

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU **PERMIT** IATION

Permit Number: 100053

Please Read Application And Notes, If Any, Attached

This is to certify that GENERAL MARINE CONSTRUCTION/General

has permission to Install/ build mooring dolphin

AT 418 COMMERCIAL ST 042 F001001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid for other use. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. CAPS. [Signature]
Health Dept. [Signature]
Appeal Board
Other

CITY OF PORTLAND

Department Name

[Signature] 2/25/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

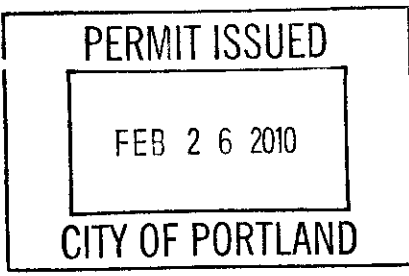
Permit No: 10-0053	Issue Date:	CBL: 042 F001001
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Location of Construction: 418 COMMERCIAL ST	Owner Name: GENERAL MARINE CONSTRUC	Owner Address: 446 COMMERCIAL ST	Phone:
Business Name:	Contractor Name: General Marine Construction Corp.	Contractor Address: 446 Commercial St. Portland	Phone: 2077725354
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: WCZ
Past Use: Holyoke Wharf	Proposed Use: Holyoke Wharf - Install/ build mooring dolphin & pier extension	Permit Fee: \$520.00	Cost of Work: \$50,000.00
Proposed Project Description: Install/ build mooring dolphin & pier extension		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions of Dolphin	INSPECTION: Use Group: N/A Type: Marine pier gangway
		Signature: (Signature)	Signature: JMB 2/25/10
PEDESTRIAN ACTIVITIES DISTRICT (P.A.E.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

Permit Taken By: Ldobson	Date Applied For: 01/20/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>without but extension 75'</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>Panel B3 V-3 2/12</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>#09-79900020</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/20/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0053	Date Applied For: 01/20/2010	CBL: 042 F001001
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Location of Construction: 418 COMMERCIAL ST	Owner Name: GENERAL MARINE CONSTRUC	Owner Address: 446 COMMERCIAL ST	Phone:
Business Name:	Contractor Name: General Marine Construction Corp.	Contractor Address: 446 Commercial St. Portland	Phone (207) 772-5354
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Holyoke Wharf - Extend finger pier/ build mooring dolphin	Proposed Project Description: Extend finger pier/ build mooring dolphin
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/20/2010

Note: **Ok to Issue:**

- 1) The Floodplain forms have been signed and received by this office with the permit application.
- 2) FloodPlain Requirements: Flood damage resistant materials are to be used. The project shall be adequately anchored.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 02/25/2010

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 01/26/2010

Note: **Ok to Issue:**

- 1) Construction shall comply with NFPA 1 Chapter 28.2 Marine Terminals, Piers, and Wharves.

Comments:

1/20/2010-mes: Waiting for site plan sign- of for final issuance of permit

2/25/2010-jmb: Spoke to Larry R. About details and engineer at Barney B. To clarify the pile cap and casing around the piles. Ok to issue.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

~~A Pre-construction Meeting will take place upon receipt of your building permit.~~

 X Electrical supply inspection

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

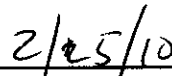
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee



Signature of Inspections Official

Date



Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>418 Commercial (Holyoke)</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>42</u> Block# <u>F</u> Lot# <u>1</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>General Marine Const.</u> Address <u>446 Commercial St.</u> City, State & Zip <u>Portland, Me. 04101</u>	Cost Of Work: \$ <u>50,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>520</u>
Current legal use (i.e. single family) <u>N/A</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>moving dolphin</u>		
Contractor's name: <u>General Marine Const. Corp.</u> Address: <u>446 Commercial St.</u> City, State & Zip <u>Portland, Me. 04101</u> Telephone: _____ Who should we contact when the permit is ready: <u>Larry Roe</u> Telephone: <u>772-5354</u> Mailing address: <u>as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

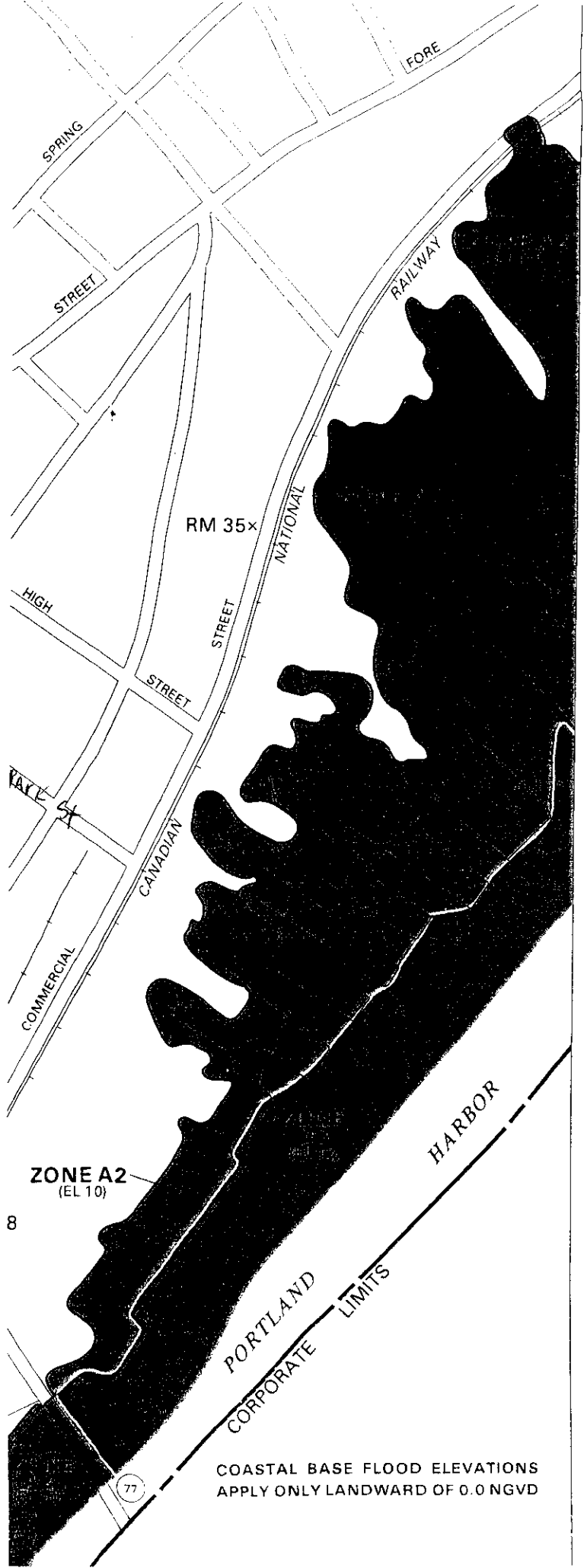
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: [Signature] Date: 1-20-10 JAN 20 2010

This is not a permit; you may not commence ANY work until the permit is issued
Dept. of Building Inspections
City of Portland Maine



Refer to the FLOOD INSURANCE RATE MAP EFFECTIVE date shown on this map to determine when actuarial rates apply to structures in the zones where elevations or depths have been established.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program, at (800) 638-6620.



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

**CITY OF
PORTLAND, MAINE
CUMBERLAND COUNTY**

PANEL 13 OF 17

(SEE MAP INDEX FOR PANELS NOT PRINTED)

**COMMUNITY-PANEL NUMBER
230051 0013 B**

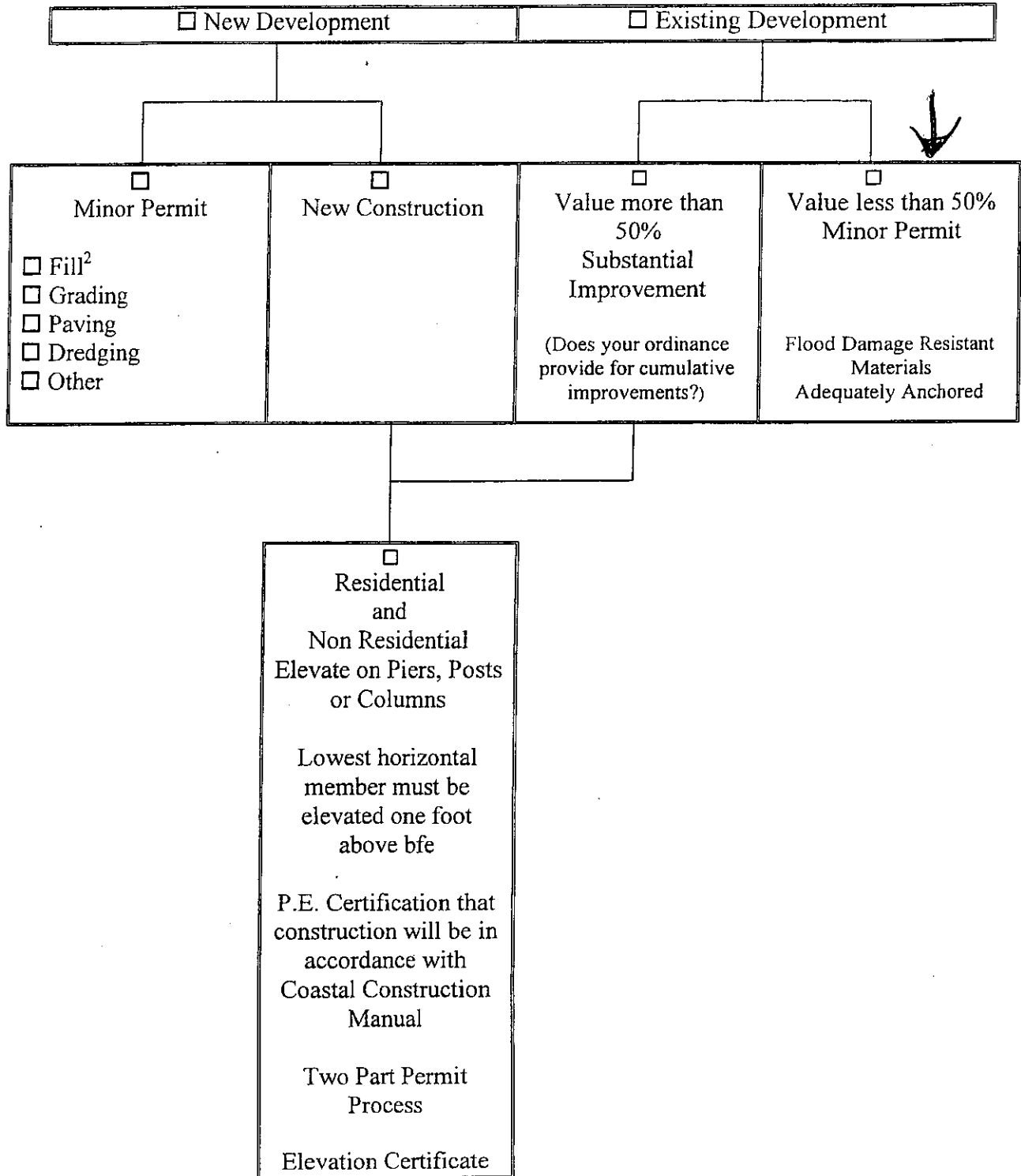
**EFFECTIVE DATE:
JULY 17, 1986**



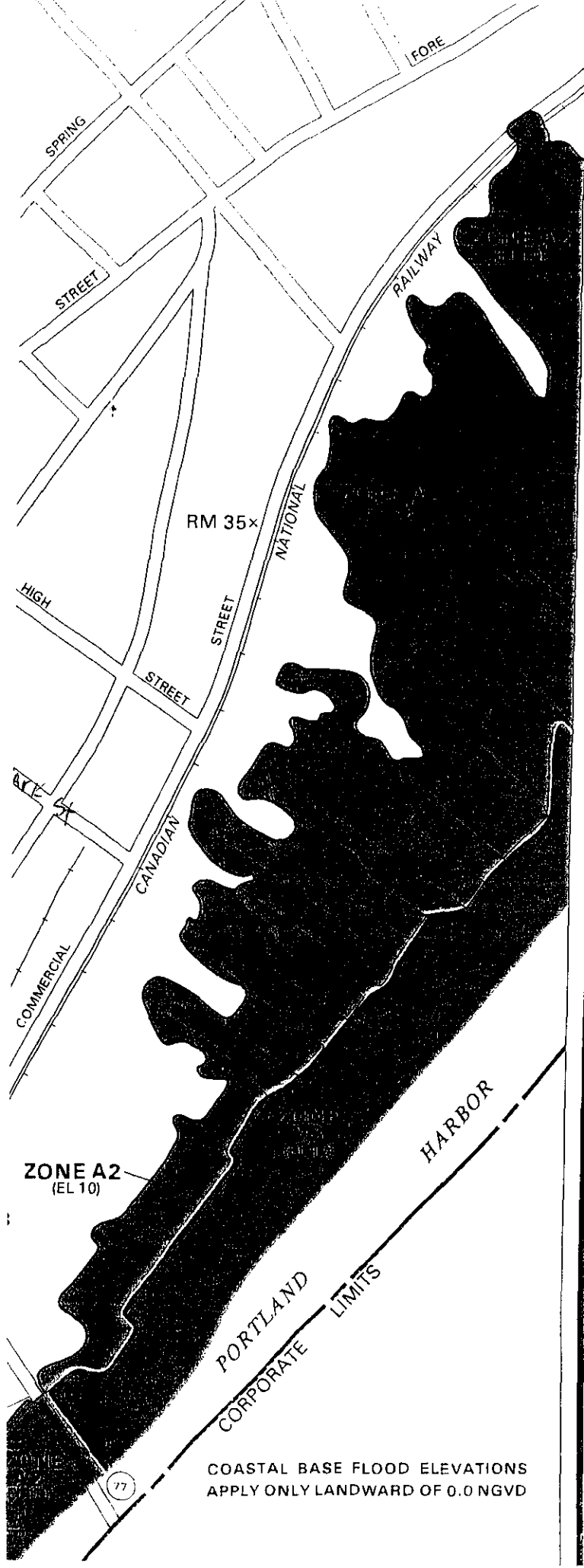
Federal Emergency Management Agency

V1-30 and VE Zones

Decision Tree – Page 6



² Not for construction of a walled and roofed structure.



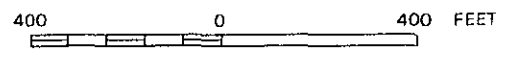
COASTAL BASE FLOOD ELEVATIONS
APPLY ONLY LANDWARD OF 0.0 NGVD

Refer to the FLOOD INSURANCE RATE MAP EFFECTIVE date shown on this map to determine when actuarial rates apply to structures in the zones where elevations or depths have been established.

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APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

**CITY OF
PORTLAND, MAINE
CUMBERLAND COUNTY**

PANEL 13 OF 17
(SEE MAP INDEX FOR PANELS NOT PRINTED)

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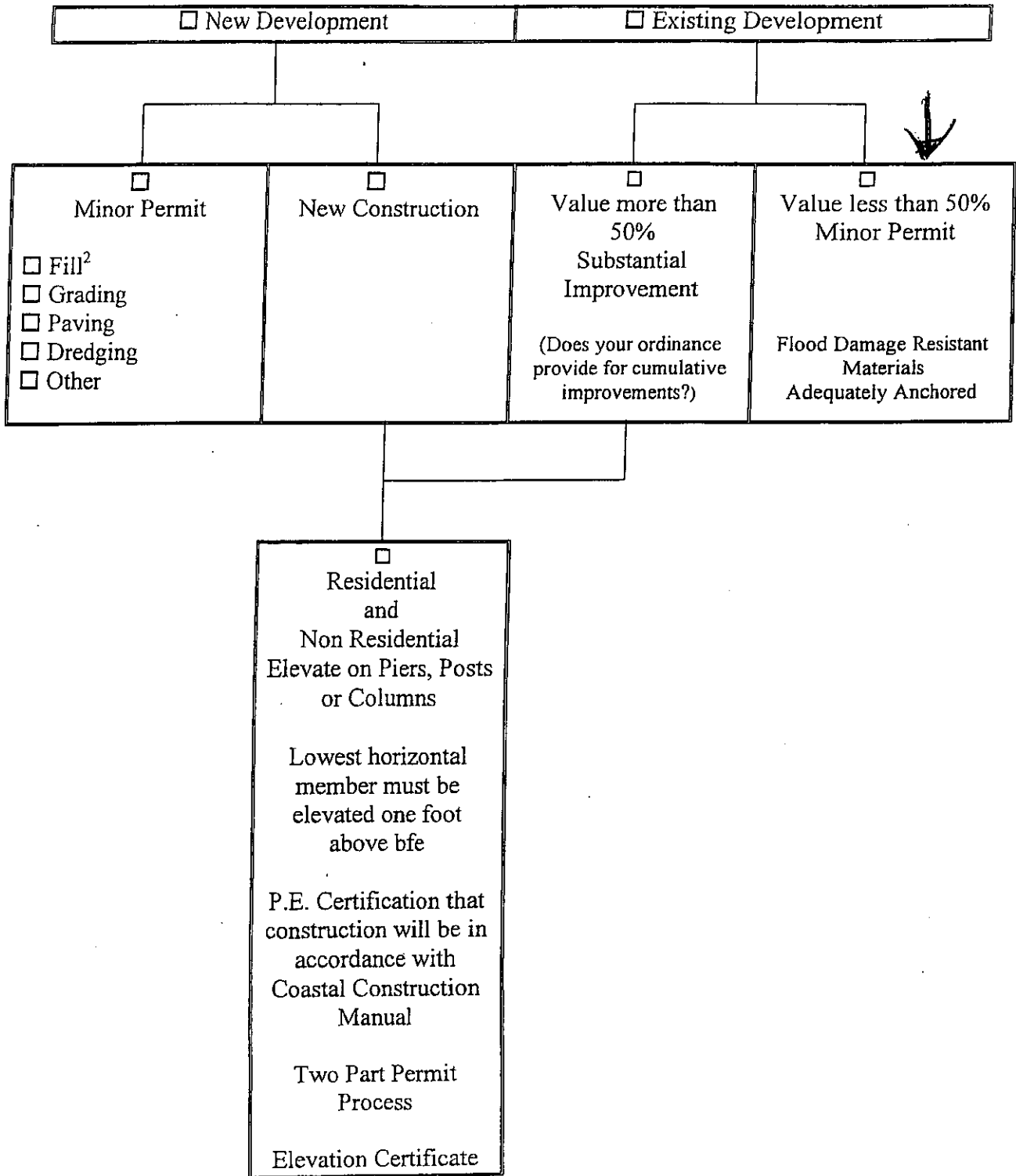
**EFFECTIVE DATE:
JULY 17, 1986**



Federal Emergency Management Agency

V1-30 and VE Zones

Decision Tree – Page 6



² Not for construction of a walled and roofed structure.

This page contains a detailed description of the Parcel ID you selected. Press the New Search button at the bottom of the screen to submit a new query.

Current Owner Information:

Services	CSL	042 F001001
Applications	Land Use Type	MANUFACTURING & CONSTRUCTION
Doing Business	Property Location	418 COMMERCIAL ST
Maps	Owner Information	GENERAL MARINE CONSTRUCTION CORPORATION 446 COMMERCIAL ST PORTLAND ME 04101
Tax Relief	Book and Page	10208/83
Tax Roll	Legal Description	42-F-1-2 COMMERCIAL ST 412-420 W 254B2
Q & A	Acres	0.585

MR. Hale, This is why
The City has address your
property as given in the
Assessor's DATA BASE -
Please advise the Assessor's
office to change -
Mange

Current Assessed Valuation:

TAX ACCT NO.	6240	OWNER OF RECORD AS OF APRIL 2009 GENERAL MARINE CONSTRUCTION CORPORATION 446 COMMERCIAL ST PORTLAND ME 04101
LAND VALUE	\$551,000.00	
BUILDING VALUE	\$342,020.00	
NET TAXABLE - REAL ESTATE	\$893,020.00	
TAX AMOUNT	\$15,842.18	

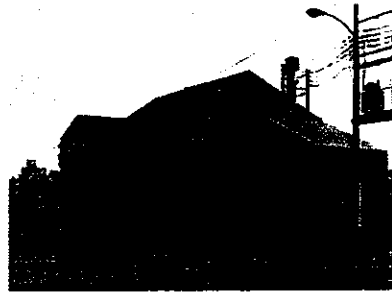
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:



Best viewed at 800x600, with Internet Explorer

Card 1 of 1		
Year Built	1951	
Style/Structure Type	WAREHOUSE	
# Units	1	
Square Feet	11246	
View Sketch	View Map	View Picture



Exterior/Interior Information:

Card 1	
Levels	01/01
Size	9566
Use	WAREHOUSE
Height	13
Walls	METAL-LIGHT
Heating	UNIT HEAT
A/C	NONE

Estimated cost of project
\$50,000 given

Card 1	
Levels	02/02
Size	1600
Use	MULTI-USE STORAGE
Height	12
Walls	METAL-LIGHT
Heating	UNIT HEAT
A/C	NONE

Other Features:

Card 1	
Structure	OVERHEAD DOOR - WD/MT
Size	10X14

Card 1	
Structure	OVERHEAD DOOR - WD/MT
Size	8X8

Outbuildings/Yard Improvements:

Card 1	
Year Built	1951

**ZONING ADMINISTRATOR
MARGE SCHMUCKAL
DECEMBER 31, 2009**

The project for a finger pier and mooring dolphin extension (55 feet) at the end of Holyoke Wharf. The property is located within a WCZ zone with a shoreland overlay. The new finger pier is located within a V-3 floodplain zone with a given elevation of 12'. There are floodplain paperwork that must be filled out (a standard Flood Hazard Development Application and a Minor Permit Application. The project is valued at less than 50% of the existing development. Flood Damage Resistant Materials shall be used and the pier shall be adequately anchored.

This project in the WCZ Zone has no impact on marine uses. The project actually enhances the existing marine uses.

The applicant has applied for and Army Corps of Engineers approval and shown us a copy of that application. The applicant has submitted approvals from the Harbor Commissioner and DEP and the submerged Lands ok.

This project is meeting the zoning requirements.

FLOOD HAZARD DEVELOPMENT APPLICATION

Portland, Maine

(All applicants must complete entire application)

[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: GENERAL MARINE Const/Roger Hale Address: 446 Commercial St
Phone No.: (207) 772-5354 Portland, ME 04101
Applicant: BARNEY BAKER PE Address: 11 Stony Brook Lane
BAKER Design Consultants YARMOUTH, MAINE 04096
Phone No.: (207) 846-9724 (O)
Contractor: (207) 838-3636 (C) Address: _____
Phone No.: _____

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: 042-F- Lot #: 001 9002

Address: 446 Commercial Street/Holyoke wharf
Street/Road Name

Zip Code: 04101
Town/Zip Code

General explanation of proposed development: to construct a finger pier extension
(≈ 55 feet) with a mooring dolphin at the end of Holyoke wharf
(≈ 4.5' wide)

Estimated Value of Proposed Development: \$50,000⁰⁰

Proposed Lowest Floor elevation [for new or substantially improved structure]: _____

OTHER PERMITS

Are other permits required from State or Federal jurisdictions?
If yes, are these other permits attached?

