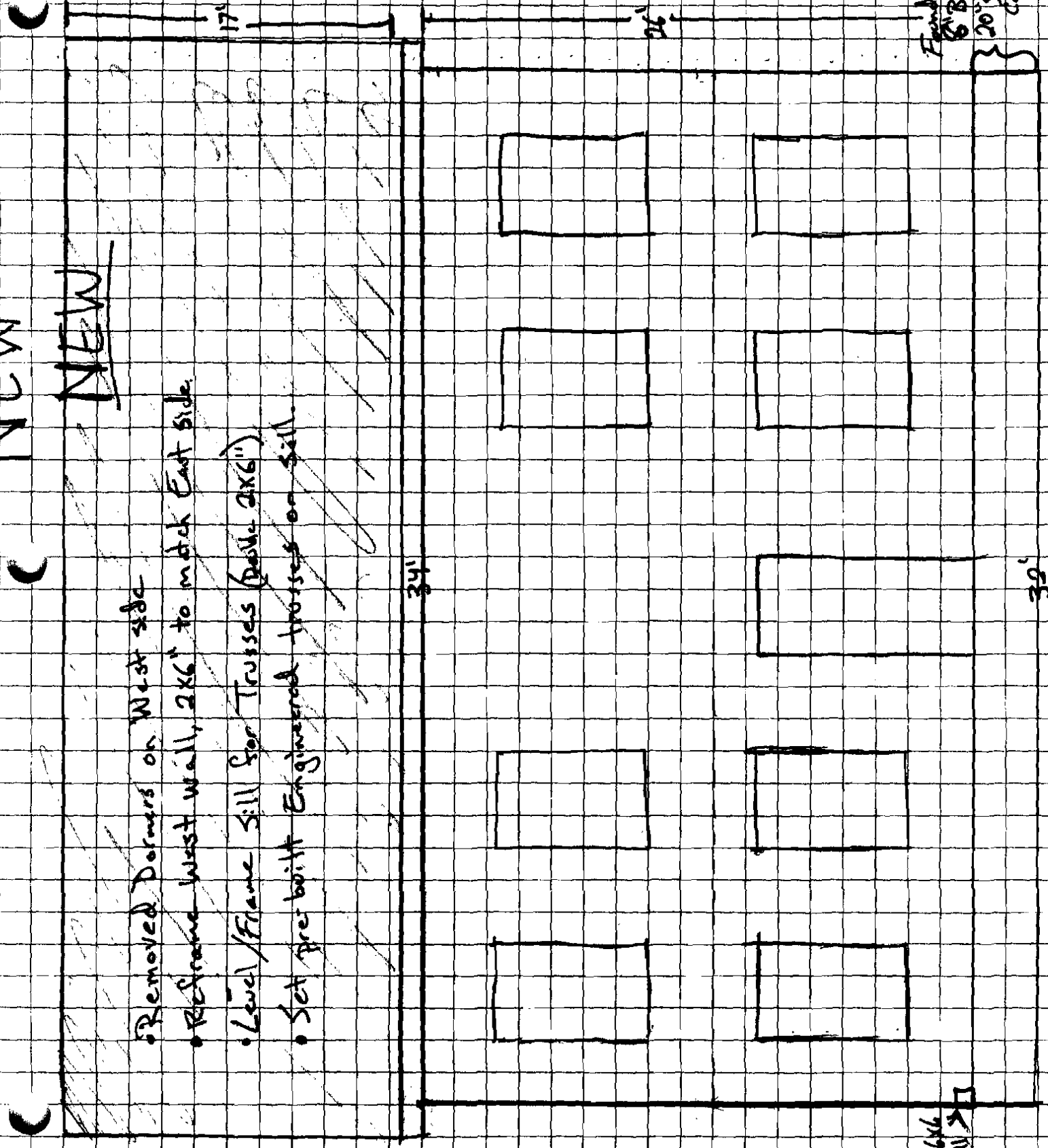
45' 1/2
note
DE

26'