Yes No
 Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private Not Applicable Type _____
 Existing Proposed
Water Supply: Public Private B-9

(This section to be completed by Municipal Official)

LOCATION

Flooding Source (name of river, pond, ocean, etc.): Ocean

- V-3 Zone
- VE Zone
- AE Zone
- A1-30 Zone
- A Zone
- AO Zone
- AH Zone
- FRINGE
- FLOODWAY (1/2 width of floodplain in A Zone)

Base Flood Elevation (bfe) at the site 12 NGVD [Required for New Construction or Substantial Improvement]

Lowest floor elevation of proposed or existing structure _____ NGVD [Required for New Construction or Substantial Improvement]

If proposed development is in an AE or A1-30 Zone and cross-section data is available in the Flood Insurance Study, please note the nearest cross-section reference letter and elevation of base flood at nearest cross-section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site _____
Below Site _____	Below Site _____

Basis of unnumbered A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC/RAS HEC II HY 7 TR20 TR55 Quick-2
- Other _____
- Highest Known Water Level
- Other (Explain) _____

VALUE

If the development involves work on an existing structure, enter the Market Value of existing structure before improvements:

\$ Land Value: \$551,000
\$ Bldg Value: \$342,020

- New Construction or Substantial Improvement
- Minor improvement or minor addition to existing development

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested and complete information for each applicable line:

- 1. Residential Structure Dimensions Cubic Yards
 - 1a. New Structure _____
 - 1b. Add to Structure _____
 - 1c. Renovations/repairs/maintenance _____
- 2. Non-Residential Structure Number of Acres
 - 2a. New Structure _____
 - 2b. Add to Structure _____
 - 2c. Renovations/repairs/maintenance _____
 - 2d. Floodproofing _____
- 3. Accessory Structure _____
- 4. Functionally Dependent Use:
 - 4a. Dock _____
 - 4b. Pier extensions ~ 55 feet long, 4.5 wide
 - 4c. Boat Ramp Dock
 - 4d. Other _____
- 5. Paving _____
- 6. Conditional Use (Lobster/Fish Shed seaward of mean high tide)
- 7. Filling³ _____
- 8. Dredging _____
- 9. Excavation _____
- 10. Levee _____
- 11. Drilling _____
- 12. Mining _____
- 13. Dam: Water surface to be created _____
- 14. Water Course Alteration _____
- 15. Storage of equipment or materials _____
- 16. Sewage Disposal System _____
- 17. Water Supply System _____
- 18. Other: Explain _____

Note: Conditional Use requires add'l. information due to specific standards, public hearing, and Planning Board review.

³ Certain prohibitions apply in Velocity Zone

Attach a Site Plan – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: *Logan P. Haley, President* Date: 1-20-10
 Signature *General Marine Coast*

Authorized Agent: _____ Date: _____
 Signature

(This section to be completed by Municipal Official)

Date Submitted 1/20/10 Fee Paid dk Reviewed by CEO VG Reviewed by Planning Board Staff Eric Bailey
 Permit # 10-0053 Issued by [Signature] Date 1/20/10
 Approved letter 1/11/10

FLOOD HAZARD DEVELOPMENT PERMIT
For Minor Development

Portland, Maine
(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 042 - F - Lot #: 0019.002 / 446 Commercial St / Holyoke wharf

Project Description: To construct a 4.5' x 55' finger pier extension with a mooring Dolphin at the end of Holyoke wharf

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

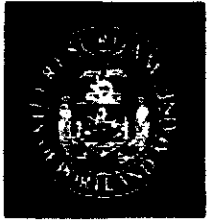
I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: [Signature] Signature President Date: 1-20-10
General Mgmt. Const.

Authorized Agent: _____ Date: _____
Signature

Issued by: [Signature] Date: 1/20/10

Permit #: # 10-0053
042 - F - 1



Planning & Urban Development Department
Penny St. Loop, 5th Fl. Director

JANUARY 11, 2010

Roger Hantz
418 Commercial St
Portland, ME 04101

Project Name: Holyoke Finger Pier
Project ID: 09-70900020
Project Address: 418 COMMERCIAL ST
Planner: Erick Giles, AICP, LFED AP

Dear Applicant

On 1/6/10, the Portland Planning Authority approved a minor site plan for 418 Commercial Street as submitted by the Applicant and shown on the approved plan dated 7/16/09 prepared by Baker Design Consultants with the following conditions:

1. The applicant shall submit a Flood Hazard Development application to the Zoning Administrator for review and approval.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Authority pursuant to the terms of Chapter 14 of the Portland Land Use Code.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. Seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any

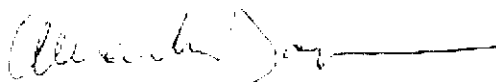
modifications to the approved plans, you must submit a revised site plan application for staff review and approval.

5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact **Erick Giles** at **207-874-8723** or **egiles@portlandmaine.gov**

Sincerely,



Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barnhardt, Development Review Services Manager
Erick Giles, Planner
Philip DiPietro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director

Lisa Danforth Administrative Assistant
Michael Bobinsky Public Services Director
Kathi Farley Public Services
Bill Clark Public Services
David Margolis-Pineo Deputy City Engineer
Jane Ward Public Services
Keith Gautreau Fire
Jeff Taring City Arborist
Tom Enrico Wibur Smith Consulting Engineers
Dan Goyette Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy Project File

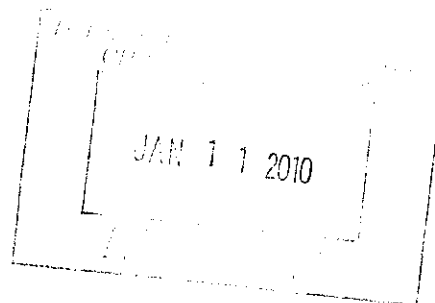


Planning & Urban Development Department
Perry, St. Louis, Inter. Center

JANUARY 11, 2010

Roger Hantz
418 Commercial St
Portland, ME 04101

Project Name: Holyoke Finger Pier
Project ID: 09-70900020
Project Address: 418 COMMERCIAL ST
Planner: Frank Giles, AICP, LEED AP



Dear Applicant:

On 1/6/10, the Portland Planning Authority approved a minor site plan for 418 Commercial Street as submitted by the Applicant and shown on the approved plan dated 7/16/09 prepared by Baker Design Consultants with the following conditions:

1. The applicant shall submit a Flood Hazard Development application to the Zoning Administrator for review and approval.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Authority pursuant to the terms of Chapter 14 of the Portland Land Use Code.
2. The above approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg) release AutoCAD 2005 or greater.
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modifications to the approved plans, you must submit a revised site plan application for staff review and approval.

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Tammy Munson, Inspections Division Director

Chris Dantonio, Administrative Assistant
Michael Borinsky, Public Services Director
Kathy Laney, Public Services
Bill Clark, Public Services
David Margulis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gauthreau, Fire
Jeff Taring, City Arborist
Tom Arnold, Wheeler Smith Consulting Engineers
Dan Goyette, Woodard & Lothar
Assessors Office
Approval Letter File
Hard Copy - Project File

Comments
Submitted

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 09-79900020 **Application Date:**

Project Name: HOLYOKE FINGER PIER

Address: 418 Commercial St **CBL:** 042 - F-001-001

Project Description: Commercial Street - 418; Holyoke Finger Pier; General Marine Construction; Applicant.

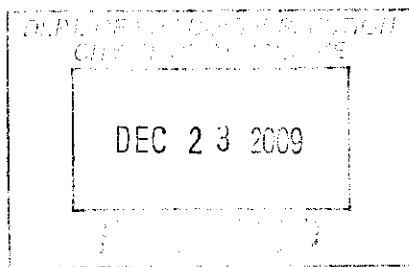
Zoning: WTRNT/SHORELAND OVERLAY

Other Reviews Required:

Review Type: MINOR SITE PLAN

General Marine Construction
Roger Hale

Portland Me 04101



Distribution List:

<input type="checkbox"/> Planner	Eric Giles	<input type="checkbox"/> City Arborist	Jeff Tarling
<input checked="" type="checkbox"/> Zoning Administrator	[REDACTED]	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Inspections	Tammy Munson	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Stormwater	Dan Goyette
<input type="checkbox"/> Parking	John Peverada	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input type="checkbox"/> DRC Coordinator	Phil DiPierro		

Preliminary Comments needed by: Wednesday, December 30th.

Final Comments needed by:



Development Review Application PORTLAND, MAINE

Department of Planning and Urban Development,
Planning Division and Planning Board

PROJECT NAME: Hoboken Fudge Pier

PROPOSED DEVELOPMENT ADDRESS:

Hoboken Fudge Pier, 415 Commercial St., Portland

PROJECT DESCRIPTION:

New wooden ramp and canopy to serve existing
ramp north of end of Hoboken Pier.

CHART/BLOCK/LOT: Block 92 / 1-1

CONTACT INFORMATION:

APPLICANT

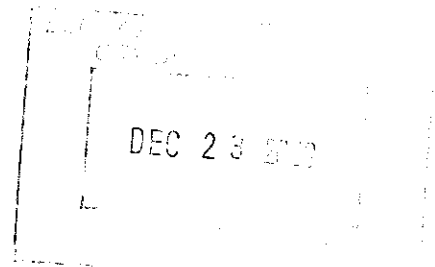
Name: REED KEGEL HARK-SE
Address: GERARD HARK CONSTRUCTION
415 Commercial St.
Zip Code: PORTLAND, ME 04101
Work #: 772-5354
Cell #: _____
Fax #: _____
Home: _____
E-mail: germark@bcl.com

PROPERTY OWNER

Name: _____
Address: SAME AS APPLICANT
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

BILLING ADDRESS

Name: _____
Address: SAME AS
APPLICANT.
Zip: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____



~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: _____
Address: 2001 1st Sycamore

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ENGINEER

Name: Barney Baker PE
Address: BAKER DESIGN CONSULTANTS
11 STORY PARK LANE
Zip Code: VERMONT, ME 04916
Work #: 207 846 7934
Cell #: 207 846 3636
Fax #: 207 846 3620
Home: _____
E-mail: bbaker@maine.net.com

ARCHITECT

Name: _____
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

CONSULTANT

Name: _____
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

SURVEYOR

Name: _____
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ATTORNEY

Name: _____
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

APPLICATION FEES:

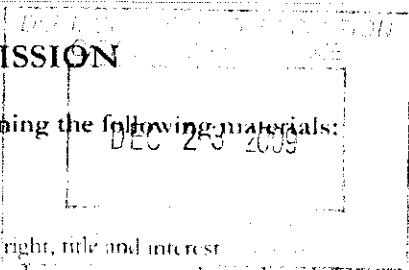
Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking for over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> Architectural Review (\$1,000.00) plus applicable application fee</p>	<p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p> <p>Subdivision</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____</p> <p><input type="checkbox"/> (\$25.00 per lot) + _____ (if applicable)</p> <p><input type="checkbox"/> Major site plan fee</p>
<p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> Architectural Review (\$1,000.00) plus applicable application fee</p>	<p>Other Reviews</p> <p><input type="checkbox"/> Site Location of Development (\$5,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input type="checkbox"/> Stormwater Quality (\$250.00)</p> <p><input type="checkbox"/> Section 11-403 Review (\$300.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p>

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:

1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525.2 (c)), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One letter of plans reduced to 11 x 17.



Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-191) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandoregon.gov. Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable time to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant: <i>[Handwritten Signature]</i></p>	<p>Date: 12.18.09</p>
---	-----------------------

Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Project Name, Address of Project 418 Commercial St.

Application Number

(The form is to be completed by the Applicant or Designated Representative)

Check Submitted Required Information Section 14-525 (b,e)

Applicant	Staff	Required Information	Section 14-525 (b,e)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Site and boundary survey, stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Name and address of applicant and name of proposed development	a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scale and north point	b
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Boundaries of the site	c
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Total land area of site	d
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topography, existing and proposed (2 foot intervals or less)	e
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Part based on the boundary survey including:	f
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing soil conditions	a
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of water courses, wetlands, marsh, rock outcroppings, and wooded areas	b
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location, ground floor area and grade elevations of building and other structures to be constructed, elevation drawings of exterior facades, and materials to be used	c
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Approximate location of buildings or other structures on parcels abutting the site and a summary of applicable dimensional standards (example page 11 of page 1)	d
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of on-site waste receptacles	e
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Public utilities	f
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Water and sewer mains	g
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Culverts, drains, existing and proposed, showing size and directions of flows	h
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions, and ownership of easements, public or private rights of way, both existing and proposed	i
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site pedestrian and vehicular access ways	j
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parking areas	k
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Loading facilities	l
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Design of ingress and egress of vehicles to and from the site onto public street	m
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Curbs and sidewalks	n
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape plan showing:	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of existing vegetation and proposed vegetation	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Type of vegetation	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Quantity of plantings	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size of proposed landscaping	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing areas to be preserved	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Preservation measures to be employed	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Details of planting and preservation specifications	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of all fencing and screening	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and intensity of outdoor lighting system	o
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of fire hydrants, existing and proposed (refer to Fire Department checklist page 11)	k
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Written statements to include:	c
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Description of proposed uses to be located on site	d
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Quantity and type of residential, if any	d
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Total land area of the site	e
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Total floor area, total disturbed area and ground coverage of each proposed building and structure	e
<input checked="" type="checkbox"/>	<input type="checkbox"/>	General summary of existing and proposed easements or other burdens	f
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Type, quantity and method of handling solid waste disposal	g
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application page 12)	h
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	i

Example of Zoning Summary

1.	Property is located in the IM Zone (Moderate Impact Industrial)		
2.	Parcel Average Lot Area (9,677.2 sq ft)		
	Regulations	Required/ Allowed	Provided
	Min. Lot Area	none	59,677.2 sq ft
	Min. Street Frontage	60 ft.	314.16 ft.
	Min. Front Yard Setback	1 ft./ 1 ft. Building Height	72.04 ft.
	Min. Rear Yard Setback	1 ft./ 1 ft. Building Height	35.66 ft.
	Min. Side Yard Setback	1 ft./ 1 ft. Building Height	82.80 and 38.22
	Max. Building Height	75 ft.	75 ft.
4.	Parading Warehouse Distribution	1 space/1000 sq ft.	1 space
5.	Maximum Impervious Surface Ratio	75%	75%

Portland Fire Department Checklist

A separate drawing(s) shall be provided to the Portland Fire Department for all site plan reviews, which shall include:

1. Name, address, telephone number of applicant.
2. Name, address, telephone number of architect.
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures.
6. Proposed fire protection of all structures.
7. Hydrant location.
8. Water main(s) size and location.
9. Access to any fire department connections.
10. Access to all structures [min. 2 sides]
11. A code summary shall be included referencing NFPA I and all fire department Technical standards.
12. Elevators shall be sized to fit an 81" x 25" stretcher and two personnel.
13. Some structures may require fire flows using annex II of NFPA I.

Additional Submission for Subdivisions:

Street Names and Street Numbering for Proposed Subdivisions

Notice to Developers of New Subdivisions

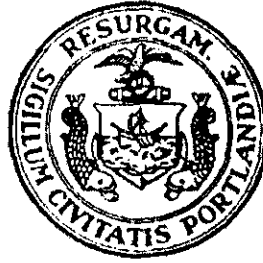
Effective January 1, 1998, the City of Portland requests that developers of new subdivisions submit information regarding the origin of the name of any new streets created within the City limits. This information shall be submitted to the Planning Division with all other related application materials and shall include information regarding the person or subject for which all new streets are being named. In the case of a person, the full name should be submitted, as well as their vocation, relationship to the developer or the area, or other pertinent information.

Street Numbering Assignments

The assignment of official street addresses is the sole responsibility of the Department of Public Services. These assignments proceed by a set of guidelines and are done from submitted site plans whenever possible. For Enhanced 911 purposes, they need to be as accurate as possible and, depending on size and site layout, the creation of new street names may be required. Despite addresses listed on such things as the check sheet for site plan approval, building inspection documents, or tax maps, it is requested you contact the Department of Public Services for your official addresses. Please call, Leanne Simon, GIS Surveyor at (207) 874-8346.

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2091



Mr. Frank J. Brancey,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: _____

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: _____
(Regarding addresses, please contact Leslie Kavanagh either at 726-8546, or at LMK@ci.portlandmaine.gov)
Proposed Use: _____
Previous Use: _____
Existing Sanitary Flows: _____ GPD
Existing Process Flows: _____ GPD
Description and location of City sewer, at proposed building sewer lateral connection: _____

Chart Block Lot Number: _____

Site Category: _____
Commercial _____
Industrial (complex) *(see below)* _____
Governmental _____
Residential _____
Other (specify) _____

Clearly indicate the proposed connection, on the submitted plans.

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: _____ GPD
Peaking Factor/ Peak Times: _____
Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)*

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: _____
Owner/Developer Address: _____
Phone: _____ Fax: _____ E-mail: _____
Engineering Consultant Name: _____
Engineering Consultant Address: _____
Phone: _____ Fax: _____ E-mail: _____
City Planner's Name: _____ Phone: _____

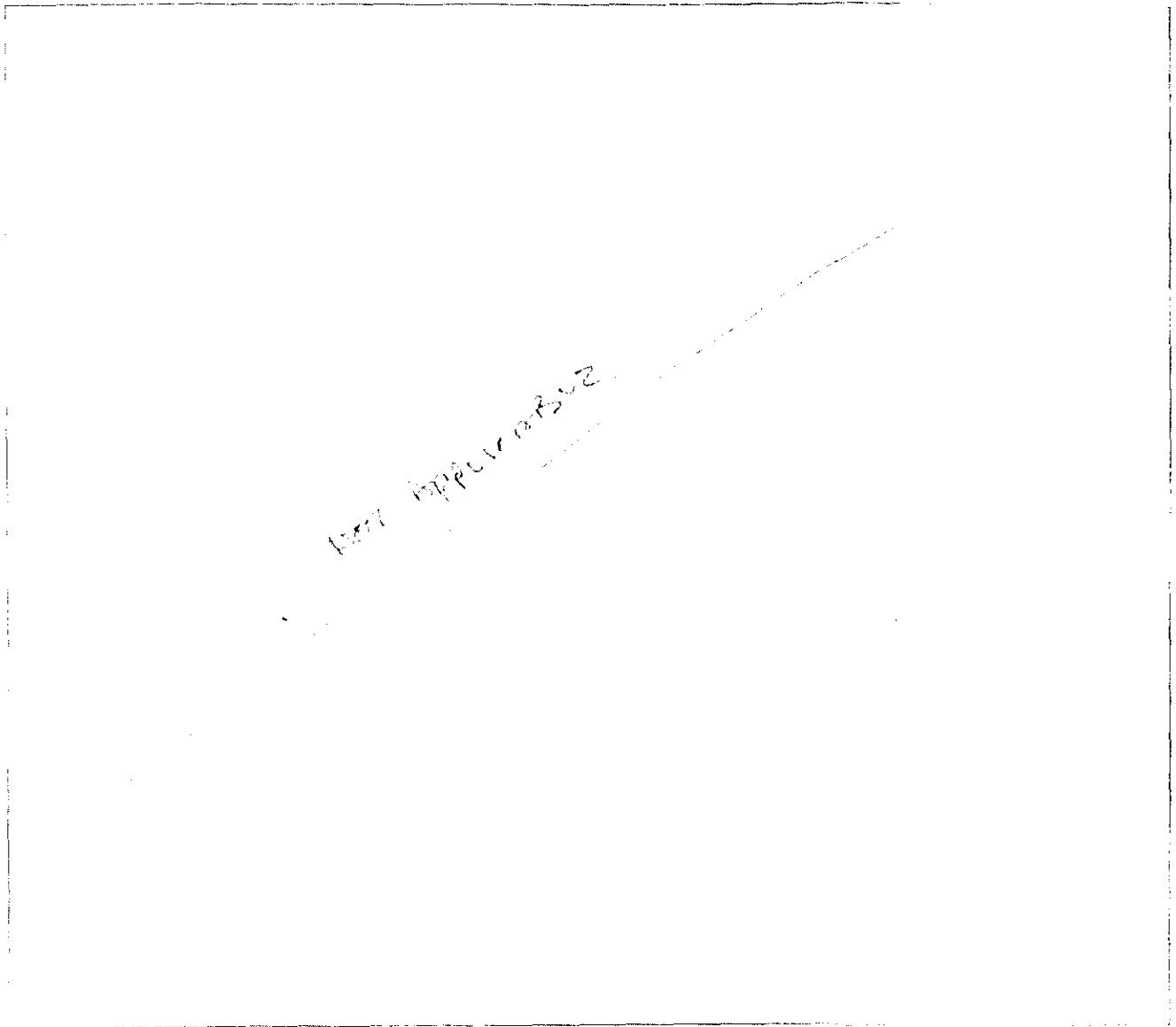
Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

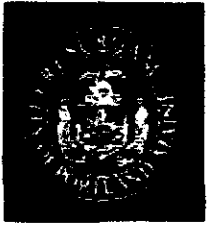
4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ GPD
Do you currently hold Federal or State discharge permits? Yes _____ No _____
Is the process wastewater termed categorical under CFR 40? Yes _____ No _____
OSHA Standard Industrial Code (SIC): _____ *(http://www.cia.gov/ush-hats/sic/c.html)*
Peaking Factor/Peak Process Times: _____

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:



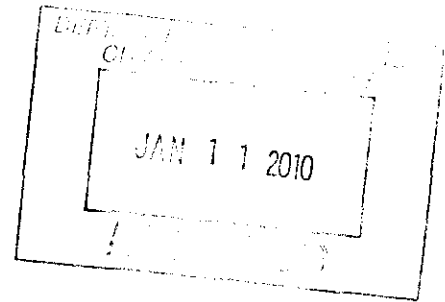


Planning & Urban Development Department
Penny St. Louis Hotel Building

JANUARY 11, 2010

Roger Hantz
418 Commercial St
Portland, ME 04101

Project Name: Holyoke Finger Pier
Project ID: 09-79900020
Project Address: 418 COMMERCIAL ST
Planner: Erick Giles, AICP, LEED AP



Dear Applicant:

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Sincerely,

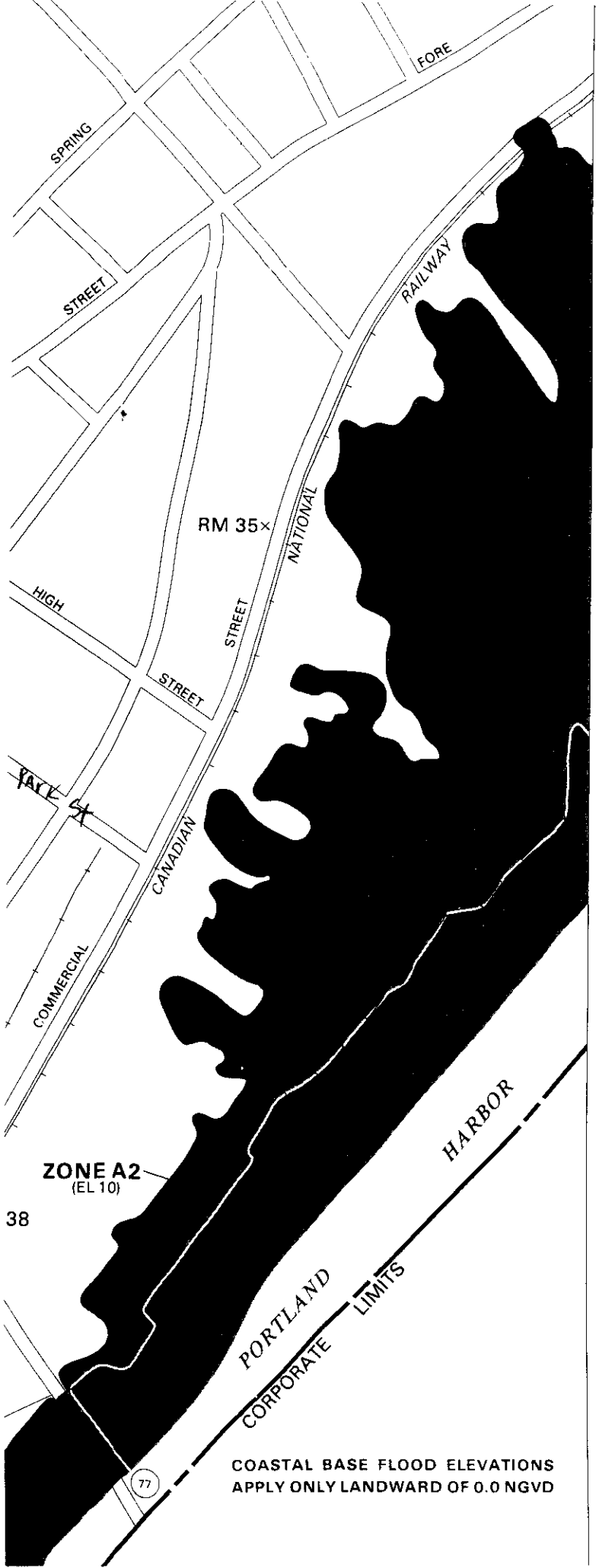


Alexander Jaegerman
Planning Division Director

Electronic Distribution:

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Tammy Munson, Inspections Division Director

Kisa Danforth - Administrative Assistant
Michael Bobinsky - Public Services Director
Kathi Farley - Public Services
Bill Clark - Public Services
David Margolis-Pineo - Deputy City Engineer
Jane Ward - Public Services
Keith Gauvreau - Fire
Jeff Taring - City Arborist
Tom Elnice - Wilbur Smith Consulting Engineers
Dan Goyette - Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy - Project File

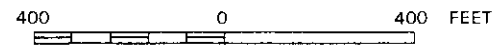


Refer to the FLOOD INSURANCE RATE MAP EFFECTIVE date shown on this map to determine when actuarial rates apply to structures in the zones where elevations or depths have been established.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program, at (800) 638-6620.



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

**CITY OF
PORTLAND, MAINE
CUMBERLAND COUNTY**

PANEL 13 OF 17
(SEE MAP INDEX FOR PANELS NOT PRINTED)

**COMMUNITY-PANEL NUMBER
230051 0013 B**

**EFFECTIVE DATE:
JULY 17, 1986**



Federal Emergency Management Agency

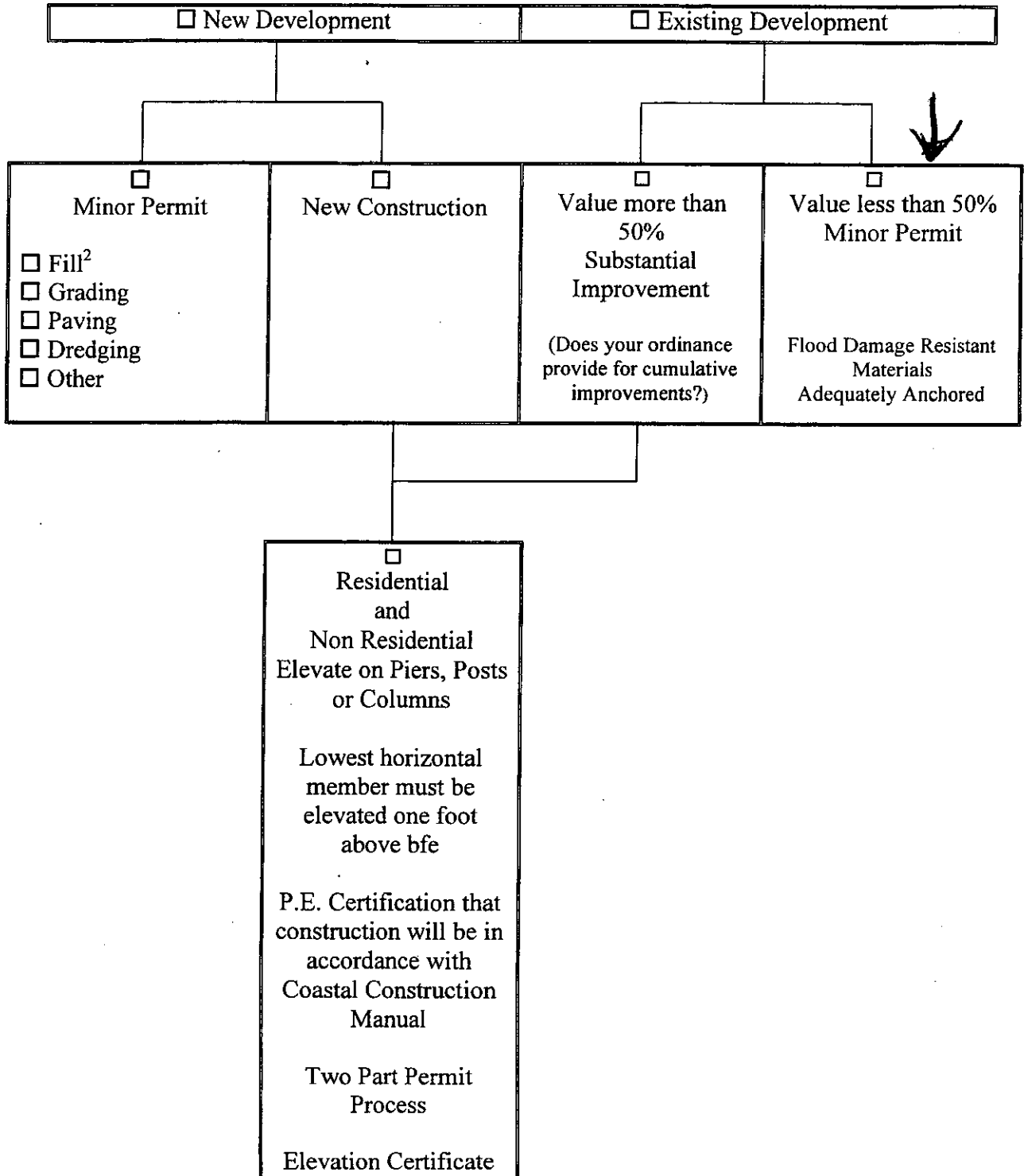
COASTAL BASE FLOOD ELEVATIONS
APPLY ONLY LANDWARD OF 0.0 NGVD

38

77

V1-30 and VE Zones

Decision Tree – Page 6



² Not for construction of a walled and roofed structure.

Copies

FLOOD HAZARD DEVELOPMENT APPLICATION

Portland, Maine

(All applicants must complete entire application)
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: GENERAL MARINE Const/Roger Hale Address: 446 Commercial St

Phone No.: (207) 772-5354 Portland, ME 04101

Applicant: BARNEY BAKER PE Address: 11 Stony Brook Lane

Phone No.: (207) 846-9724 (O) Yarmouth, MAINE 04096

Contractor: (207) 838-3636 (C) Address: _____

Phone No.: _____

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: 042-F- Lot #: 001 & 002

Address: 446 Commercial Street/Holyoke wharf
Street/Road Name

Zip Code: 04101
Town/Zip Code

General explanation of proposed development: to construct a finger pier extension
(~55 feet) with a mooring dolphin at the end of Holyoke wharf
(~4.5' wide)

Estimated Value of Proposed Development: \$50,000⁰⁰

Proposed Lowest Floor elevation [for new or substantially improved structure]: _____

OTHER PERMITS

Are other permits required from State or Federal jurisdictions? Yes No
If yes, are these other permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private Existing Proposed Not Applicable Type _____
Water Supply: Public Private B-9

Made to Roger Hale 1/19/10

(This section to be completed by Municipal Official)

LOCATION

Flooding Source (name of river, pond, ocean, etc.): Ocean

- V1-30 Zone VE Zone AE Zone A1-30 Zone A Zone AO Zone AH Zone
- FRINGE FLOODWAY (1/2 width of floodplain in A Zone)

V3

Base Flood Elevation (bfe) at the site 12 NGVD [Required for New Construction or Substantial Improvement]

Lowest floor elevation of proposed or existing structure _____ NGVD [Required for New Construction or Substantial Improvement]

If proposed development is in an AE or A1-30 Zone and cross section data is available in the Flood Insurance Study, please note the nearest cross-section reference letter and elevation of base flood at nearest cross section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site _____
Below Site _____	Below Site _____

Basis of unnumbered A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC/RAS HEC II HY 7 TR20 TR55 Quick-2 Other _____
- Highest Known Water Level
- Other (Explain) _____

VALUE

If the development involves work on an existing structure, enter the Market Value of existing structure before improvements:

\$ Land Value: \$551,000
Bldg Value: \$342,020

- New Construction or Substantial Improvement Minor improvement or minor addition to existing development

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested and complete information for each applicable line:

- | | | |
|--|----------------------------------|-----------------------|
| <input type="checkbox"/> 1. Residential Structure | Dimensions _____ | Cubic Yards _____ |
| <input type="checkbox"/> 1a. New Structure | _____ | _____ |
| <input type="checkbox"/> 1b. Add to Structure | _____ | _____ |
| <input type="checkbox"/> 1c. Renovations/repairs/maintenance | _____ | _____ |
| <input type="checkbox"/> 2. Non-Residential Structure | | |
| <input type="checkbox"/> 2a. New Structure | _____ | _____ |
| <input type="checkbox"/> 2b. Add to Structure | _____ | _____ |
| <input type="checkbox"/> 2c. Renovations/repairs/maintenance | _____ | _____ |
| <input type="checkbox"/> 2d. Floodproofing | _____ | _____ |
| <input type="checkbox"/> 3. Accessory Structure | _____ | _____ |
| <input checked="" type="checkbox"/> 4. Functionally Dependent Use: | | |
| <input type="checkbox"/> 4a. Dock | _____ | _____ |
| <input checked="" type="checkbox"/> 4b. Pier extension | <u>x 55 feet long, 4.5' wide</u> | _____ |
| <input type="checkbox"/> 4c. Boat Ramp | <u>Dolphin</u> | _____ |
| <input type="checkbox"/> 4d. Other | _____ | _____ |
| <input type="checkbox"/> 5. Paving | _____ | _____ |
| <input type="checkbox"/> 6. Conditional Use (Lobster/Fish Shed seaward of mean high tide) | _____ | _____ |
| <input type="checkbox"/> 7. Filling ³ | _____ | _____ |
| <input type="checkbox"/> 8. Dredging | _____ | _____ |
| <input type="checkbox"/> 9. Excavation | _____ | _____ |
| <input type="checkbox"/> 10. Levee | _____ | _____ |
| <input type="checkbox"/> 11. Drilling | _____ | _____ |
| <input type="checkbox"/> 12. Mining | _____ | Number of Acres _____ |
| <input type="checkbox"/> 13. Dam: Water surface to be created | _____ | _____ |
| <input type="checkbox"/> 14. Water Course Alteration | _____ | _____ |
| Note: Detailed description must be attached with copies of all applicable notifications, state and federal permits. | | |
| <input type="checkbox"/> 15. Storage of equipment or materials | _____ | _____ |
| <input type="checkbox"/> 16. Sewage Disposal System | _____ | _____ |
| <input type="checkbox"/> 17. Water Supply System | _____ | _____ |
| <input type="checkbox"/> 18. Other: Explain | _____ | _____ |

Note: Conditional Use requires add'l. information due to specific standards, public hearing, and Planning Board review.

³ Certain prohibitions apply in Velocity Zone

Attach a Site Plan – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VLL.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: _____ Date: _____
Signature

or

Authorized Agent: _____ Date: _____
Signature

(This section to be completed by Municipal Official)

Date: Submitted _____; Fee Paid _____; Reviewed by CEO _____; Reviewed by Planning Board _____

Permit # _____ Issued by _____ Date _____

FLOOD HAZARD DEVELOPMENT PERMIT

For Minor Development

Portland, Maine
(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 042 - F - Lot #: 0019.002 446 Commercial St/Holyoke Wharf

Project Description: To construct a 4.5' x 55' finger pier extension with a mooring Dolphin at the end of Holyoke wharf

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: _____ Date: _____
Signature

or

Authorized Agent: _____ Date: _____
Signature

Issued by: _____ Date: _____

Permit #: _____

Assessor's Office 699 Congress Street Portland, Maine 04101 Phone: 115.207.874 8495

[Home](#)
[Departments](#)
[City Council](#)
[E-Services](#)
[Calendar](#)
[Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

CBL 042 F001001
Land Use Type MANUFACTURING & CONSTRUCTION
Property Location 418 COMMERCIAL ST
Owner Information GENERAL MARINE CONSTRUCTION CORPORATION
 446 COMMERCIAL ST
 PORTLAND ME 04101
Book and Page 10208/83
Legal Description 42-F-1-2
 COMMERCIAL ST 412-420
 W 25482
Acres 0.585

Current Assessed Valuation:

TAX ACCT NO.	6240	OWNER OF RECORD AS OF APRIL 2009
		GENERAL MARINE CONSTRUCTION CORPORATION
		446 COMMERCIAL ST
		PORTLAND ME 04101
LAND VALUE	\$551,000.00	
BUILDING VALUE	\$342,020.00	
NET TAXABLE - REAL ESTATE	\$893,020.00	
TAX AMOUNT	\$15,842.18	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed in 800x600 with Internet Explorer

Building Information:

Card 1 of 1

Year Built 1951
Style/Structure Type WAREHOUSE
Units 1
Square Feet 11246

[View Sketch](#)
[View Map](#)
[View Picture](#)



Exterior/Interior Information:

Card 1

Levels 01/01
Size 9566
Use WAREHOUSE
Height 13
Walls METAL-LIGHT
Heating UNIT HEAT
A/C NONE

Card 1

Levels 02/02
Size 1680
Use MULTI-USE STORAGE
Height 12
Walls METAL-LIGHT
Heating UNIT HEAT
A/C NONE

Other Features:

Card 1

Structure OVERHEAD DOOR - WD/MT
Size 10X14

Card 1

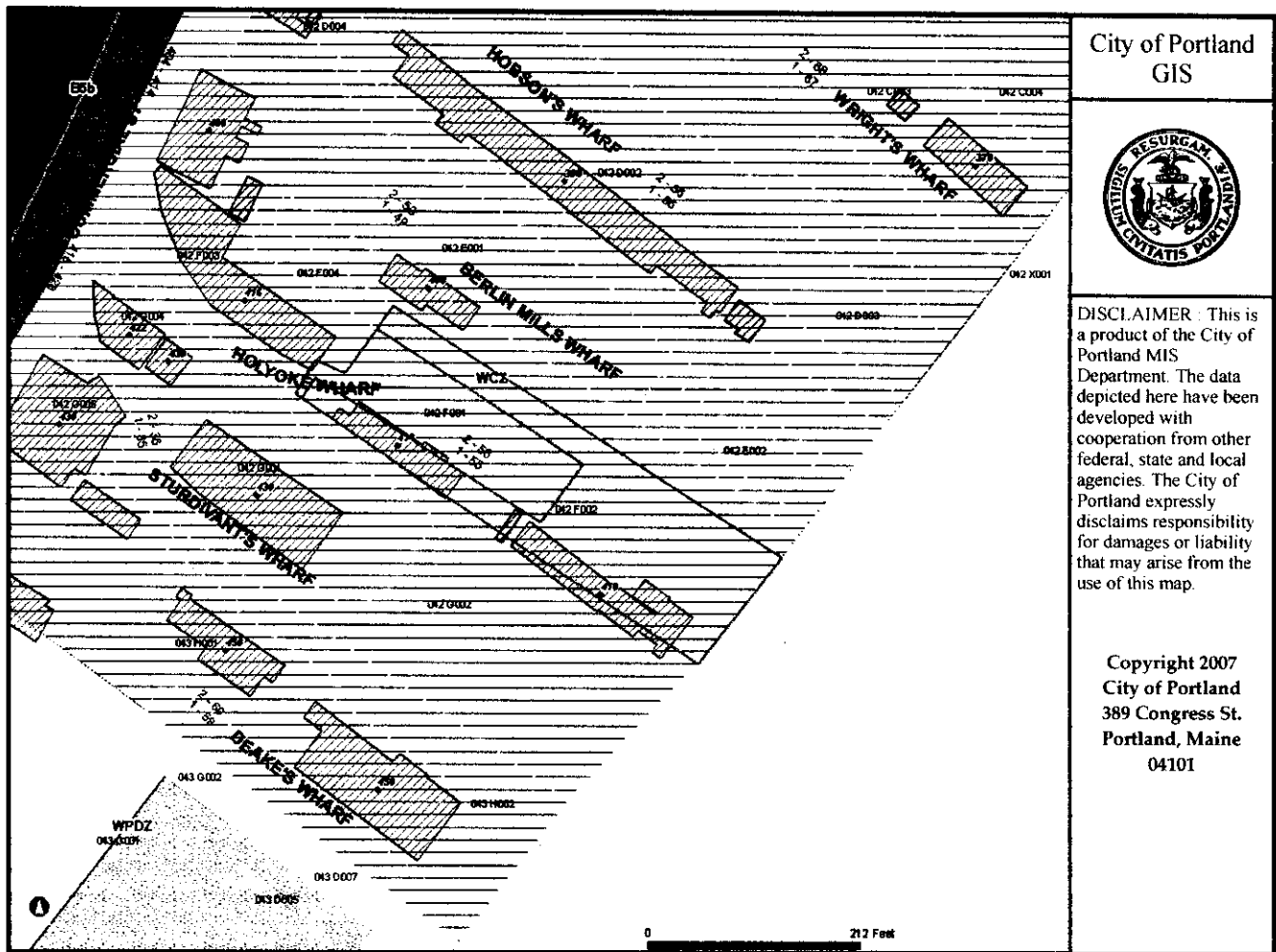
Structure OVERHEAD DOOR - WD/MT
Size 8X8

Outbuildings/Yard Improvements:

Card 1

Year Built 1951

Estimated cost of project \$50,000 given



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

**ZONING ADMINISTRATOR
MARGE SCHMUCKAL
DECEMBER 31, 2009**

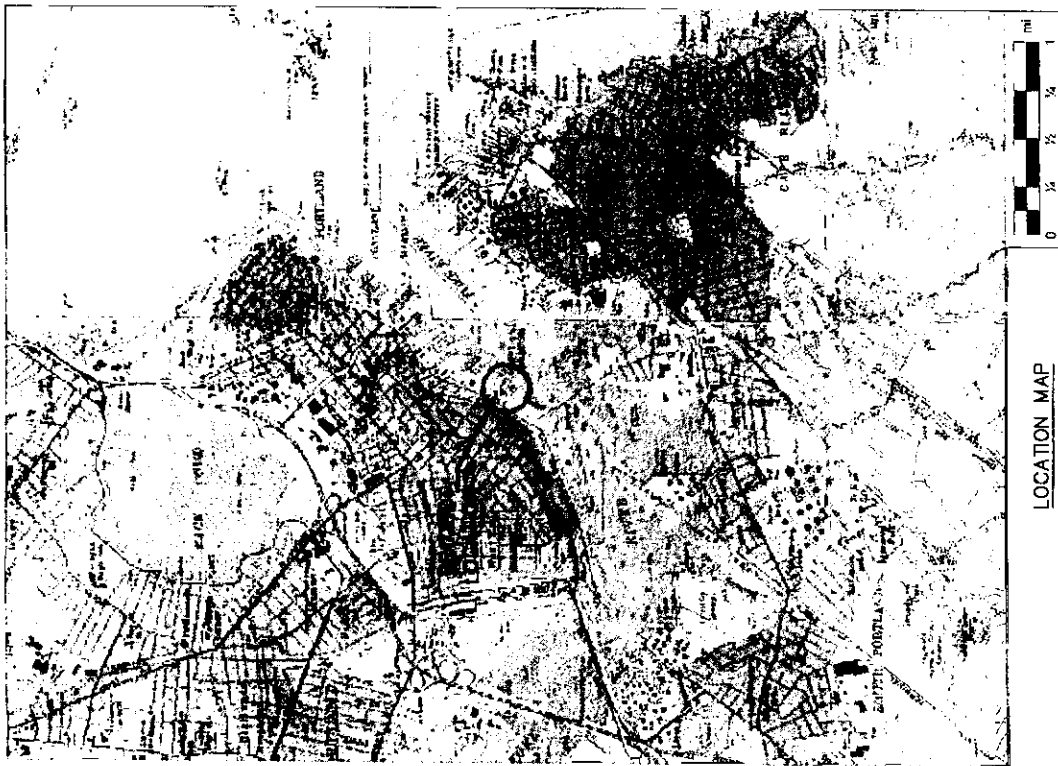
The project for a finger pier and mooring dolphin extension (55 feet) at the end of Holyoke Wharf. The property is located within a WCZ zone with a shoreland overlay. The new finger pier is located within a V-3 floodplain zone with a given elevation of 12'. There are floodplain paperwork that must be filled out (a standard Flood Hazard Development Application and a Minor Permit Application. The project is valued at less than 50% of the existing development. Flood Damage Resistant Materials shall be used and the pier shall be adequately anchored.

This project in the WCZ Zone has no impact on marine uses. The project actually enhances the existing marine uses.

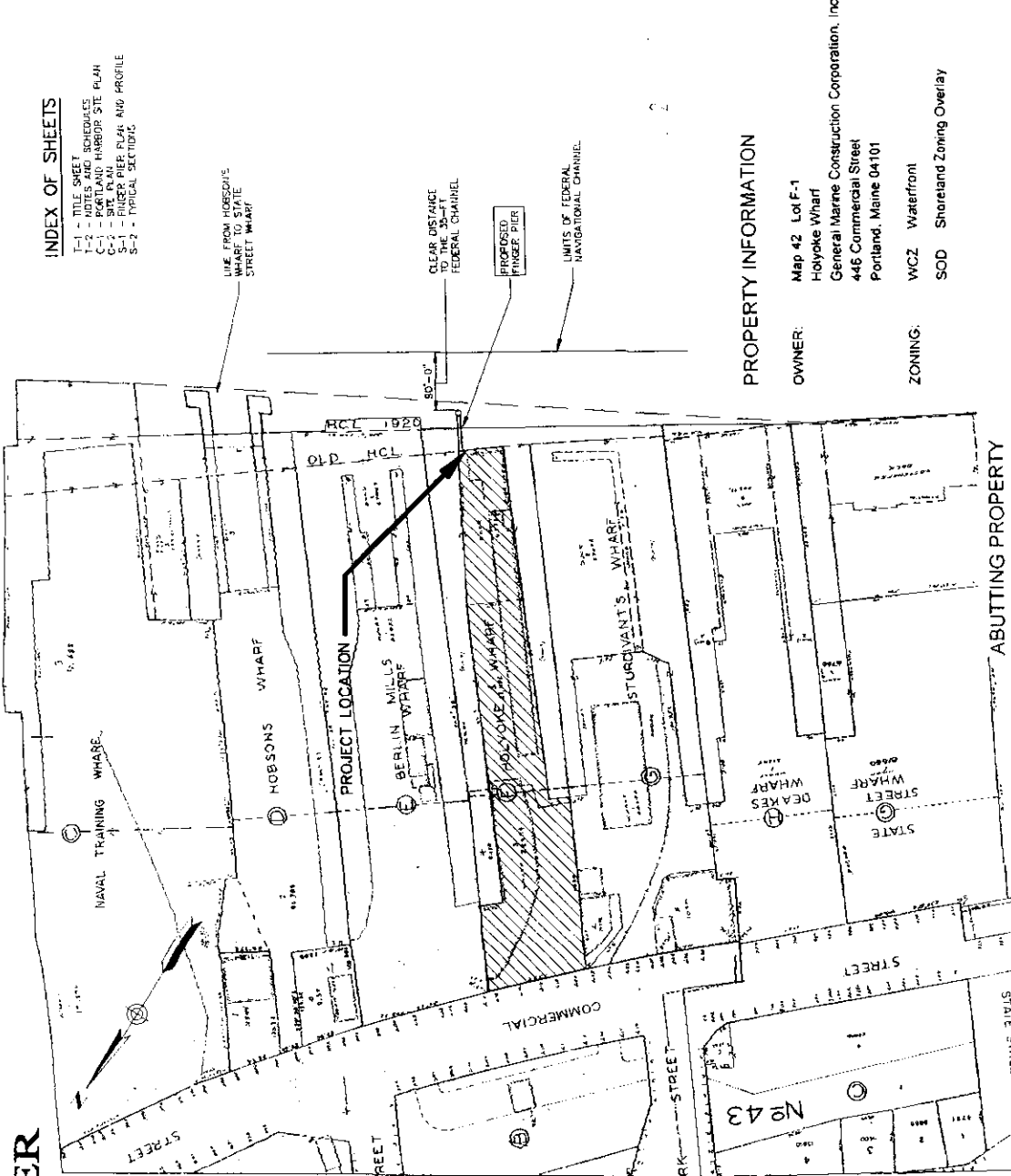
The applicant has applied for and Army Corps of Engineers approval and shown us a copy of that application. The applicant has submitted approvals from the Harbor Commissioner and DEP and the submerged Lands ok.

This project is meeting the zoning requirements.