New 6x6
PT Sill

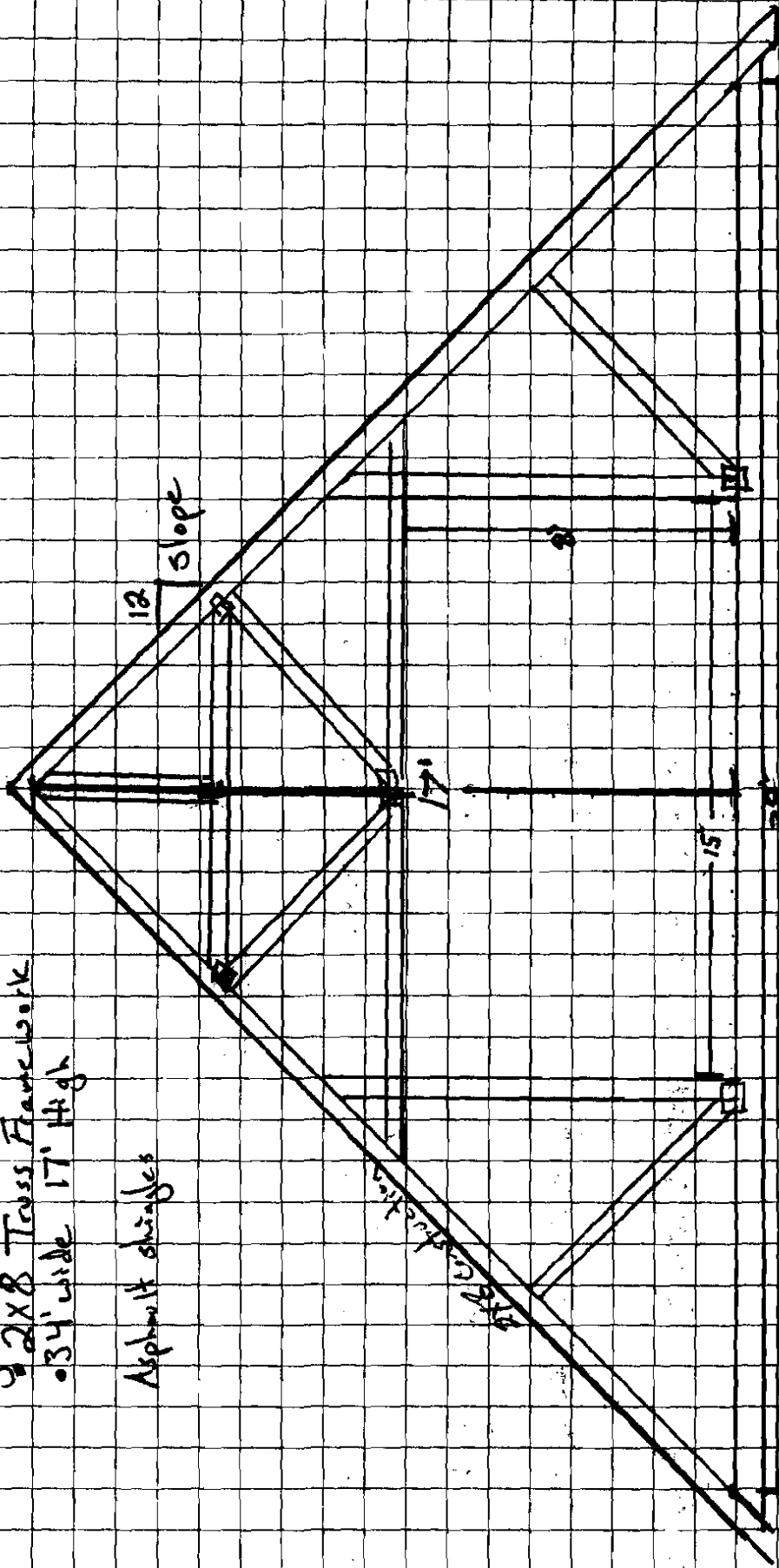
Foundation
8" Brick on
20" Stone Footing
Concrete