HOLYOKE WHARF - FINGER PIER PORTLAND, MAINE PROJECT NO. 07075



PRELIMINARY



Name	Map	Lot	Address
Portland Ferry Terminal Wharf - Maine Central Railroad Co	43	D	466 COMMERCIAL STREET, PORTLAND, ME 04104
State Street Wharf - City of Portland	43	G	454 COMMERCIAL STREET, PORTLAND, ME 04104
General Marine Construction Corp.	43	H	450 COMMERCIAL STREET, PORTLAND, ME 04104
Sturdivant's Wharf LLC	42	G	430 COMMERCIAL STREET, PORTLAND, ME 04104
Berlin Mills Wharf	42	E	400 COMMERCIAL STREET, PORTLAND, ME 04104
Hobson Pier Inc	42	D	380 COMMERCIAL STREET, PORTLAND, ME 04104
Naval Training Wharf	42	C	378 COMMERCIAL STREET, PORTLAND, ME 04104

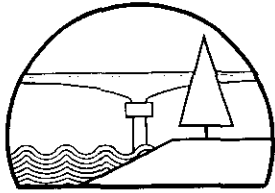
PROPERTY INFORMATION

OWNER: Map 42 Lot F-1
Holyoke Wharf
General Marine Construction Corporation, Inc.
446 Commercial Street
Portland, Maine 04101

ZONING: WCZ Waterfront
SOD Shoreland Zoning Overlay

		PROJECT TITLE: HOLYOKE WHARF - FINGER PIER PROJECT: GENERAL MARINE CONSTRUCTION CORP., INC. PORTLAND, MAINE
DESIGNED BY: B.B. DRAWN BY: MSH CHECKED BY: B.B. SCALE: AS SHOWN	DATE: 07/14/08 CONTRACT NO.: 07075 SHEET NO.: REV. 2	TITLE SHEET
NO. 1 DATE: 10/20/08 NT: B.B. DATE: 10/01/08 NT: B.B.	SUBMISSION: Progress Rev DATE: 10/01/08 NT: B.B. DATE: 10/20/08 NT: B.B.	BAKER DESIGN CONSULTANTS (Civil, Marine, and Structural Engineering) 11 Seng Stock Lane, Farmville, Maine 04002, Tel: (207) 846-3633

- INDEX OF SHEETS**
- T-1 - TITLE SHEET
 - T-2 - NOTES AND SCHEDULES
 - C-1 - PORTLAND HARBOR SITE PLAN
 - C-2 - RIVER AND WHARF LAYOUT
 - S-1 - RIGGS PIER PLAN AND PROFILE
 - S-2 - TYPICAL SECTIONS



BAKER DESIGN CONSULTANTS
Civil, Marine and Structural Engineering

To: Joseph Schmader
Berlin Mills Wharf
400 Commercial St
Portland, ME
04101-4660

From: Barney Baker, PE

Date: October 29, 2008

Subject: Holyoke Wharf Finger Pier

Copy: File, [REDACTED] Roger Hale

Job No: 07075

TRANSMITTAL

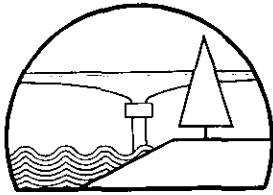
Reviewed
For your use
As per your request

VIA:

Personal Delivery
Special Delivery
Messenger
U.S. Mail
U.S. Express Mail
Overnight Express
UPS
Separate Cover
Fax
Modem

Roger Hale suggested I send you a preliminary plan set for the proposed work to improve existing berthing on Holyoke Wharf. We have completed a preliminary design review and are just beginning permitting enquiries.

We would appreciate any comments you have on the proposed improvements. Please contact Roger Hale, Sr or me at your convenience.



BAKER DESIGN CONSULTANTS
Civil, Marine and Structural Engineering

To: Doug Mayo
Sturdivants Wharf LLC
PO Box 526
Portland, Maine 04112

From: Barney Baker, PE

Date: October 29, 2008

Subject: Holyoke Wharf Finger Pier

Copy: File, [REDACTED] Roger Hale

Job No: 07075

TRANSMITTAL

Reviewed
For your use
As per your request

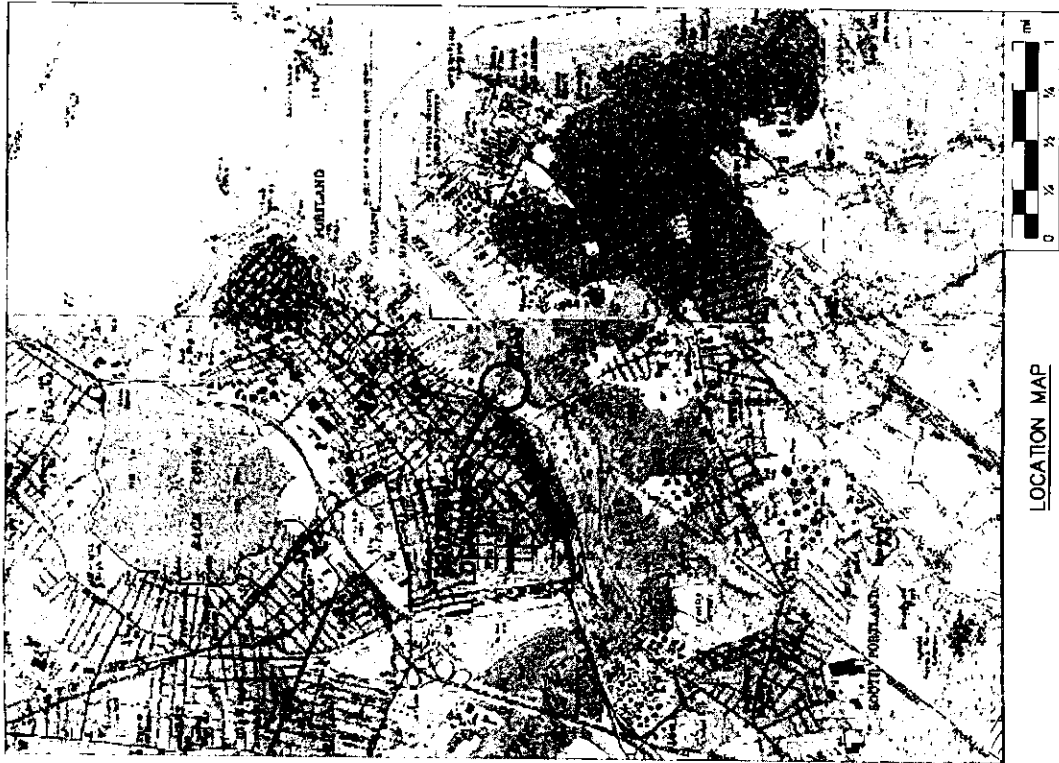
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HOLYOKE WHARF - FINGER PIER PORTLAND, MAINE PROJECT NO. 07075

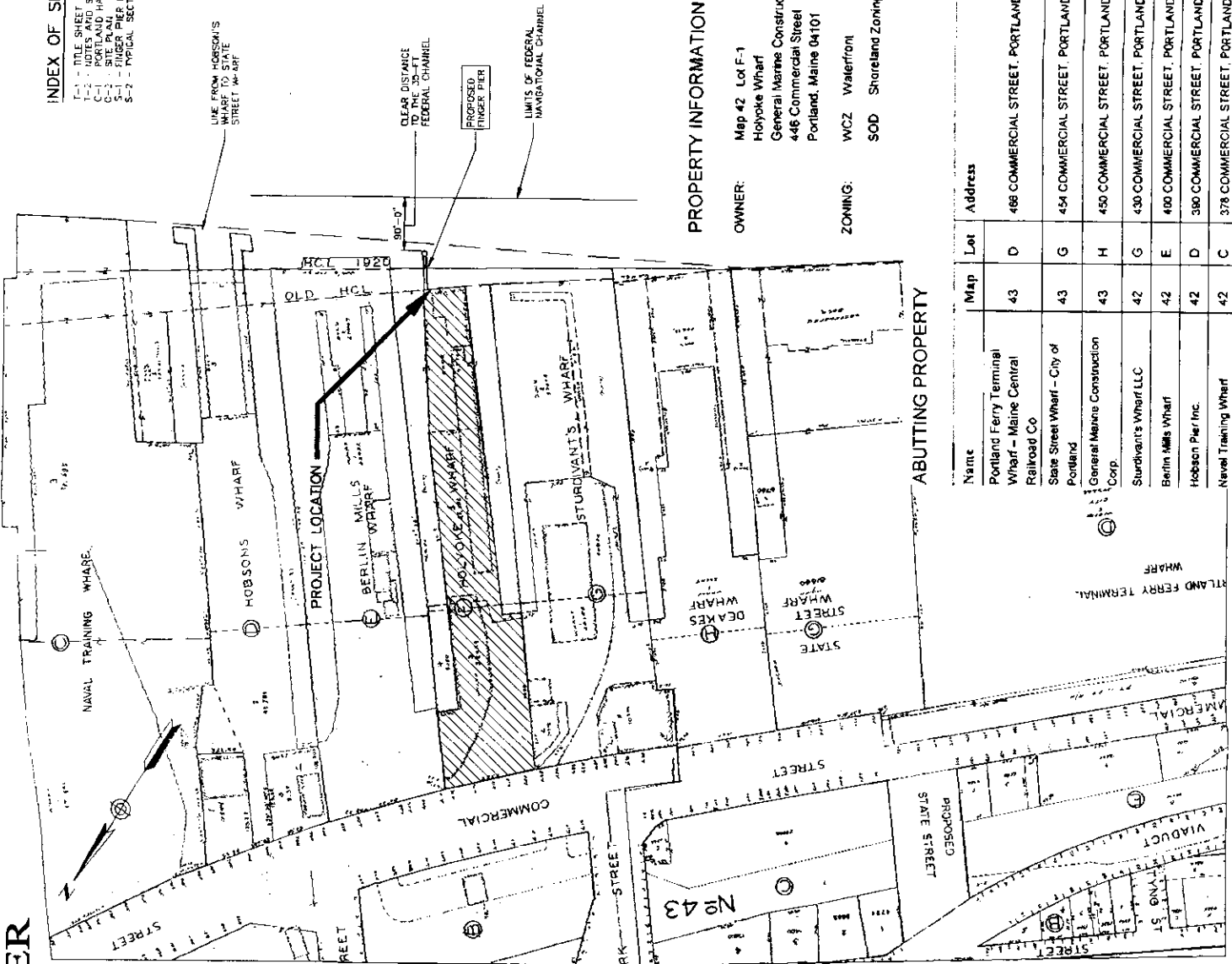


LOCATION MAP

PRELIMINARY

INDEX OF SHEETS

- 1-1 - TITLE SHEET AND REDUCED PORTLAND HARBOUR SITE PLAN
- 2-1 - SITE PLAN
- 3-1 - FINGER PIER PLAN AND PROFILE
- 3-2 - TYPICAL SECTIONS



PROPERTY INFORMATION

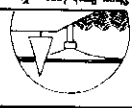
OWNER: Map 42 Lot F-1
Holyoke Wharf
General Marine Construction Corporation, Inc.
446 Commercial Street
Portland, Maine 04101

ZONING: WCZ Waterfront
SOD Shoreland Zoning Overlay

ABUTTING PROPERTY

Name	Map	Lot	Address
Portland Ferry Terminal Wharf - Maine Central Railroad Co	43	D	468 COMMERCIAL STREET, PORTLAND, ME 04104
State Street Wharf - City of Portland	43	G	454 COMMERCIAL STREET, PORTLAND, ME 04104
General Marine Construction Corp.	43	H	450 COMMERCIAL STREET, PORTLAND, ME 04104
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Naval Training Wharf	42	C	378 COMMERCIAL STREET, PORTLAND, ME 04104

BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering
11 Seung Hook Lane
Portland, Maine 04101
Tel: (207) 866-3636



NO.	DATE	DESCRIPTION
1	10/28/08	Program Rev
2	10/01/08	Preliminary Approval
3		
4		
5		
6		
7		
8		
9		
10		

DESIGNED BY: BJB
CHECKED BY: MSH
AS SHOWN: BJB
SCALE: AS SHOWN

TITLE SHEET
PROJECT: GENERAL MARINE CONSTRUCTION CORP., INC.
HOLYOKE WHARF - FINGER PIER
PORTLAND, MAINE
SHEET TITLE: TITLE SHEET
DATE: 07/14/08
CONTRACT NO: 07075
SHEET NO: 07075
REV: 1

SITE NOTES

- The Contractor shall be governed by the Construction Safety Rules as adopted by the State Board Of Construction Safety, Augusta, Maine
- The project is subject to the Safety And Health Regulations Of The Occupational Safety And Health Act (OSHA) as promulgated by the US Department Of Labor
- The plan is based on City of Portland Tax Map information, Army Corps FND Data, supplemental field survey by Royal River Surveying and test pile information provided by General Marine Corporation.
- All elevations are to be based on MLLW = 0. NGVD Conversion noted in the Table below
- Base flood tidal information was taken from FEMA and NOAA published data for Portland (NGVD datum).

Elevation	Chart Datum (ft)	NGVD (ft)	Notes
FEMA Base Flood Highest	14.6	10.0	FEMA A2-10, V3-12 Based on Portland
Spring Tide Elevation	14.2	9.6	Based on Portland
MHHW	10.7	6.1	Maine DEP Based on Portland
MHW	9.9	5.3	Based on Portland
Mean Tide Level	9.5	4.9	"
MLW	4.9	0.3	"
MLLW	4.6	0.0	"
Lowest	0.4	-4.2	"
	0.00	-4.6	"
	-3.4	-8.0	"

DESIGN CRITERIA

- Finger Pier Design Loading
 - Dead Loads + Utilities
 - Waikway Live Load, 100PSF
- Mooring Platform
 - Vessel Impact
 - Vessel Line Loads
 - Wave Height
 - Max Wind Speed
- All handrail and posts shall be constructed to withstand a 200 lb load applied in any direction or 50 lb/ft applied along rail length.
- Pier structure components have been sized with consideration of location on a hurricane coastline. In the event of a pending significant storm, vessels should be relocated to a protected area

REINFORCED CONCRETE

- Cast-in-Place: MDOT Class A ($f_c = 4350$ PSI)
- DCI Admixture: 3 GAL/CY Exposed concrete only.
- Minimum cover to reinforcement = 3"
- Reinforcing Steel: ASTM Grade 36; $f_y = 60,000$ PSI, Epoxy Coated

STEEL PIPE PILES and CASING

- Steel pipe piles shall be in accordance with ASTM A252 Grade 3
- Casing shall be A36 Steel protected with marine coating prior to placement.
- All piles to be fitted with open cutting shoe.
- The contractor shall take steps to protect coating from damage during handling and driving operations
- Piles shall be filled with concrete after installation of pile cap.
- All submerged steel shall have anodic protection. Use Alkaline Aluminum Anodes by Wilson International Inc. Model No. W-120 (or approved equal). Position 3'-0" below MLLW around the circumference of the steel casing at 5-ft spacing. Attach with 2 - 1/2" welded studs.

MISCELLANEOUS METALS AND FASTENERS

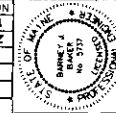
- All metal items to be A-36 steel, hot-dip galvanized after fabrication unless otherwise noted.
- All fasteners shall be hot dipped galvanized or stainless steel to resist corrosion.
- All bolts shall be heavy hex, ASTM A-307 unless otherwise noted. Minimum size shall be 3/4" dia. unless otherwise noted
- All timber connections, 'dock' washers shall be provided.
- All decking shall be fastened with 2 stainless steel screws or galvanized lag bolts at each support.

EROSION CONTROL NOTES

- The contractor will be required to have a copy of the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices, current edition and will be required to comply with the standards
- Material Stockpile. Material will be stockpiled off site or delivered directly to the site from barge or truck.

BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering
100 State Street, Portland, ME 04101
Tel: (207) 466-2828 Fax: (207) 466-2824

NO.	DATE	DESCRIPTION
1	10/01/08	Final Review
2	10/28/08	Final Review



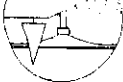
DESIGNED BY	B.B.
DRAWN BY	M.S.H.
CHECKED BY	B.B.
SCALE	AS SHOWN

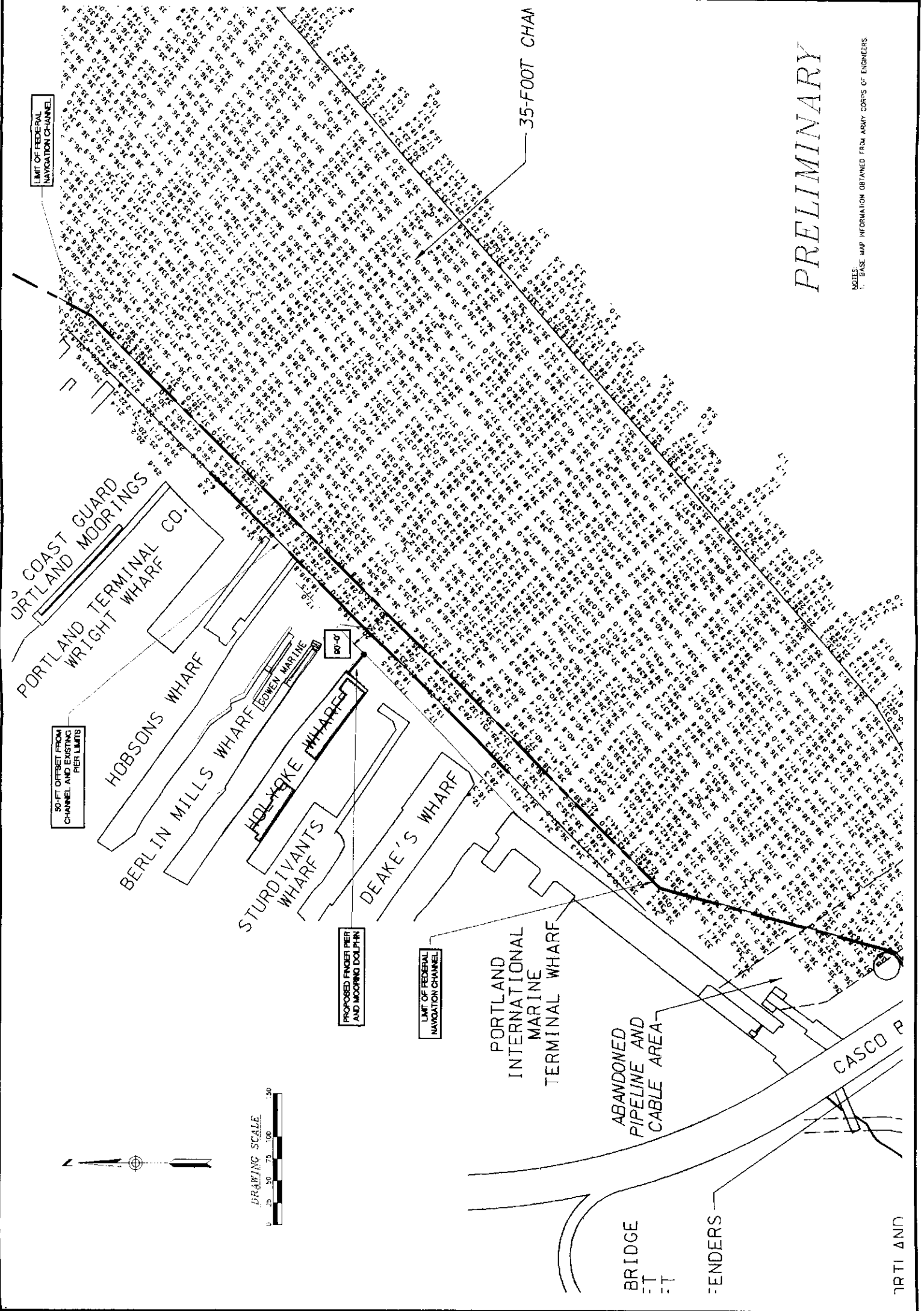
PROJECT: HOLYOKE WHARF - FINGER PIER
GENERAL MARINE CONSTRUCTION CORP., INC.
PORTLAND, MAINE

SHEET NO.	07075
CONTRACT NO.	07-14-08
DATE	07-14-08
SHEET REV.	T-2

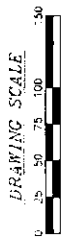
NOTES & SCHEDULES

PRELIMINARY

		BAKER DESIGN CONSULTANTS Civil, Marine and Structural Engineering 100 State Street, Portland, Maine 04101-2022 Tel: (207) 865-8270 Fax: (207) 865-8270	
NO. 1 SUBMISSION DATE 10/01/08 DRAWN BY BJB CHECKED BY BJB AS SHOWN	NO. 2 SUBMISSION DATE 10/28/08 DRAWN BY BJB CHECKED BY BJB AS SHOWN	PROJECT: GENERAL MARINE CONSTRUCTION CORP., INC. HOLYOKE WHARF - FINGER PIER PORTLAND HARBOR SITE PLAN PORTLAND, MAINE	
SHEET TITLE: PORTLAND HARBOR SITE PLAN DATE: 08-01-08 CONTRACT NO.: 07075 SHEET NO.: 1-1		NOTES: 1. BASE MAP INFORMATION OBTAINED FROM ARMY CORPS OF ENGINEERS	



PRELIMINARY



		BAKER DESIGN CONSULTANTS Civil, Marine, and Structural Engineering 11 Stuyvesant Lane, Vermont, Maine 04907-11 (207) 846-3721 Fax (207) 846-3628	
NO.	DATE	DESCRIPTION	BY
1	10.01.08	Progress Review	B.B.
2	10.28.08	Preliminary Approval	B.B.

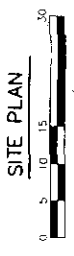
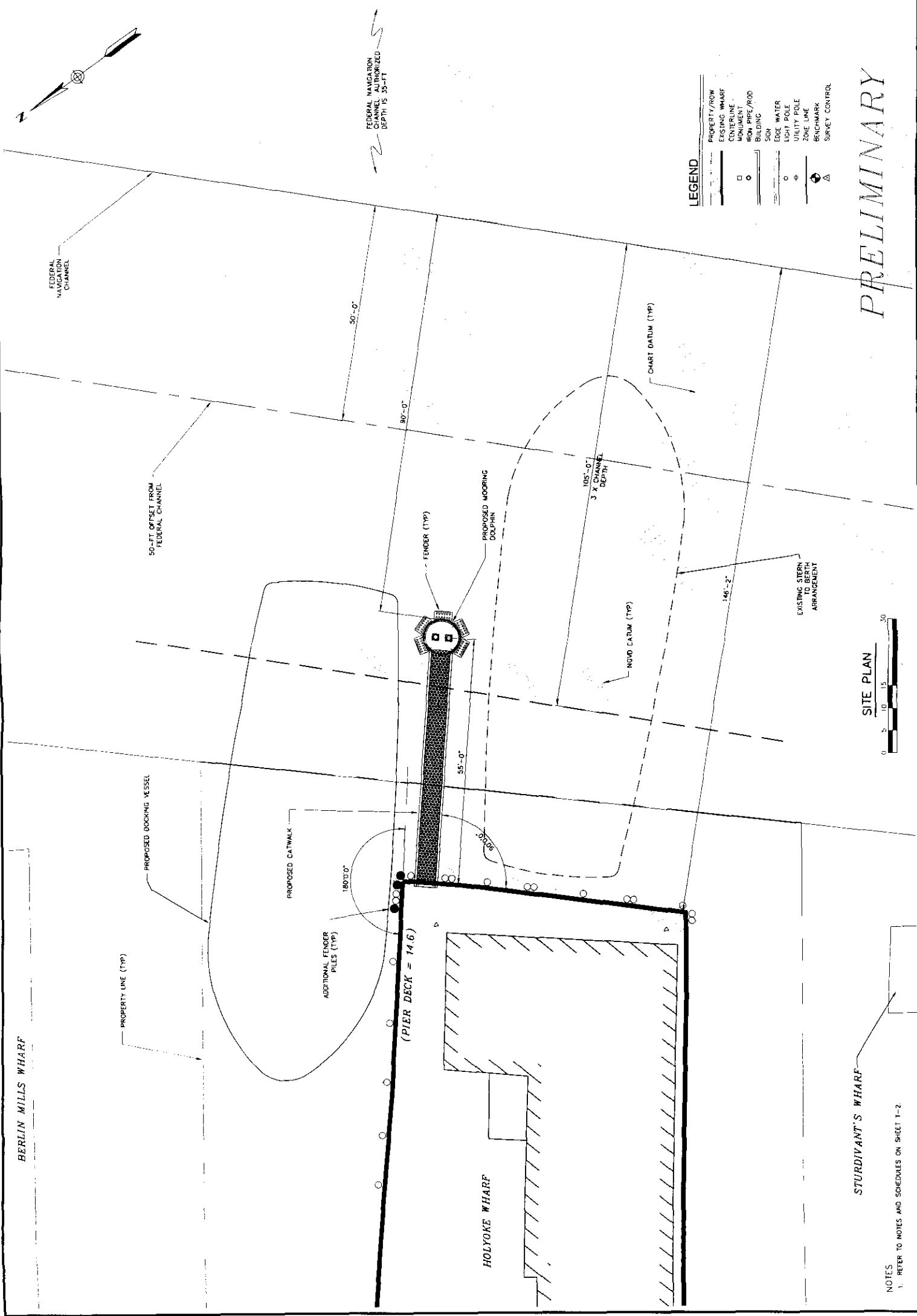
DESIGNED BY	B.B.
DRAWN BY	M.S.H.
CHECKED BY	B.B.
SCALE	AS SHOWN

PROJECT NAME	HOLYOKE WHARF - FINGER PIER
PORTLAND NAME	HOLYOKE WHARF - FINGER PIER
CONTRACT NO.	07075
DATE	07-16-08

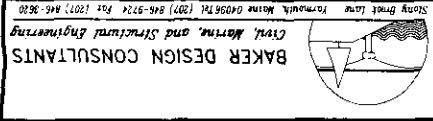
LEGEND

	PROPERTY/ROW
	EXISTING WHARF CENTERLINE
	MONUMENT
	IRON PIPE/ROD
	BUILDING
	SOIL
	EDGE WATER
	LIGHT POLE
	UTILITY POLE
	ZONE LINE
	BENCHMARK
	SURVEY CONTROL

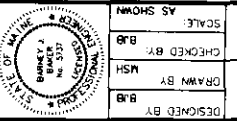
PRELIMINARY



NOTES
 1. REFER TO NOTES AND SCHEDULES ON SHEET T-2.



NO.	1	2
DATE	10/01/08	10/28/08
BY	B.B.	B.B.
REVISION	Progress Review	Preliminary Approval
DATE	10/01/08	10/28/08
BY	B.B.	B.B.
REVISION		

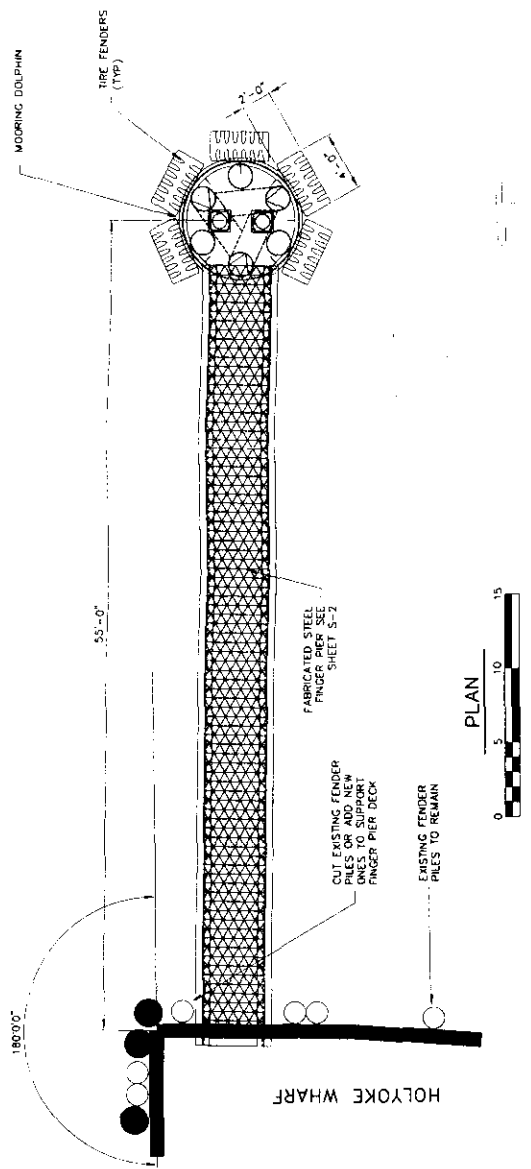


DESIGNED BY: B.B.
 DRAWN BY: MSH
 CHECKED BY: B.B.
 SCALE: AS SHOWN
 PROJECT: HOLYOKE WHARF - FINGER PIER
 PORTLAND, MAINE

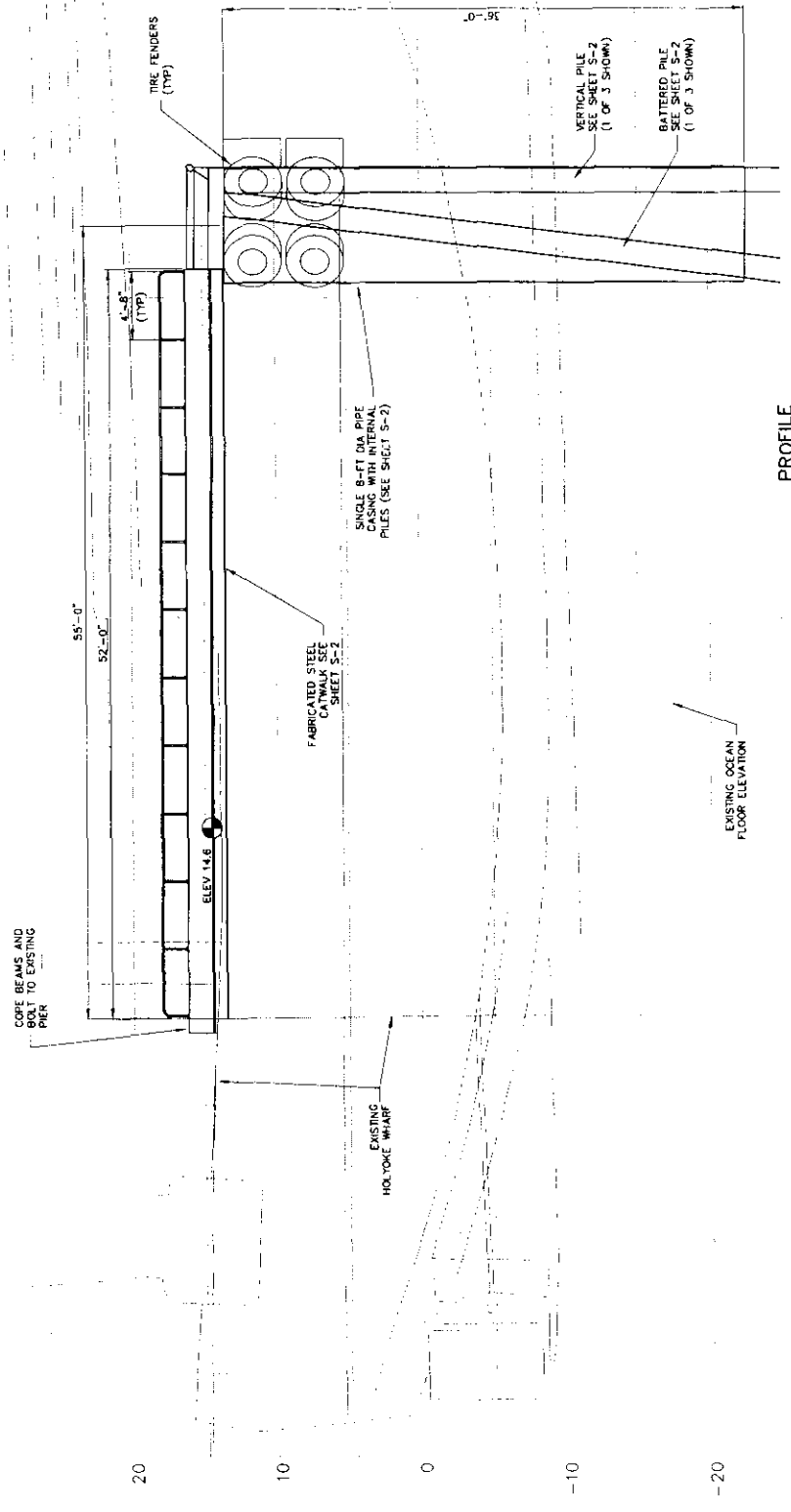
SHEET TITLE: FINGER PIER PLAN & PROFILE
 CONTRACT NO.: 07075
 DATE: 07-18-08
 SHEET NO.: 5-1

PRELIMINARY

Location	Elev	Dolphin Centline Offset (in)	(ft)
Top of Holyoke Wharf	14.6	21	1.8
Pile Cut Off elevation	12	23.6	2.0
Mean High Water	10	28.2	2.4
Brim of Casing	0	42.8	3.6
Mean Low Water	0	57.4	4.8
Seabed	-20	92	7.7
Assumed Point of Fixity	-40	146.6	12.2
Refusal Elevation	-80	241.2	20.1



PLAN



PROFILE

SPRING TIDE: ELEV 10.7
 MHW: ELEV 9.5

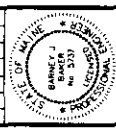
M.W. ELEV 0.4

3.1 OFFSET FROM PIP

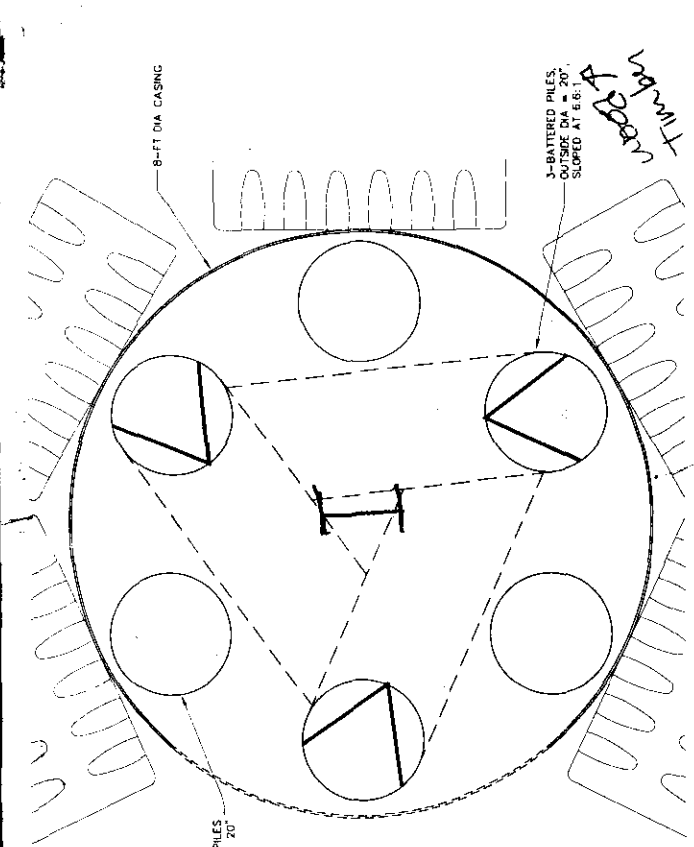


BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering
11 Stony Brook Lane, Yarmouth, Maine 04096 Tel: (207) 846-5724 Fax: (207) 846-5620

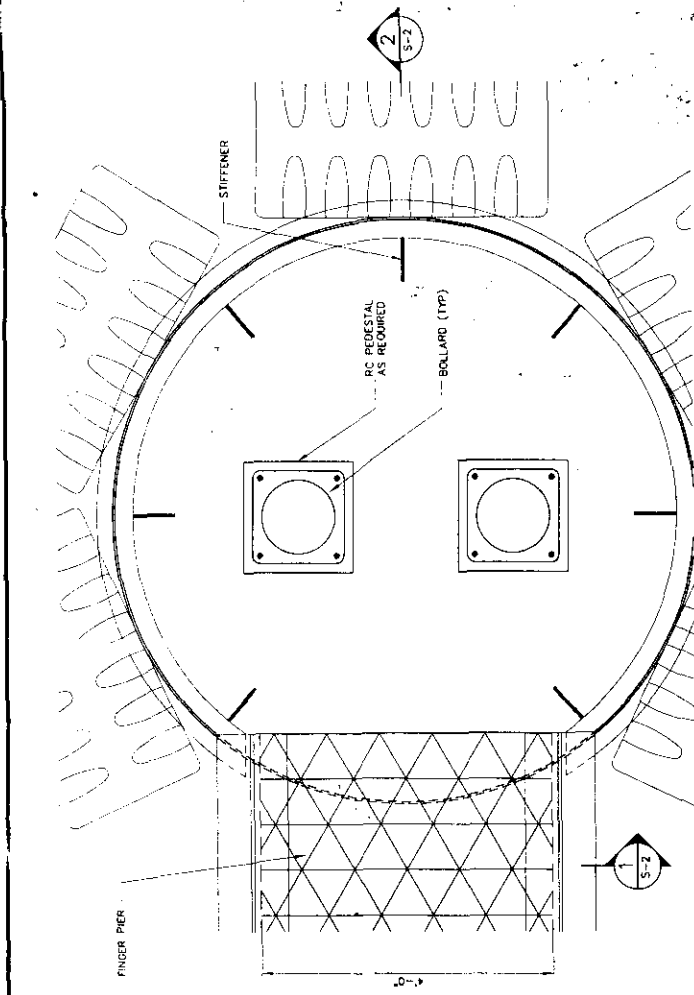
NO.	DATE	DESCRIPTION
1	10/01/08	Progress Review
2	10/28/08	Preliminary Approval



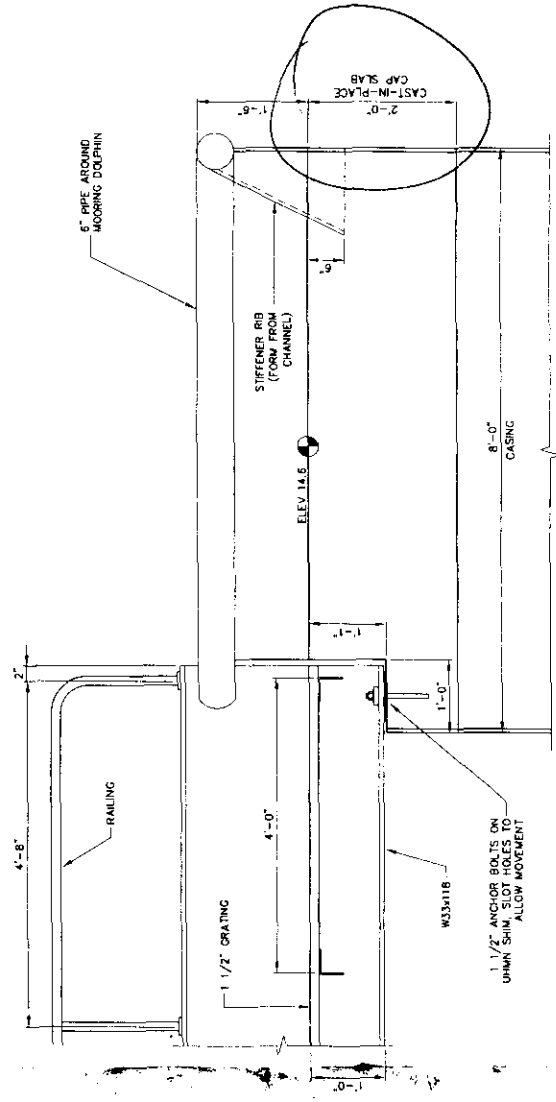
DESIGNED BY	BJB
DRAWN BY	MSH
CHECKED BY	BJB
SCALE	AS SHOWN
PROJECT: HOLYOKE WHARF - FINGER PIER PORTLAND, MAINE GENERAL MARINE CONSTRUCTION CORP., INC.	
DATE	07-16-08
CONTRACT NO.	07075
SHEET NO.	REV
S-2	S-2



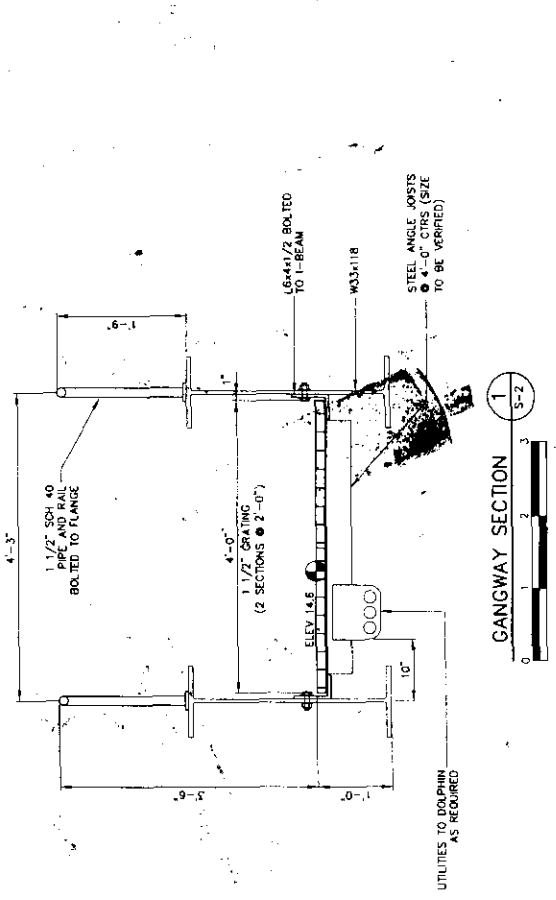
PILE LAYOUT DETAIL



MOORING DOLPHIN PLAN DETAIL

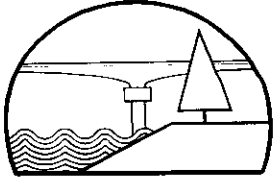


MOORING DOLPHIN SECTION 2



GANGWAY SECTION 1

PRELIMINARY



BAKER DESIGN CONSULTANTS
Civil, Marine and Structural Engineering

December 15, 2009

City of Portland
Attn: Bill Needleman/Barbara Barhydt
Planning and Development Department
389 Congress Street
Portland, ME 04101

Subject: Portland Site Plan Application- General Marine Construction
Holyoke Wharf Finger Pier 418 Commercial Street, Portland

Dear Bill/Barbara,

I have enclosed seven (7) copies of an application and \$400 fee to support a Minor Site Plan application. This follows our November 18, 2009 meeting to discuss the work. A brief narrative of the proposed amendment is provided below.

Narrative of the Work Activity:

Holyoke Pier is an existing wharf that is an integral part of the Portland working waterfront. The proposed Finger Pier project improves an existing vessel berth on the pier by providing a new mooring dolphin with an access walkway. Refer to appended drawings. The project will not result in an expansion of the use or site infrastructure of the Holyoke pier property. No changes will be made to building or parking features of the existing site.

The main element of the Finger Pier is the Mooring Dolphin. The dolphin provides a secure mooring point for bow, stern or spring lines. Currently, a vessel is moored 'stern to' which places significant strain on the existing timber pier. By providing lateral restraint, the proposed mooring dolphin reduces loads applied to the pier and provides safer and more secure berthing for the vessel. The improvements to the berth protect the moored vessel and minimize potential damage to the existing pier.

Refer to plans appended to this permit. The proposed mooring dolphin has the following construction elements that improve an existing vessel berth on Holyoke Wharf.

- Steel piles are driven into the seabed to anchor the mooring platform. Batter piles are specified to resist lateral forces.
- A large diameter steel casing extends from the seabed. Initially it serves as a pile guide. Once the piles are driven, the casing is ballasted with concrete to lock the piles into position. During construction, the casing effectively contains and isolates the ballast material within the resource. Once in operation the ballasted/locked construction increases the lateral load capacity of the mooring dolphin over that of an uncased pile supported structure.

- Tire fenders are attached to the steel casing to cushion the moored vessel and absorb impact forces.
- An access walkway connects the mooring platform with the existing timber wharf.

To date, permits have been obtained from the Board of Harbor Commissioners, the Maine Bureau of Submerged lands, the Army Corps of Engineers and the Maine Department of Environmental Protection. All that remains before construction can begin this winter is approval of a Site Plan by the Portland Planning Authority.

Please contact me with any questions or comments concerning this and the appended support documents noted below.

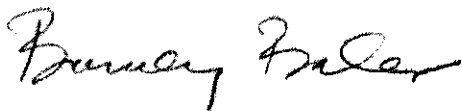
Support Documents (with page reference):

Development Review Application Portland, Maine	3
Site Plan Checklist Portland, Maine	6
AGENT AUTHORIZATION	8
PROPERTY DEED	9
PROJECT PERMITS	11
PROJECT PLANS.....	

Please contact me with any questions regarding this application.

Sincerely,

BAKER DESIGN CONSULTANTS, Inc.



Barney Baker PE
Principal

BJB
JN: 07075



**Development Review Application
 Portland, Maine**

Address of Proposed Development: Holyoke Pier; 418 Commercial Street, Portland

Zone: Waterfront/Shoreland Overlay

Project Name: Holyoke Finger Pier

Existing Building Size: NA sq. ft.

Proposed Building Size: NA sq. ft.

Existing Acreage of Site: NA sq. ft.

Proposed Acreage of Site: NA sq. ft.

Proposed Total Disturbed Area of the Site: NA sq. ft. *

* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).

Tax Assessor's Chart, Block & Lot: Chart # MAP 42 Block # Lot # Lot F-1	Property Owners Name/ Mailing address: Attn: Roger Hale General Marine Construction 446 Commercial Street Portland, Maine 04101	Telephone #: (207) 772-5354 Cell Phone #:
---	--	--

Consultant/Agent Name, Mailing Address, Telephone #, Fax # and Cell Phone # : Barney Baker PE Baker Design Consultants 11 Stony Brook Lane Yarmouth, Maine 04096 207.846.9724 (office) 207.838.3636 (cell)	Applicant's Name/ Mailing Address: Same as Property Owner.	Telephone #: Cell Phone #: <div style="text-align: center; border: 1px dashed black; padding: 10px;"> DEC 23 2000 </div>
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Fee for Service Deposit (all applications) (\$200.00)

Proposed Development (check all that apply)

New Building
 Building Addition
 Change of Use
 Residential
 Office
 Retail
 Manufacturing
 Warehouse/Distribution
 Parking lot
 Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
 Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)
 Traffic Movement (\$1,000.00)
 Storm water Quality (\$250.00)
 Section 14-403 Review (\$400.00 + \$25.00 per lot)
 Other

~ Please see next page ~

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- \$400** Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)


Submittals shall include **seven (7) folded** packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: <u>12.15.09</u>
AGENT:	

Development Review Fee Schedule (effective July 15, 2005)

- Fee for Service Deposit (all applications) \$200.00
 - Planning Services \$30.00/hour
 - Legal Services \$40.00/hour

- Major Site Plan Review (more than 10,000 sq. ft.)

Under 50,000 sq. ft.	\$500.00
50,000 - 100,000 sq. ft.	\$1,000.00
Parking Lots over 100 spaces	\$1,000.00
100,000 - 200,000 sq. ft.	\$2,000.00
200,000 - 300,000 sq. ft.	\$3,000.00
Over 300,000 sq. ft.	\$5,000.00

- After-the-fact Major Site Plan Review \$1,000.00 + applicable application fee
- Minor Site Plan Review (less than 10,000 sq. ft.) \$400.00 (or up to 20,000 in an industrial zone)
- After-the-fact Minor Site Plan Review \$1,000.00 + applicable application fee
- Minor-Minor Site Plan Review (Single Families) \$300.00
- Amendment to Plans Planning Board Review \$500.00 Planning Staff Review \$250.00
- Subdivision Fee \$500.00 + \$25.00 per lot
- Section 14-403 Review \$400.00 + \$25.00 per lot
- Site Location of Development \$3,000.00 (except for residential projects which shall be \$200.00 per lot)
- Traffic Movement Permit \$1,000.00
- Storm water Quality Permit \$250.00
- Street Vacation \$2,000.00

- **Engineering Fees**
- Engineer Review Fee - This fee is assessed by the Engineer
- Inspection Fee - This fee is 2% of the Performance Guarantee or as assessed by Planning or Public Works Engineer with \$300.00 being the minimum.

- **Zone Change**
- Zoning Map Amendments \$2,000.00
- Text Amendments \$2,000.00
- Contract/Conditional Rezonings: Under 5,000 sq. ft. \$1,000.00 5,000 sq. ft. and over \$3,000.00
- Conditional Use \$100.00

- **Historic Preservation**
- Administrative Review \$50.00
- Minor Projects - Committee Review \$100.00
- Major Projects - Committee Review \$500.00
- After-the-fact Review \$750.00
- HP Special Exception Sign Review \$35.00

- **Noticing/Advertisements for Historic Preservation and Planning Board Review**
- Legal Advertisement: Percent of total bill (Legal Ads are placed in the newspaper for workshop and public hearing meetings)
- Notices: .75 cents each (Notices are sent to abutters upon receipt of an application, workshop mtgs. and public hearing mtgs.)

**Site Plan Checklist
 Portland, Maine**

Department of Planning and Development, Planning Division and Planning Board
Application Number _____

The form was completed by Baker Design Consultants: "NA" means not applicable to proposed work.