30'



Engineered Attic Trusses
 2x8 Truss Framework
 34' wide 17' High

Asphalt shingles



2x8 Bottom of Truss is ceiling

Double 2x6 Sills

2x6 Framed walls

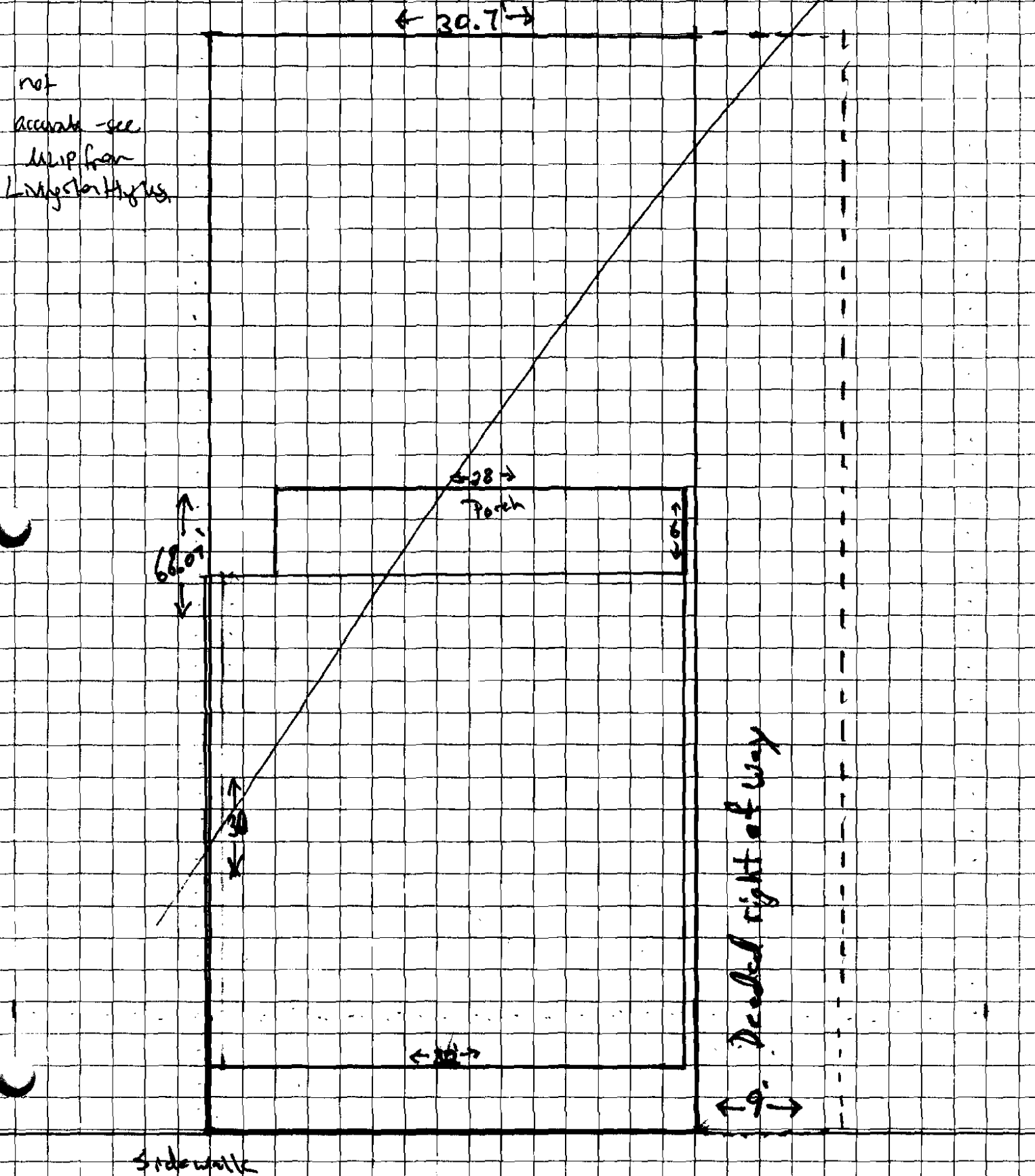
Sills



00

} Remove Dormers
} Bring wall straight up
} to match back of house.
} 26' from ~~floor~~
} Foundation

I will be adding the title Co. Plot Plan when I have it at closing. But I need to get the Permit moving before close because weather will affect my roof project.
(any questions on this call Inspector, Nick Adams)



GMAC Mortgage

November 10, 2010

Note: Please ensure the closing Agent is provided with a copy of this letter

MARY K CARDONA
194 YORK STREET
PORTLAND, ME 04102

RE: Account Number: 7420354409
Property Address: 194 YORK STREET
PORTLAND, ME 04102

Dear MARY K CARDONA:

This letter confirms our acceptance of the short payoff on the above-referenced property. We agree to accept the proceeds generated by the \$168,000.00 'as is condition' purchase as full and final satisfaction on the first mortgage indebtedness on the above-referenced property. This agreement is subject to the following:

- Net proceeds to be no less than **\$152,230.31**
- Any reduction in the approved closing costs must be added to the net proceeds.
- **SELLER TO NET ZERO.**
- The following closing costs have been approved and should not exceed the given amount:

City-Town Taxes	\$2,130.69	
Buyer Closing Cost Credit	\$5,040.00	
Doc Prep	\$150.00	
Recording Fee	\$50.00	
State Tax Stamps	\$385.00	
Listing Broker Commission	\$4,375.00	Payable to: Linscott Real Estate
Selling Broker Commission	\$4,375.00	Payable to: Century 21

- This transaction may not involve a third party who receives a deed prior to this closing or after this closing and before recording of the deed to the purchaser.

- **PROCEEDS MUST BE WIRED TO:**

JP Morgan Chase Bank, N.A.
Mail Code KY1-7102
6708 Grade Lane
Louisville, KY 40213