Check Submitted	Site Plan Item	Required Information Section 14-525 (b,c)
<input checked="" type="checkbox"/> (1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:
<input checked="" type="checkbox"/> (2)	Name and address of applicant and name of proposed development a
<input checked="" type="checkbox"/> (3)	Scale and north points b
<input checked="" type="checkbox"/> (4)	Boundaries of the site c
<input checked="" type="checkbox"/> (5)	Total land area of site d
<input checked="" type="checkbox"/> (6)	Topography - existing and proposed (2 feet intervals or less) e
<input checked="" type="checkbox"/> (7)	Plans based on the boundary survey including: 2
<input checked="" type="checkbox"/>	NA..... (8)	Existing soil conditions a
<input checked="" type="checkbox"/> (9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas b
<input checked="" type="checkbox"/> (10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used
<input checked="" type="checkbox"/> (11)	Approx location of buildings or other structures on parcels abutting the site d and a zoning summary of applicable dimensional standards (example page 9 of packet)
<input checked="" type="checkbox"/>	NA..... (12)	Location of on-site waste receptacles e
<input checked="" type="checkbox"/>	NA..... (13)	Public utilities e
<input checked="" type="checkbox"/>	NA..... (14)	Water and sewer mains e
<input checked="" type="checkbox"/>	NA..... (15)	Culverts, drains, existing and proposed, showing size and directions of flows e
<input checked="" type="checkbox"/>	NA..... (16)	Location and dimensions, and ownership of easements, public or private f rights-of-way, both existing and proposed
<input checked="" type="checkbox"/>	NA..... (17)	Location and dimensions of on-site pedestrian and vehicular access ways g
<input checked="" type="checkbox"/>	NA..... (18)	Parking areas g
<input checked="" type="checkbox"/>	NA..... (19)	Loading facilities g
<input checked="" type="checkbox"/>	NA..... (20)	Design of ingress and egress of vehicles to and from the site onto public streets g
<input checked="" type="checkbox"/>	NA..... (21)	Curb and sidewalks g
<input checked="" type="checkbox"/>	NA..... (22)	Landscape plan showing: h
<input checked="" type="checkbox"/>	NA..... (23)	Location of existing vegetation and proposed vegetation h
<input checked="" type="checkbox"/>	NA..... (24)	Type of vegetation h
<input checked="" type="checkbox"/>	NA..... (25)	Quantity of plantings h
<input checked="" type="checkbox"/>	NA..... (26)	Size of proposed landscaping h
<input checked="" type="checkbox"/>	NA..... (27)	Existing areas to be preserved h
<input checked="" type="checkbox"/>	NA..... (28)	Preservation measures to be employed h
<input checked="" type="checkbox"/>	NA..... (29)	Details of planting and preservation specifications h
<input checked="" type="checkbox"/>	NA..... (30)	Location and dimensions of all fencing and screening i

- NA..... (31) Location and intensity of outdoor lighting system j
- NA..... (32) Location of fire hydrants, existing and proposed (refer to Fire Department checklist) k
- NA..... (33) Written statements to include: c
- NA..... (34) Description of proposed uses to be located on site cl
- NA..... (35) Quantity and type of residential, if any cl
- NA..... (36) Total land area of the site c2
- NA..... (37) Total floor area, total disturbed area and ground coverage of each proposed c2
 Building and structure
- NA..... (38) General summary of existing and proposed easements or other burdens c3
- NA..... (39) Type, quantity and method of handling solid waste disposal c4
- NA..... (40) Applicant's evaluation or evidence of availability of off-site public facilities, c5
 including sewer, water and streets
- NA..... (41) Description of existing surface drainage and a proposed stormwater management c6
 plan or description of measures to control surface runoff. c6

- (42) An estimate of the time period required for completion of the development 7
- (43) A list of all state and federal regulatory approvals to which the development may be 8 subject to. Include the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction. h8
- (47) Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.
- (48) Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.
- (49) A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.
- (50) A jpeg or pdf of the proposed site plan, if available.
- (51) Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities -an environmental impact study
- erosion and sedimentation controls to be used during construction -a sun shadow study
- a parking and/or traffic study -a study of particulates and any other noxious emissions -a noise study
- a wind impact analysis

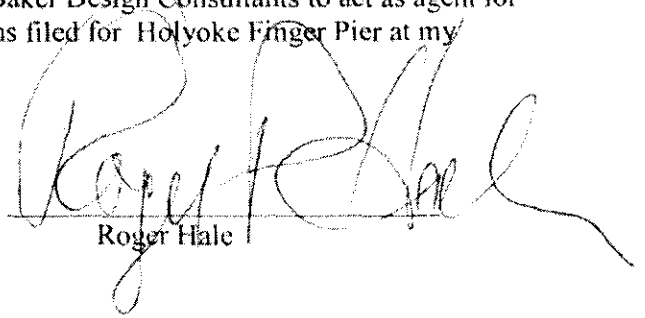
Other comments:

AGENT AUTHORIZATION

Roger Hale
General Marine Construction Corporation
446 Commercial Street
Portland, Maine 04101

By signing below, I authorize Barney Baker PE of Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for Holyoke Finger Pier at my property in Portland, Maine.

Signed:



Roger Hale

PROPERTY DEED

045950 & 10209 f: 83

KNOW ALL MEN BY THESE PRESENTS

THAT BAR MAR REALTY, INC., a Maine corporation having a principal place of business in Portland, County of Cumberland and State of Maine, for consideration paid by GENERAL MARINE CONSTRUCTION CORPORATION whose address is 446 Commercial Street, Portland, Maine 04101, the receipt whereof is hereby acknowledged, does hereby receive, bargain, sell, convey and forever grant unto the said GENERAL MARINE CONSTRUCTION CORPORATION, its successors and assigns, with WARRANTY COVENANTS, the following described real property situated in Portland, County of Cumberland and State of Maine, and more particularly described as follows:

All that certain wharf property, land and flats known as Holyoke Wharf, situated on the southerly side of Commercial Street between Studivant's Wharf and High Street Wharf and extending from Commercial Street to Fore River; said premises being bounded on the west by land now or formerly of Isaac F. Studivant, on the east by land formerly of Robert Porterfield and Joseph W. Yates and others, and including a strip about five feet (5') wide conveyed to Jonas H. Purley by said Yates and Porterfield and others, by deed dated October 18, 1885 and recorded in said Cumberland County Registry of Deeds in Book 345, Page 516; the whole of said lot being the same conveyed to Eliza A. Soule by Portland Savings Bank by deed dated October 11, 1884, recorded in said Registry in Book 517, Page 10.

Being the same premises conveyed to Robert J. Levine, as Trustee of the Levine Real Estate Trust by deed of Moulton Realty Co. dated January 2, 1900 and recorded in said Registry of Deeds in Book 4549, Page 110 and conveyed by Robert J. Levine as Trustee of the Levine Real Estate Trust to Grantor herein by deed dated January 14, 1965 and recorded in said Registry of Deeds in Book 6645, Page 87.

The delivery of this deed, and its acceptance by Grantee, is on the express condition that the real estate, and all buildings, structures, wharfs, piers, piling, fixtures or roadways, is conveyed "AS IS, WHERE IS".

IN WITNESS WHEREOF, BAR MAR REALTY, INC., as Grantor, and releasing all its rights in the above-described premises, has caused this instrument to be sealed with its corporate seal and signed in its corporate name by John P. Martin, its Treasurer thereunto duly authorized, this 4th day of August, 1992.

Signed, Sealed and Delivered
in the presence of:

BAR MAR REALTY, INC.



by: 
Its Treasurer

4/5830K

MAINE REAL ESTATE TAX PAID

No 45350 3: 10268 2: B4

STATE OF MAINE
Cumberland, SS.

August 4, 1992

Personally appeared the above-named John P. Martin, Treasurer of Grantor corporation, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said corporation.

Before me.



Daniel W. Mosera
Notary Public
Attorney at Law

Recorded
Cumberland County
Register of Deeds
08/04/92 03:12:46PM
Robert S. Titcomb
Register

PROJECT PERMITS

The following Documentation is appended. In addition, the Portland Harbor Commissioners approved the revised plans at their 12March2009 meeting.

1. Portland Board of Harbor Commissioners.
2. Maine DEP NRPA Permit
3. Maine Submerged Lands Lease approval
4. US Army Corps of Engineers Permit

BOARD OF HARBOR COMMISSIONERS PORT OF PORTLAND PERMIT-A

TO BE POSTED IN A CONSPICUOUS PLACE AT THE CONSTRUCTION SITE

To.....General Marine Construction, 446 Commercial Street, Portland, ME 04101.....

The undersigned, Board of Harbor Commissioners for the Harbor of Portland, has carefully considered your application. Dated the 11th day of February 2009, for a permit authorizing

..... the installation of a mooring dolphin and access walkway to improve an existing marine berth on Holyoke Wharf.....

Having given public notice of this pending application, as required by law, and therein designated the 12th day Of March 2009, at 5:00 o'clock in the afternoon prevailing time as the time when they would meet

At the South Portland City Hall, City Council Chambers to examine this issue and here all interested parties, and having met at the time and place mentioned and examined the location of this proposed construction project.....

And having heard all interested parties, the Board of Harbor Commissioners for the Port of Portland hereby issues this permit which authorizes you to proceed under all applicable local and federal regulations hereinafter stated, and to maintain within the limits mentioned in the permit application.

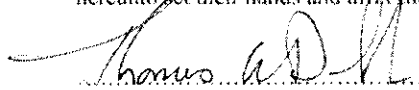
In addition, the construction project described above must be surrounded by a containment boom unless the Board of Harbor Commissioners for the Port of Portland has waived this requirement in writing, either as part of the above-listed conditions, or in a separate statement.

This permit is limited authorization, which contains a stated set of conditions with which the permit holder must comply. If a contractor performs the work for you, both you and the contractor are responsible for assuring that the work is done in conformance with the conditions and limitations of this authorization. Please be sure that the person who will be performing the work has read and understands these conditions.

Performing any work not specifically authorized by this permit, or that fails to comply with its conditions, may subject you to the enforcement provisions of Harbor Commission regulations. If any change in plans or construction methods is found necessary, please contact the Harbor Commission immediately to discuss modifications to your authorization. Any change must be approved by the Harbor Commission before it is undertaken.

Nothing in this permit shall be construed to justify or authorize any invasion to the private rights of others. Moreover, nothing in this permit shall limit or modify the authority of the Board of Harbor Commissioners for the Harbor of Portland with its applicable statute. Attested copies will be submitted to the U. S. Army Corps of Engineers, the Department of Environmental protection, the City of Portland, and the City of South Portland.

In Witness Whereof, the members of the Board of Harbor Commissioners for the Harbor of Portland hereunto set their hands and affix their corporate seal on this 12th day of March 2009,



The work authorized to this permit must be completed on or before the 12th day of March 2010.

.....
.....
.....
.....

Board of Harbor Commissioners for the Port of Portland

DEC 28 2009



STATE OF MAINE
Department of Environmental Protection

JOHN ELIAS BALDACCI
GOVERNOR

David P. Littell
COMMISSIONER

November, 2009

General Marine Construction
C/o Roger Hale
446 Commercial Street
Portland, Maine 04101

RE: Natural Resources Protection Act Application, Portland, DEP #L-24691-4P-A-N

Dear Mr. Hale:

Please find enclosed a signed copy of your Department of Environmental Protection land use permit. You will note that the permit includes a description of your project, findings of fact that relate to the approval criteria the Department used in evaluating your project, and conditions that are based on those findings and the particulars of your project. Please take several moments to read your permit carefully, paying particular attention to the conditions of the approval. The Department reviews every application thoroughly and strives to formulate reasonable conditions of approval within the context of the Department's environmental laws. You will also find attached some materials that describe the Department's appeal procedures for your information.

If you have any questions about the permit or thoughts on how the Department processed this application please get in touch with me directly. I can be reached at 207- 822-6300 or at robert.green@maine.gov

Yours sincerely,

Robert L. Green, Jr., Project Manager
Division of Land Resource Regulation
Bureau of Land & Water Quality

pc: File

DEC 23 2009

AUGUSTA
17 STATE HOUSE STATION
AUGUSTA, MAINE 04333-0017
(207) 287-7688 FAX: (207) 287-7826
RAY BLDG., HOSPITAL ST

BANGOR
106 HOGAN ROAD
BANGOR, ME 04401
(207-941-4576 FAX 207-941-4584

PORTLAND
312 CANCO ROAD
PORTLAND, MAINE 04103
(207) 822-6300 FAX: (207) 822-6303

PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2094
(207) 764-0477 FAX: (207) 764-3143

WEB SITE: WWW.MAINE.GOV/DEP



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION
17 STATE HOUSE STATION
AUGUSTA, ME 04333

DEC 23 2009

DEPARTMENT ORDER

IN THE MATTER OF

GENERAL MARINE CONSTRUCTION) NATURAL RESOURCES PROTECTION
Portland, Cumberland County) COASTAL WETLAND ALTERATION
MOORING DOLPHIN AND ACCESS WALKWAY) WATER QUALITY CERTIFICATION
L-24691-4P-A-N (approval)) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of 38 M.R.S.A. Sections 480-A et seq. and Section 401 of the Federal Water Pollution Control Act, the Department of Environmental Protection has considered the application of GENERAL MARINE CONSTRUCTION with the supportive data, agency review comments, and other related materials on file and FINDS THE FOLLOWING FACTS:

1. PROJECT DESCRIPTION:

A. Summary: The applicant proposes to construct a mooring dolphin with an access walkway. The project need and purpose is to provide safe berthing of 90-foot long fishing vessels that moor "stern to" at the end of Holyoke Wharf. The mooring dolphin will be placed 55 feet from the end of the wharf and remain 90 feet from the Federal Navigation Channel. The dolphin will consist of three vertical, 20-inch diameter piles and three batter (angled), 20-inch diameter piles set within an eight-foot diameter pipe casing set into the seabed. Concrete will be poured into the casing to lock the piles into position and provide additional lateral stability. Tire fenders will be attached to the top of the casing to protect moored vessels. The walkway will be constructed of steel I-beams with steel grates as decking. The applicant also proposes to replace timber fenders at the end of Holyoke Wharf, as necessary.

The mooring dolphin and access walkway are shown on a set of plans, the first of which is entitled "Holyoke Wharf - Finger Pier", drawn by Baker Design Consultants, and dated May 1, 2008, with a last revision date of February 10, 2009. The project site is located at the end of Holyoke Wharf, which is located on Commercial Street in the City of Portland.

B. Current Use of the Site: Holyoke Wharf is a commercial wharf on Commercial Street that is the site of several marine related businesses.

2. EXISTING SCENIC, AESTHETIC, RECREATIONAL OR NAVIGATIONAL USES:

In accordance with Chapter 315, Assessing and Mitigating Impacts to Scenic and Aesthetic Uses, the applicant submitted a copy of the Department's Visual Evaluation Field Survey Checklist as Appendix A to the application along with a description of the property and the proposed project. The applicant also submitted several photographs of the proposed project site including an aerial photograph of the project site. Department staff visited the project site on November 3, 2009. The proposed project is located in Portland Harbor, which is a scenic resource visited by the general public, in part, for the use, observation, enjoyment and appreciation of its natural and

cultural visual qualities. The site of the proposed project is developed with existing commercial wharves in the viewshed of the scenic resource in the project area.

The proposed project was evaluated using the Department's Visual Impact Assessment Matrix and was found to have an acceptable potential visual impact rating. Based on the information submitted in the application, the visual impact rating, and the site visit, the Department determined that the location and scale of the proposed activity is compatible with the existing visual quality and landscape characteristics found within the viewshed of the scenic resource in the project area.

The Department did not identify any issues involving existing recreational and navigational uses.

The Department finds that the proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational or navigational uses of the protected natural resource.

3. SOIL EROSION:

The proposed dolphin construction requires no excavation or soil disturbance. The piles will be set from the platform of an offshore barge. The piles will be driven into the substrate, which will cause little or no erosion problems.

The Department finds that the activity will not cause unreasonable erosion of soil or sediment nor unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.

4. HABITAT CONSIDERATIONS:

Department staff reviewed a Geographic Information System (GIS) database that contains information provided by the DIFW. The GIS database indicates the project site is not located in or adjacent to Essential Wildlife Habitats or Significant Wildlife Habitats, as defined in the Natural Resources Protection Act.

The Department of Marine Resources (DMR) stated that the proposed project should not cause any significant adverse impact to marine resources, navigation, or recreation.

The Department finds that the activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine or marine fisheries or other aquatic life.

5. WATER QUALITY CONSIDERATIONS:

The Department does not anticipate that the proposed project will violate any state water quality law, including those governing the classification of the State's waters.

6. WETLANDS AND WATERBODIES PROTECTION RULES:

The applicant proposes to alter approximately 50 square feet of subtidal coastal wetland to construct the mooring dolphin.

The Department's Wetlands and Waterbodies Protection Rules, Chapter 310, require that the applicant meet the following standards:

A. Avoidance. No activity may be permitted if there is a practicable alternative to the project that would be less damaging to the environment. Each application for a coastal wetland permit must provide an analysis of alternatives in order to demonstrate that a practicable alternative does not exist. The applicant submitted an alternative analysis for the proposed project completed by Baker Design Consultants, dated May 8, 2009. The "do nothing" alternative is not a viable option, because it does not meet the project's need and purpose. The applicant determined that the selected alternative presented in the application is the least damaging practicable alternative that will provide safe berthing for fishing vessels moored "stern to" Holyoke Wharf.

B. Minimal Alteration. The amount of coastal wetland to be altered must be kept to the minimum amount necessary for meeting the overall purpose of the project. The dolphin mooring is sized to withstand the lateral forces placed on it from stern-moored vessels, given the tidal currents in Portland Harbor.

C. Compensation. In accordance with Chapter 310(5)(C)(6), compensation is not required to achieve the goal of no net loss of coastal wetland functions and values, since the proposed project will not fill more than 500 square feet of intertidal or subtidal area, and will not have an adverse impact on marine resources or wildlife habitat.

The Department finds that the applicant has avoided and minimized coastal wetland impacts to the greatest extent practicable, and that the proposed project represents the least environmentally damaging alternative that meets the overall purpose of the project.

7. OTHER CONSIDERATIONS:

The Department did not identify any other issues involving existing scenic, aesthetic, or navigational uses, soil erosion, habitat or fisheries, the natural transfer of soil, natural flow of water, water quality, or flooding.

BASED on the above findings of fact, and subject to the conditions listed below, the Department makes the following conclusions pursuant to 38 M.R.S.A. Sections 480-A et seq. and Section 401 of the Federal Water Pollution Control Act:

- A. The proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational, or navigational uses.
- B. The proposed activity will not cause unreasonable erosion of soil or sediment.
- C. The proposed activity will not unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.
- D. The proposed activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine, or marine fisheries or other aquatic life.
- E. The proposed activity will not unreasonably interfere with the natural flow of any surface or subsurface waters.
- F. The proposed activity will not violate any state water quality law including those governing the classifications of the State's waters.

- G. The proposed activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties.
- H. The proposed activity is not on or adjacent to a sand dune.
- I. The proposed activity is not on an outstanding river segment as noted in Title 38 M.R.S.A. Section 480-P.

THEREFORE, the Department APPROVES the above noted application of GENERAL MARINE CONSTRUCTION to construct a mooring dolphin with an access walkway, SUBJECT TO THE ATTACHED CONDITIONS, and all applicable standards and regulations:

1. Standard Conditions of Approval, a copy attached.
2. The applicant shall take all necessary measures to ensure that its activities or those of its agents do not result in measurable erosion of soil on the site during the construction of the project covered by this approval.
3. Severability. The invalidity or unenforceability of any provision, or part thereof, of this License shall not affect the remainder of the provision or any other provisions. This License shall be construed and enforced in all respects as if such invalid or unenforceable provision or part thereof had been omitted.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.

DEPARTMENT OF ENVIRONMENTAL PROTECTION

PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

rlg/ats#70497/124961an



DEPARTMENT OF THE ARMY
 NEW ENGLAND DISTRICT, CORPS OF ENGINEERS
 696 VIRGINIA ROAD
 CONCORD, MASSACHUSETTS 01742-2751

REPLY TO
 ATTENTION OF

**MAINE PROGRAMMATIC GENERAL PERMIT (PGP)
 AUTHORIZATION LETTER AND SCREENING SUMMARY**

GENERAL MARINE CONSTRUCTION CORP.
 C/O BAKER DESIGN CONSULTANTS
 11 STONY BROOK LANE
 YARMOUTH, MAINE 04096

CORPS PERMIT # **NAE-2009-00838**
 CORPS PGP ID# **09-306**
 STATE ID# **NRPA**

DESCRIPTION OF WORK:

Construct and maintain a 52'x 6' pile supported steel finger pier extending southeast from Holyoke Wharf to an 8' diameter circular mooring dolphin in Portland Harbor at Portland, Maine. This work is shown on the attached plans entitled "HOLYOKE PIER EXTENSION, PORTLAND, MAINE" in five sheets dated "12-29-08".

LAT/LONG COORDINATES : 43.6488602° N 70.2559616° W **USGS QUAD**: PORTLAND WEST, ME

I. CORPS DETERMINATION:

Based on our review of the information you provided, we have determined that your project will have only minimal individual and cumulative impacts on waters and wetlands of the United States. **Your work is therefore authorized by the U.S. Army Corps of Engineers under the enclosed Federal Permit, the Maine Programmatic General Permit (PGP).**

You must perform the activity authorized herein in compliance with all the terms and conditions of the PGP [including any attached Additional Conditions and any conditions placed on the State 401 Water Quality Certification including any required mitigation]. Please review the enclosed PGP carefully, including the PGP conditions beginning on page 7, to familiarize yourself with its contents. You are responsible for complying with all of the PGP requirements; therefore you should be certain that whoever does the work fully understands all of the conditions. You may wish to discuss the conditions of this authorization with your contractor to ensure the contractor can accomplish the work in a manner that conforms to all requirements.

If you change the plans or construction methods for work within our jurisdiction, please contact us immediately to discuss modification of this authorization. This office must approve any changes before you undertake them.

Condition 38 of the PGP (page 15) provides one year for completion of work that has commenced or is under contract to commence prior to the expiration of the PGP on October 11, 2010. You will need to apply for reauthorization for any work within Corps jurisdiction that is not completed by October 11, 2011.

This authorization presumes the work shown on your plans noted above is in waters of the U.S. Should you desire to appeal our jurisdiction, please submit a request for an approved jurisdictional determination in writing to the undersigned.

No work may be started unless and until all other required local, State and Federal licenses and permits have been obtained. **This includes but is not limited to a Flood Hazard Development Permit issued by the town if necessary.** Also, this permit requires you to notify us before beginning work and allow us to inspect the project. Hence, you must complete and return the attached Work Start Notification Form(s) to this office no later than 2 weeks before the anticipated starting date. (For projects requiring mitigation, be sure to include the MITIGATION WORK START FORM).

II. STATE ACTIONS: PENDING () ISSUED () DENIED () DATE _____

APPLICATION TYPE: PBR TIER 1: TIER 2: TIER 3: LURC: DMR LEASE: NA:

III. FEDERAL ACTIONS:

JOINT PROCESSING MEETING: 10/2/09 LEVEL OF REVIEW: CATEGORY 1: CATEGORY 2:

AUTHORITY (based on a review of plans and/or State/Federal applications): SEC 10 404 10:404 103

EXCLUSIONS: The exclusionary criteria identified in the general permit do not apply to this project.

FEDERAL RESOURCE AGENCY OBJECTIONS: EPA_NO ___ USF&WS_NO ___ NMFS_NO ___

If you have any questions on this matter, please contact my staff at 207-623-8367 at our Manchester, Maine Project Office. In order for us to better serve you, we would appreciate your completing our Customer Service Survey located at <http://per2.nwp.usace.army.mil/survey.htm>

Jay L. Clement
 JAY L. CLEMENT
 SENIOR PROJECT MANAGER
 MAINE PROJECT OFFICE

Frank J. Del Giudice 11/16/09
 for FRANK J. DEL GIUDICE DATE
 CHIEF, PERMITS & ENFORCEMENT BRANCH
 REGULATORY DIVISION



US Army Corps
of Engineers
New England District

PLEASE NOTE THE FOLLOWING GENERAL CONDITIONS FOR
DEPARTMENT OF THE ARMY
PROGRAMMATIC GENERAL PERMIT
NO. NAE-2009-00838

1. This authorization requires you to 1) notify us before beginning work so we may inspect the project, and 2) submit a Compliance Certification Form. You must complete and return the enclosed Work Start Notification Form(s) to this office at least two weeks before the anticipated starting date. You must complete and return the enclosed Compliance Certification Form within one month following the completion of the authorized work and any required mitigation (but not mitigation monitoring, which requires separate submittals).
2. The permittee shall assure that a copy of this permit is at the work site whenever work is being performed and that all personnel performing work at the site of the work authorized by this permit are fully aware of the terms and conditions of the permit. This permit, including its drawings and any appendices and other attachments, shall be made a part of any and all contracts and sub-contracts for work which affects areas of Corps of Engineers' jurisdiction at the site of the work authorized by this permit. This shall be done by including the entire permit in the specifications for the work. If the permit is issued after construction specifications but before receipt of bids or quotes, the entire permit shall be included as an addendum to the specifications. The term "entire permit" includes permit amendments. Although the permittee may assign various aspects of the work to different contractors or sub-contractors, all contractors and sub-contractors shall be obligated by contract to comply with all environmental protection provisions of the entire permit, and no contract or sub-contract shall require or allow unauthorized work in areas of Corps of Engineers jurisdiction.
3. The permittee shall not interfere with Corps of Engineers personnel or its contractors engaged in hydrographic surveys, maintenance or improvement of the existing Portland Harbor Federal Navigation Project ("FNP"). If, in the opinion of the Corps, the permittee's structures or vessels attached to them must be moved to allow for the maintenance or improvement of the existing FNP, the permittee shall move the structures or vessels as directed by the Corps.
4. No later than 30 days after completion of the authorized work, the permittee shall submit an as-built drawing of the authorized structures. The as-built drawing(s) shall include:
 - The structure's horizontal location relative to the closest FNP and the waterway, horizontal coordinates, the FNP limits, bar (graphic) scale, north arrow, and the dates of the survey and drawings.
 - The structure's horizontal coordinates in U.S. survey feet based on the Maine State Planar format, Zone 1802, NAD 1983.
 - A stamp by a professional engineer or land surveyor registered in the state the work is being performed.
5. All submittals to the Corps shall be marked with the words "**Permit No. NAE-2009-00838.**" The Corps address is "PATS Branch, Regulatory Division, U.S. Army Corps of Engineers, 696 Virginia Road, Concord, MA 01742-2751." Documents which are not marked and addressed in this manner may not reach their intended destination and do not comply with the requirements of this permit.
6. The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.



STATE OF MAINE
 DEPARTMENT OF CONSERVATION
 22 STATE HOUSE STATION
 AUGUSTA, MAINE
 04333-0022

JOHN ELIAS BALDACCIO
 GOVERNOR

PATRICK K. MCGOWAN
 COMMISSIONER

November 23, 2009

General Marine Construction Corp.
 Attn: Roger Hale
 446 Commercial St.
 Portland, ME 04101

RE: Submerged Lands Lease Application, Proposed Finger Pier & Mooring Dolphin, Holyoke Wharf

Dear Mr. Hale:

The Bureau of Parks and Lands has completed its review of your application for an amendment to Submerged Lands Lease No. 0643A-L-34 to include your proposed finger pier, mooring dolphin and associated berthing area. Enclosed are copies of the Bureau's Final Findings and Decision and two copies of the lease amendment for your signature. The rental fee, due and payable at this time, is \$26.54, the pro-rated rental for the remainder of 2009 for the proposed structures and associated berthing area. I have enclosed an invoice for that amount. Starting next year the annual rental fee for your amended lease for your entire facility will be \$586.81.

Please sign *both* copies of the lease amendment and return them to the Bureau, along you're your 2009 rental payment. Please make your check payable to **Treasurer, State of Maine**. Once executed by the Bureau, a signed lease amendment will be returned to you and we will keep the other signed copy for our files.

Thank you for your patience and cooperation throughout our review process. If you have any questions, please feel free to contact me at (207) 287-6128 or via email at sara.brusila@maine.gov.

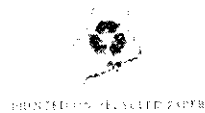
Sincerely,

Sara L. Brusila
 Submerged Lands Technician

enc: findings, invoice (2009) & lease amendment (2 copies)

xc: Barney Baker, Baker Design Consultants

NOV 23 2009





STATE OF MAINE
 DEPARTMENT OF CONSERVATION
 22 STATE HOUSE STATION
 AUGUSTA, MAINE
 04333-0022

JOHN ELIAS BALDACCIO
 DIRECTOR

PATRICK K. MCGOWAN
 COMMISSIONER

SUBMERGED LANDS LEASE – FINAL FINDINGS AND DECISION

APPLICANT: General Marine Construction Corporation

PROJECT LOCATION: Portland

APPLICATION: Bureau of Parks and Lands Submerged Lands Application No. SL 1525
 Dept. of Environmental Protection Application No. L-24691-4P-A-N

PROJECT DESCRIPTION: The applicant proposes to construct a finger pier and dolphin on the easterly end of the southeast face of Holyoke Wharf at Portland Harbor for commercial fishing use. The Bureau granted Submerged Lands Lease No. 0643-L-34 to the applicant in December of 2006 to replace the prior constructive easement for the wharf that had expired in September of 2005. The lease was amended in June of 2008, modifying Item #6 of the lease regarding the annual rental and changing the lease number to 0643A-L-34. The applicant is now seeking an amendment to their lease to include the proposed finger pier, mooring dolphin and associated berthing area.

REVIEW COMMENTS: Notification letters were sent to the municipality and abutting property owners. No comments in opposition were received.

FINDINGS: Based upon its review of all information in the administrative record, the Bureau of Parks and Lands makes the following findings in accordance with Title 12 M.R.S.A. Sections 1801 & 1862 and pertinent regulations.

PUBLIC ACCESS WAYS:

The project is located on private property and not on or adjacent to a public access point to the shore. As such, the project does not unreasonably interfere with public access ways to submerged lands.

PUBLIC TRUST RIGHTS:

The project does not unreasonably interfere with fishing, fowling, navigation, or other existing marine uses of the area.

RECREATION:

The project does not unreasonably interfere with recreation.

SERVICES AND FACILITIES NECESSARY FOR COMMERCIAL MARINE ACTIVITIES:

The project does not unreasonably diminish the availability of services and facilities necessary for commercial marine activities.

LITTORAL ZONES AND SETBACK DISTANCES:

Under the Submerged Lands Rules (Rules), boundaries of littoral zones lying off-shore of upland properties are generally established by right angle projections from a baseline established along the



shoreline at the intersection of the high water line and the side boundary of each property. However, the Bureau may establish additional baselines to accommodate irregular shorelines. Setback standards are established from other existing structures, the applicant's littoral zone boundary, and the midpoint between divergent littoral boundaries.

The Bureau finds that it is appropriate for this heavily developed area of Portland Harbor, where the shoreline has been significantly altered from its natural state for many years, to establish a baseline to accommodate the filled, irregular shoreline in determining the littoral zone for the applicant's property. Specifically, the littoral zone for the applicant's property is established by a baseline perpendicular to the centerline of the existing wharf, and littoral boundary lines that extend from the applicant's property at the high water line perpendicular to the baseline. These boundaries run parallel to the wharf and roughly bisect the waterways between the applicant's and the adjacent Berlin Mills and Sturdivant's wharves.

The Bureau finds that the applicant's existing and proposed structures are located within the littoral zone of their property and meet the 25-foot setback littoral boundary standard for new structures. The applicant's existing and proposed structures also meet the 50-foot setback standard from adjacent structures.

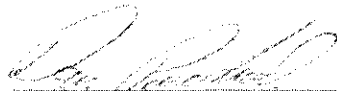
INGRESS AND EGRESS OF RIPARIAN OWNERS:

The project does not unreasonably interfere with ingress and egress of riparian owners.

DECISION: In accordance with Title 12 M.R.S.A. Sections 1801 & 1862, the Director of the Bureau of Parks and Lands has determined that Submerged Lands No. 0643B-L-34 will be granted to General Marine Construction Corporation.

APPEAL RIGHTS: In accordance with 5 M.R.S.A. section 11002 and Maine Rules of Civil Procedure 80C, this decision may be appealed to Superior Court within 30 days after receipt of notice of the decision by a party to this proceeding, or within 40 days from the date of the decision by any other aggrieved person.

Signed: _____


Willard R. Harris, Jr., Director

Date: November 24, 2009

DEC 21 2009

AMENDMENT TO SUBMERGED LANDS LEASE NO. 0643A-L-34

Submerged Lands Lease Number 0643A-L-34 (hereinafter Lease) entered into by and between the State of Maine, acting through its Director of the Bureau of Parks and Lands, and **General Marine Construction Corporation** is hereby amended as follows:

1. **The Lease number is changed to 0643B-L-34.**
2. The leased premises description on Page 1 is changed from "5,756 +/- square feet" to "12,587 +/- square feet".
3. Paragraph 2. USE is changed to include a finger pier, dolphin and associated berthing area as described in Submerged Lands Lease Application No. SL 1525 and Dept. of Environmental Protection Application No. L-24691-4P-A-N.
4. Paragraph 6. RENTAL is changed from "\$923.26 per year" to "\$586.81 per year".
5. "Attachment C" of the Lease is replaced by "Attachment C – Revised 11/18/09" which is attached hereto
6. Any and all terms and conditions of the Lease not herein amended remain in full force and effect for the duration of the Lease.

Agreed to on

_____, 2009

_____, 2009

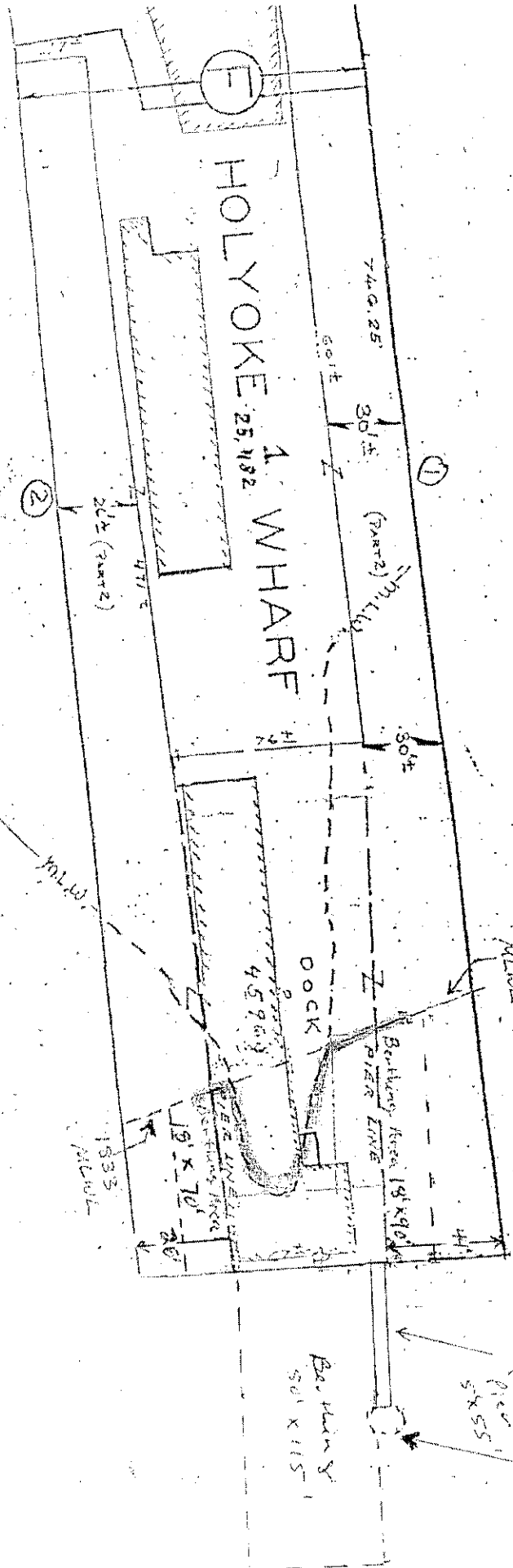
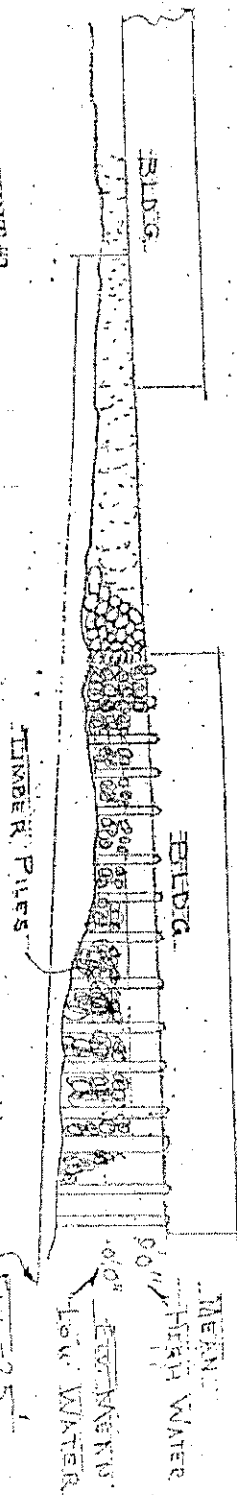
(Lessee Signature)

(Lessor Signature)

(Print Name)

Willard R. Harris, Jr.
Director, Bureau of Parks and Lands

EXHIBIT #2
SIDE DETAIL



PLAN VIEW



PROJECT PLANS

- T-1 Title Sheet
- T-2 Notes and Schedules
- C-1 Portland Harbor Site Plan
- C-2 Site Plan
- S-1 Finger Pier Plan & Profile
- S-2 Typical Sections

HOLYOKE WHARF - FINGER PIER

PORTLAND, MAINE

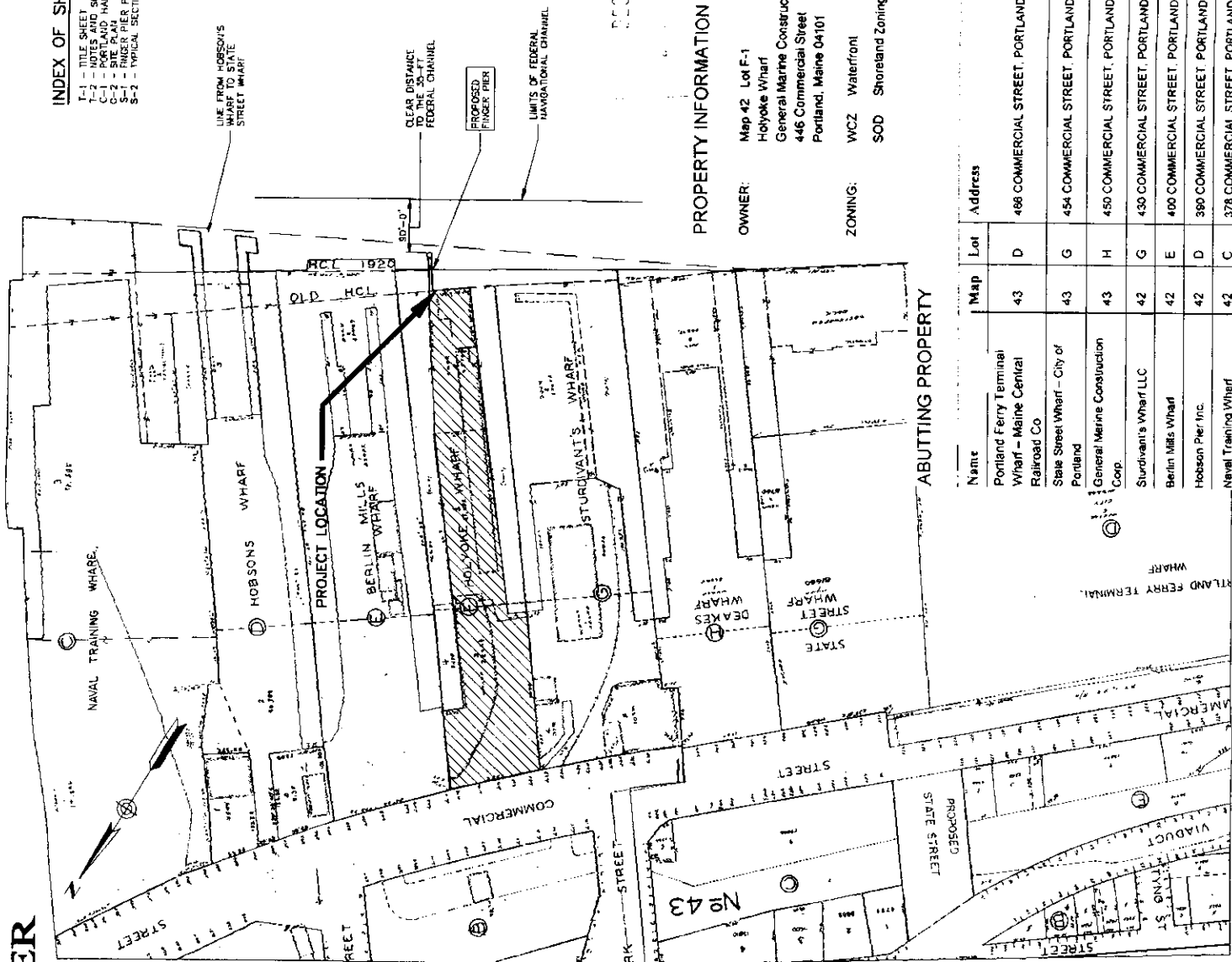
PROJECT NO. 07075



LOCATION MAP

PRELIMINARY

- INDEX OF SHEETS**
- T-1 - TITLE SHEET
 - S-1 - NOTES AND SCHEDULES
 - C-1 - PORTLAND HARBOR SITE PLAN
 - C-2 - SITE PLAN
 - S-1 - FINGER PIER PLAN AND PROFILE
 - S-2 - TYPICAL SECTIONS



PROPERTY INFORMATION

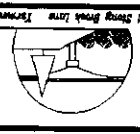
OWNER: Map 42 Lot F-1
 Holyoke Wharf
 General Marine Construction Corporation, Inc.
 446 Commercial Street
 Portland, Maine 04101

ZONING: WCZ Waterfront
 SOD Shoreland Zoning Overlay

ABUTTING PROPERTY

Name	Map	Lot	Address
Portland Ferry Terminal Wharf - Maine Central Railroad Co	43	D	486 COMMERCIAL STREET, PORTLAND, ME 04104
State Street Wharf - City of Portland	43	G	454 COMMERCIAL STREET, PORTLAND, ME 04104
General Marine Construction Corp.	43	H	450 COMMERCIAL STREET, PORTLAND, ME 04104
Sturdivant's Wharf LLC	42	G	430 COMMERCIAL STREET, PORTLAND, ME 04104
Berlin Mills Wharf	42	E	400 COMMERCIAL STREET, PORTLAND, ME 04104
Hobson Pier Inc.	42	D	380 COMMERCIAL STREET, PORTLAND, ME 04104
Naval Training Wharf	42	C	378 COMMERCIAL STREET, PORTLAND, ME 04104

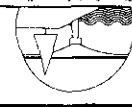
BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 11 Strong Brook Lane, Portland, Maine 04107, Tel: (207) 866-5533



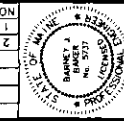
NO.	DATE	DESCRIPTION
1	10/28/08	Progress Rev
2	10/01/08	Primary Approval

DESIGNED BY: BJB
 DRAWN BY: MSH
 CHECKED BY: BJB
 SCALE: AS SHOWN

TITLE SHEET
 HOLYOKE WHARF - FINGER PIER
 PROJECT: GENERAL MARINE CONSTRUCTION CORP., INC.
 SHEET NO.: T-1
 CONTRACT NO.: 07075
 DATE: 07/14/08



NO	1	2
DATE	10/26/08	10/01/08
DESCRIPTION	Progress Review	Preliminary Approval
BY	BAB	BAB



DESIGNED BY	BAB
DRAWN BY	MSR
CHECKED BY	BAB
SCALE	AS SHOWN

SHEET TITLE	NOTES & SCHEDULES
PROJECT	HOLYOKE WHARF - FINGER PIER
CONTRACT NO.	07219
DATE	02-14-08
CONTRACT NO.	07219
SHEET NO.	REV
	T-2

REINFORCED CONCRETE

- Cast-in-Place: MDOT Class A, $f_c = 4350$ PSI
- DCI Admixture: 3 GAL/CY. Exposed concrete only.
- Minimum cover to reinforcement = 3
- Reinforcing Steel: ASTM Grade 36; $f_y = 60,000$ PSI. Epoxy Coated

STEEL PIPE PILES and CASING

- Steel pipe piles shall be in accordance with ASTM A252 Grade 3.
- Casing shall be A36 Steel protected with marine coating prior to placement
- All piles to be fitted with open cutting shoe.
- The contractor shall take steps to protect coating from damage during handling and driving operations.
- Piles shall be filled with concrete after installation of pile cap.
- All submerged steel shall have anodic protection. Use Abline Aluminum Anodes by Wilson International Inc. Model No. W-120 (or approved equal). Position 3'-0" below MLW around the circumference of the steel casing at 5-ft spacing. Attach with 2 - 1/2" welded studs.

MISCELLANEOUS METALS AND FASTENERS

- All metal items to be A36 steel, hot-dip galvanized after fabrication unless otherwise noted.
- All fasteners shall be hot dipped galvanized or stainless steel to resist corrosion.
- All bolts shall be heavy hex, ASTM A-307 unless otherwise noted. Minimum size shall be 3/4" dia. unless otherwise noted.
- At all timber connections, 'dock' washers shall be provided.
- All decking shall be fastened with 2 stainless steel screws or galvanized lag bolts at each support.

DESIGN CRITERIA

- Finger Pier Design Loading
 - Dead Loads + Utilities
 - Walkway Live Load: 100PSF
- Mooring Platform
 - Vessel Impact
 - Vessel Line Loads
 - Wave Height
 - Max Wind Speed
- All handrail and posts shall be constructed to withstand a 200 lb load applied in any direction or 50 lb/ft applied along rail length.
- Pier structure components have been sized with consideration of location on a hurricane coastline. In the event of a pending significant storm, vessels should be relocated to a protected area

SITE NOTES


- The Contractor shall be governed by the Construction Safety Rules as adopted by the State Board Of Construction Safety, Augusta, Maine.
- The project is subject to the Safety And Health Regulations Of The Occupational Safety And Health Act (OSHA) as promulgated by the US Department Of Labor.
- The plan is based on City of Portland Tax Map information, Army Corps FND Data, supplemental field survey by Royal River Surveying and test pile information provided by General Marine Corporation.
- All elevations are to be based on MLLW = 0. NGVD Conversion noted in the Table below.
- Base flood/ tidal information was taken from FEMA and NOAA published data for Portland (NGVD datum).