Building 7, Suite 709
ABA Routing Number 083000137
Account #85070241
Beneficiary: GMAC Mortgage

Wire transfers must:

- Be identified by a loan number.
- Be identified by the mortgagor's name.
- Include the payment amount plus an additional \$5 wire fee.
- Be accompanied by a fax to the Payment Processing department at (866) 340-7535 listing multiple account numbers if multiple accounts are being paid with the wire.
- HUD-1 Settlement Statement MUST be faxed 48 hours before closing for approval. Please fax to (866) 709-4744.
- We will prepare a release of lien and send to the title company for recording.
- Escrow to close on or before November 26, 2010
- All escrow surplus and credits MUST be added to the net proceeds.
- The HUD 1 Settlement Statement must be signed by buyers, sellers and settlement agent.

*** A copy of proceeds check or bank wire, HUD1 Settlement Statement, this short sale letter, and any applicable promissory notes must be FAXED to our office at (866) 487-9023 within 24 hours of closing. Any delay in the receipt of the documents will result in \$100 fee per day along with the per diem interest of \$35.75 each day. Any extension of the closing date will require prior approval.**

If any of the above demands are not met the Net Proceeds will not be accepted and the satisfaction will be delayed at your expense.

The release of the lien will be sent to the name and address of the title company you have provided and that will conduct the closing of the sale of the property. Please note that the release of the lien will not be sent out until the above proceeds are received. It will then be the title company's responsibility to ensure proper recording of the release of the lien.

A "Short" or "Negotiated" Payoff of your mortgage loan may have tax consequences. To determine if or to what extent you have any tax liability, you are encouraged to contact a tax professional.

If you have any questions feel free to contact us directly BETWEEN THE HOURS OF 9 A.M. AND 6 P.M. (EST) at (800) 850-4622 or by fax at (866) 709-4744.

Sincerely,

Loss Mitigation Department
Loan Servicing

Notice: If you are currently involved in a bankruptcy proceeding or have been discharged of your personal liability for the repayment of this debt, this notice is being provided for informational purposes only, it is not an attempt to hold you personally responsible for the debt and any rights we may chose to pursue will be exercised against the property only.

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

[Applications](#)

[Doing Business](#)

[Maps](#)

[Tax Relief](#)

[Tax Roll](#)

[Q & A](#)

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL	043 B003001
Land Use Type	SINGLE FAMILY
Property Location	194 YORK ST
Owner Information	CARDONA MARY KATHERINE 25 TATE ST PORTLAND ME 04102
Book and Page	21133/319
Legal Description	43-B-3 YORK ST 194 STATE ST VIADUCT 25 1980 SF
Acres	0.045

Current Assessed Valuation:

TAX ACCT NO.	6278	OWNER OF RECORD AS OF APRIL 2010 CARDONA MARY KATHERINE
LAND VALUE	\$133,700.00	25 TATE ST
BUILDING VALUE	\$104,100.00	PORTLAND ME 04102
NET TAXABLE - REAL ESTATE	\$237,800.00	
TAX AMOUNT	\$4,261.38	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Building Information:

Card 1 of 1

Year Built	1840
Style/Structure Type	OLD STYLE
# Stories	2
Bedrooms	4
Full Baths	1
Total Rooms	7
Attic	NONE
Basement	FULL
Square Feet	1920

[View Sketch](#)

[View Map](#)

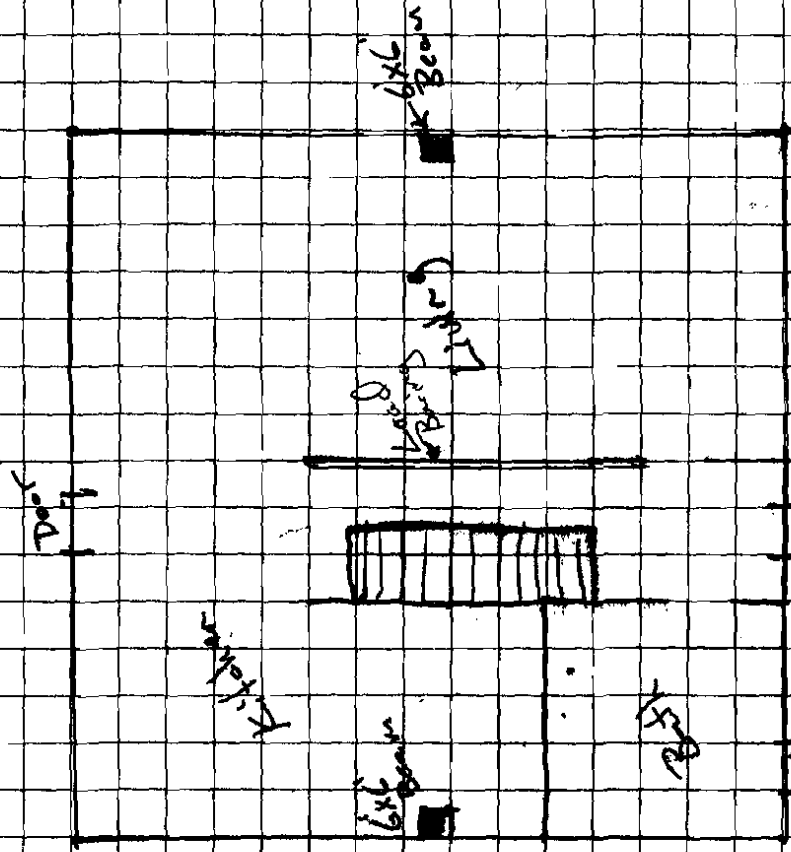
[View Picture](#)



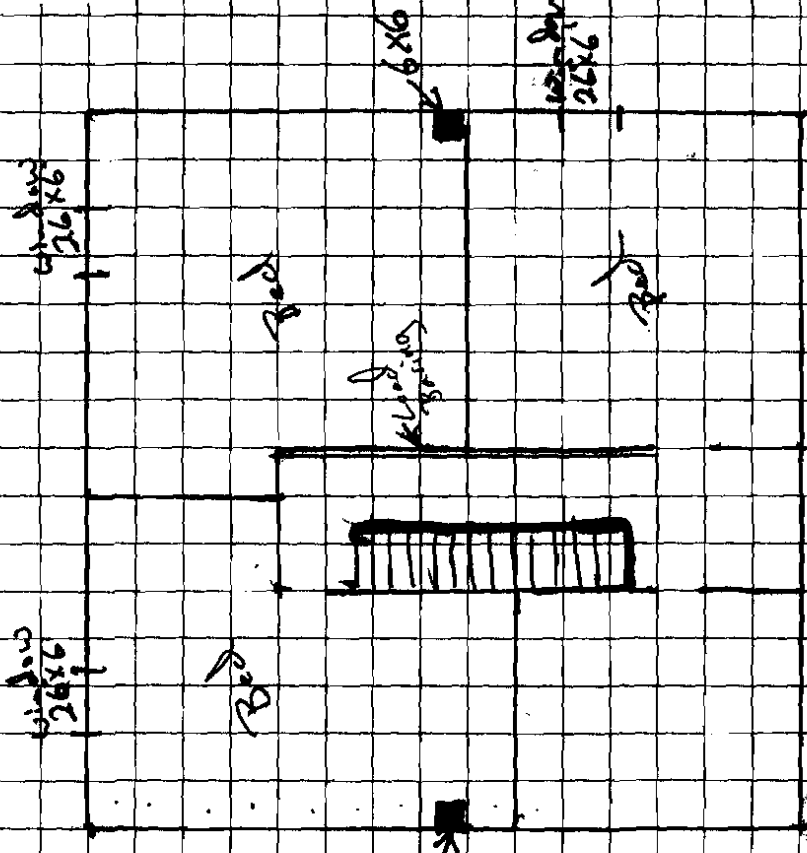
Best viewed at 800x600, with Internet Explorer

199 York St.
Portland ME 04101

1st Floor



2nd Floor



RECEIVED

Stairs: Using Existing stairs, reinforcing
Railings - 28" wide - 10th Long / 8th High
- Open head clearance greater 8'

DEC 20 2010

Dept. of Building Inspections
City of Portland Maine

Middle Roof Support - 6x6 Beams Roof
to Basement

Center Load Baring: No change

194 York St
Portland ME 04101

STAIRS: (1st to 2nd) Staircase is 28" wide, Above staircase is open to 2nd Floor ceiling. Has existing one solid hand rail from bottom to top and wraps around staircase. Rise/Run 8FT/10FT

WINDOWS: Bed windows are newer windows (3 Yrs old) 26" wide / 6' high. They are to current code of 5.7 ^{1/4}" opening.

Roof Support: Current Roof is sagging as does not have acceptable Trusses. Replacing with pre-engineered Trusses, Keeping Same Roof line. Middle supports are 6x6" Beams From Basement to Roof Truss.

Summary: This is not a complete reconstruction. Keeping Majority of home layout, using same structural Design with reinforcements wherever necessary.

RECEIVED Besides the roof the majority of work is Insulation, Drywall and some electricals.

DEC 20 2010

Dept. of Building Inspection
City of Portland Maine
Center Load Bearing walls are not being changed. They are supported by 5x5 beams in Basement.