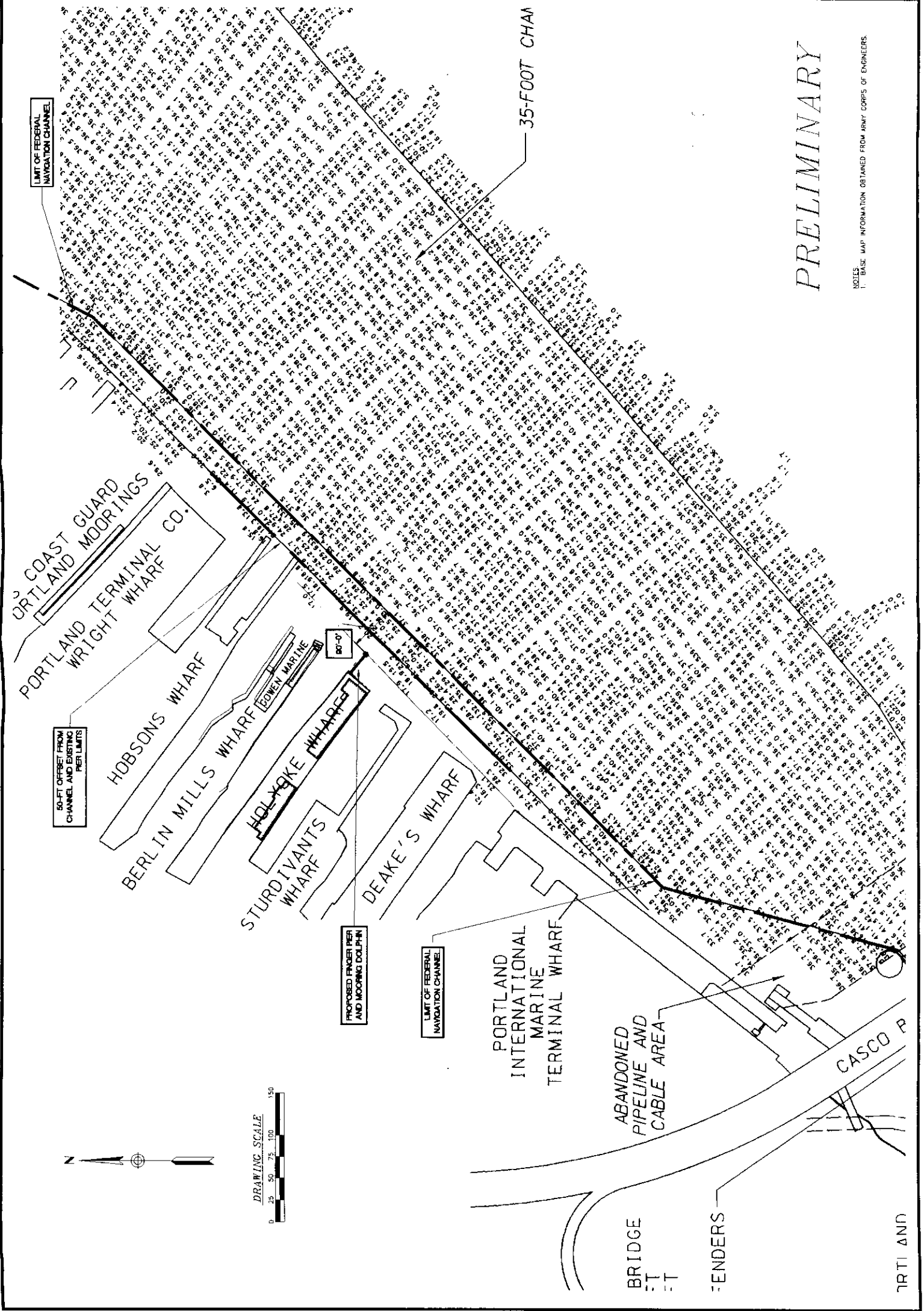
Elevation	Chart Datum (ft)	NGVD (ft)	Notes
FEMA Base Flood	14.6	10.0	FEMA A2-10, V3-12
Highest	14.2	9.6	Based on Portland
Spring Tide Elevation	10.7	6.1	Maine DEP
MHHW	9.9	5.3	Based on Portland
MHW	9.5	4.9	"
Mean Tide Level	4.9	0.3	"
NGVD	4.6	0.0	"
MLW	0.4	-4.2	"
MLLW	0.00	-4.6	"
Lowest	-3.4	-8.0	"

EROSION CONTROL NOTES

- The contractor will be required to have a copy of the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices, current edition and will be required to comply with the standards
- Material Stockpile: Material will be stockpiled off site or delivered directly to the site from barge or truck.

PRELIMINARY

 BAKER DESIGN CONSULTANTS Civil, Marine, and Structural Engineering 21 Stone Brook Lane, Portland, Maine 04106-2071, Tel: (207) 846-8724, Fax: (207) 846-8820		PROJECT: HOLYOKE WHARF - FINGER PIER PORTLAND, MAINE SHEET TITLE: PORTLAND HARBOR SITE PLAN	DATE: 08-01-08 CONTRACT NO: D7075 SHEET NO: C-1
DESIGNED BY: BJB DRAWN BY: MSJ CHECKED BY: BJB SCALE: AS SHOWN	NO. 1 SUBMISSION: Progress Review DATE: 10/28/08 BY: BJB	11 Stone Brook Lane, Portland, Maine 04106-2071, Tel: (207) 846-8724, Fax: (207) 846-8820	



BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering
 11 Slony Brook Lane Portsmouth, Maine 04062 (207) 846-5724 Fax (207) 846-5826

NO.	SUBMISSION	DATE	INT.
1	Preliminary Approval	10/28/08	BFB
2	Progress Review	10/01/08	BFB

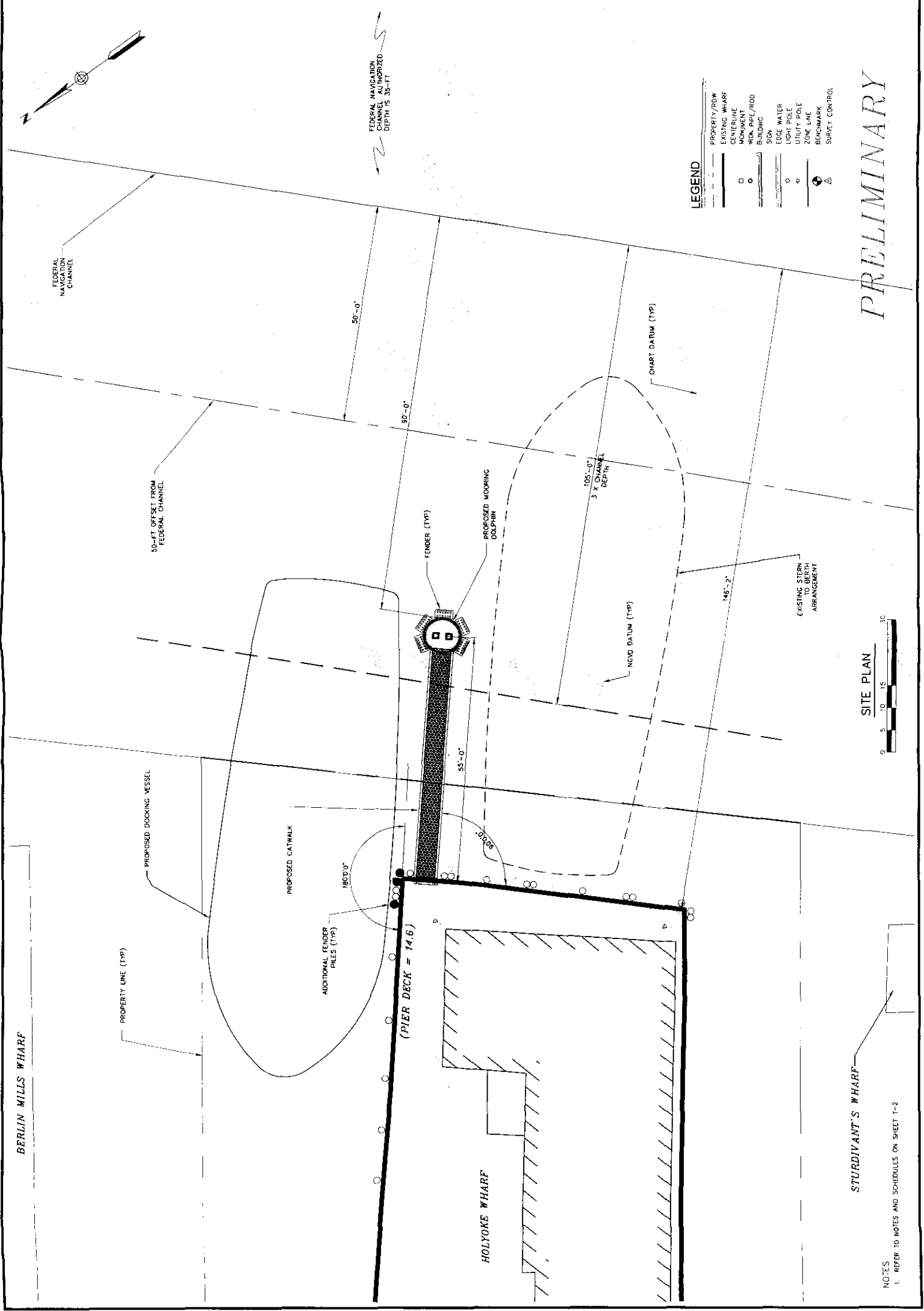
STATE OF MAINE DEPARTMENT OF CONSTRUCTION
 PLANNING & DESIGN DIVISION
 100 WATER STREET, PORTLAND, ME 04101

PROJECT: **HOLYOKE WHARF - FINGER PIER**
 PORTLAND, MAINE

SCALE: AS SHOWN
 CHECKED BY: BFB
 DESIGNED BY: BFB
 DRAWN BY: MSB

SHEET TITLE: **SITE PLAN**

DATE: 07-16-08
 CONTRACT NO: 07075
 SHEET NO: REV
C-2

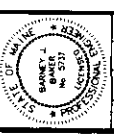


PRELIMINARY

NOTES
 1. REFER TO NOTES AND SCHEDULES ON SHEET T-2

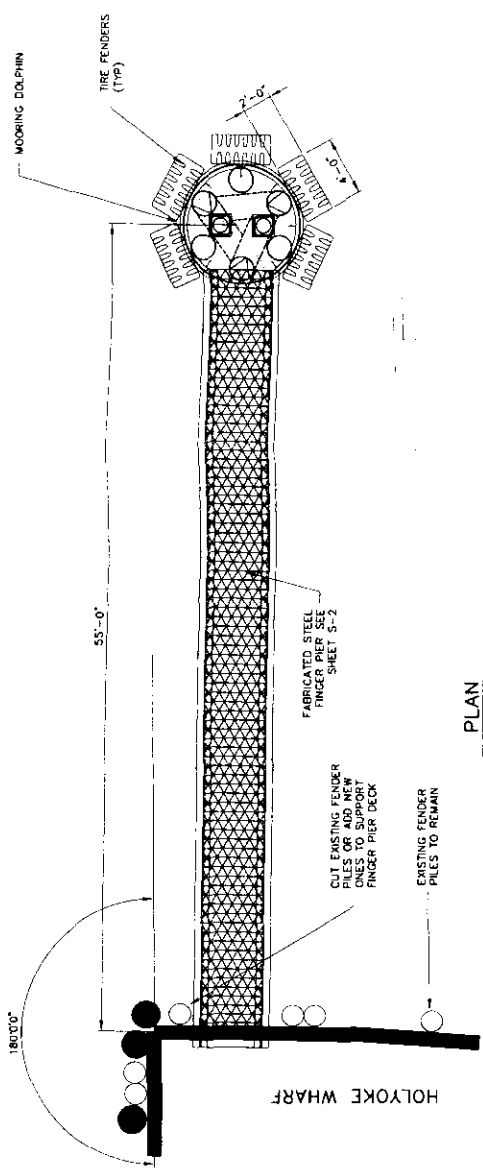
BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 11 Stony Brook Lane Farmington, Maine 04931 Tel: (207) 846-9724 Fax: (207) 846-7420

NO.	DATE	DESCRIPTION
1	10/28/08	Progress Review
2	10/01/08	Preliminary Approval

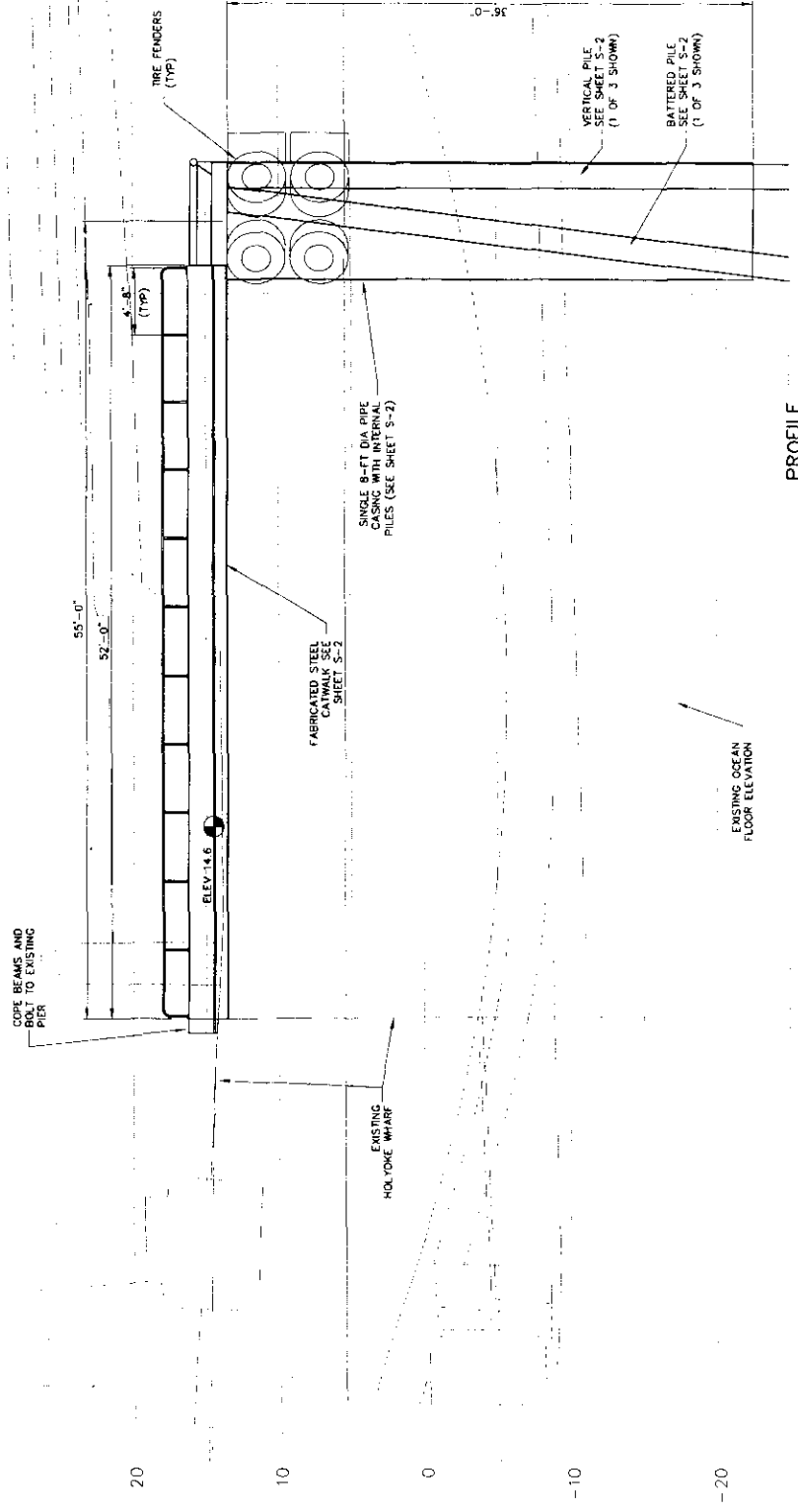


DESIGNED BY: BJB	PROJECT: HOLYOKE GENERAL MARINE CONSTRUCTION CORP., INC.	CONTRACT NO: 07-16-08	SHEET NO: REV.
DRAWN BY: MSH	PROJECT: HOLYOKE WHARF - FINGER PIER	CONTRACT NO: 07-16-08	SHEET NO: REV.
CHECKED BY: BJB	PROJECT: HOLYOKE WHARF - FINGER PIER	CONTRACT NO: 07-16-08	SHEET NO: REV.
SCALE: AS SHOWN	PROJECT: HOLYOKE WHARF - FINGER PIER	CONTRACT NO: 07-16-08	SHEET NO: REV.

Location	Elev. (ft)	Dolphin Certificate Offset (ft)
Top of Holyoke Wharf	14.6	21.18
Pile Cut Off Elevation	12	23.6
Mean High Water	10	28.2
Mean of Casings	0	42.8
Mean Low Water	0	57.4
Seabed	-20	92
Assumed Point of Fixity	-40	146.6
Refusal Elevation	-80	241.2



PLAN



PROFILE

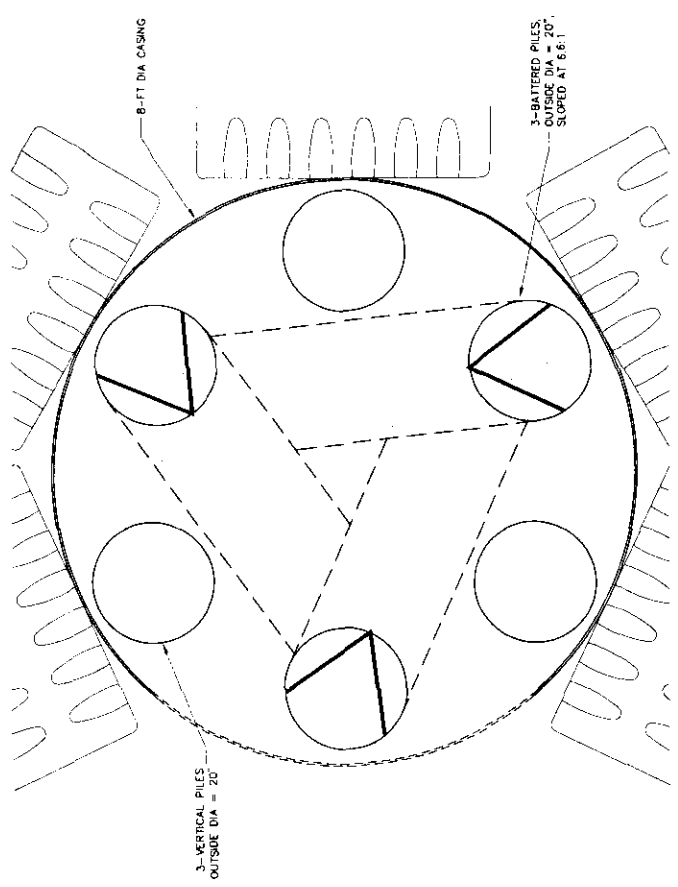
PRELIMINARY



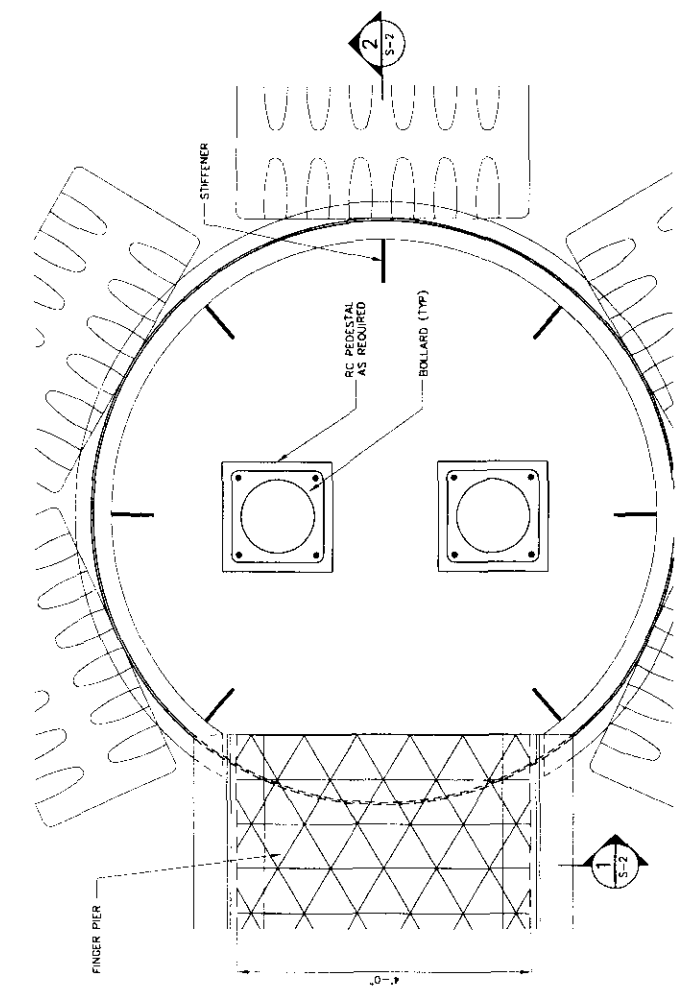
NO.	DATE	DESCRIPTION
1	10.28.08	Progress Review
2	10.01.08	Preliminary Approval
3	08.08	Final Approval

DESIGNED BY: B-8
 DRAWN BY: MS-1
 CHECKED BY: B-9
 SCALE: AS SHOWN

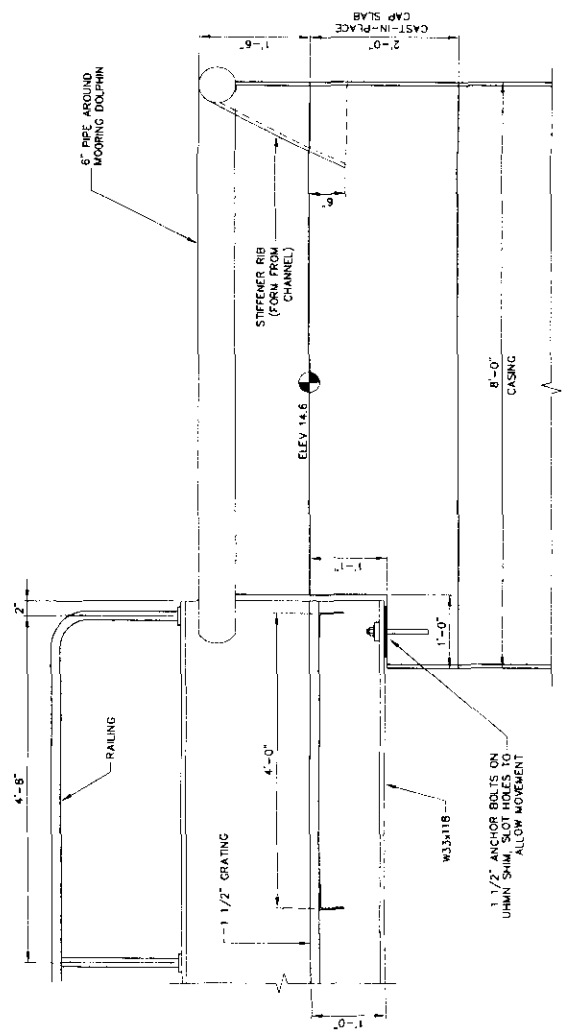
SHEET TITLE: TYPICAL SECTION
 PROJECT: HOLYOKE WHARF - FINGER PIER
 GENERAL MARINE CONSTRUCTION CORP., INC.
 PORTLAND, MAINE
 DATE: 07-16-08
 CONTRACT NO: 07075
 SHEET NO: S-2
 REV: 2



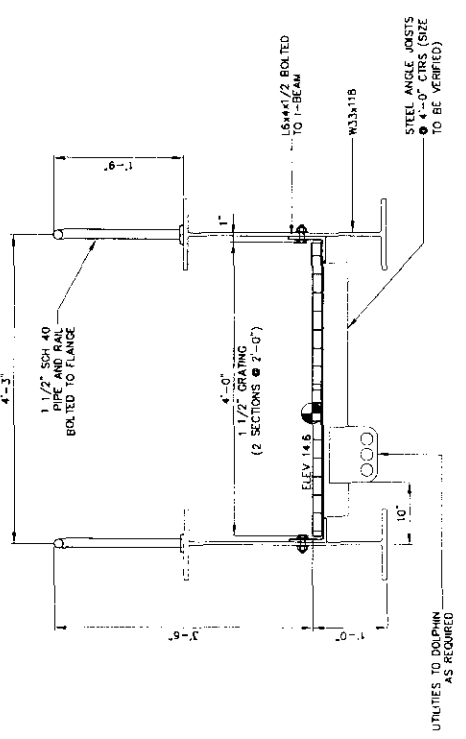
PILE LAYOUT DETAIL



MOORING DOLPHIN PLAN DETAIL



MOORING DOLPHIN SECTION 2



GANGWAY SECTION 1

PRELIMINARY

Memorandum
Department of Planning and Urban Development
Planning Division



TO: Phil Dipirro – Development Review Coordinator
Assessor's Office
Leslie Kanyor – Public Services (CD only)
David Margolis Pineo – Public Services
Todd Merkle – Public Services
Jeff Tarling – Public Services
Marge Schmuckal – Zoning Administrator

FROM: Erick Giles, AICP, LEED AP, Planner

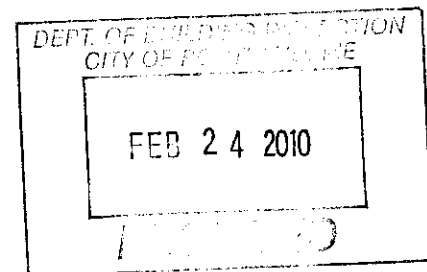
DATE: February 24, 2010

RE: Final Approved Plans – Holyoke Finger Pier 445 Commercial St.

Please see attached approved plans for the Holyoke Finger Pier site plan development at 445 Commercial St., approved by the Planning Authority on January 11, 2010. Please contact me with any questions or concerns.

Respectfully,

Erick Giles



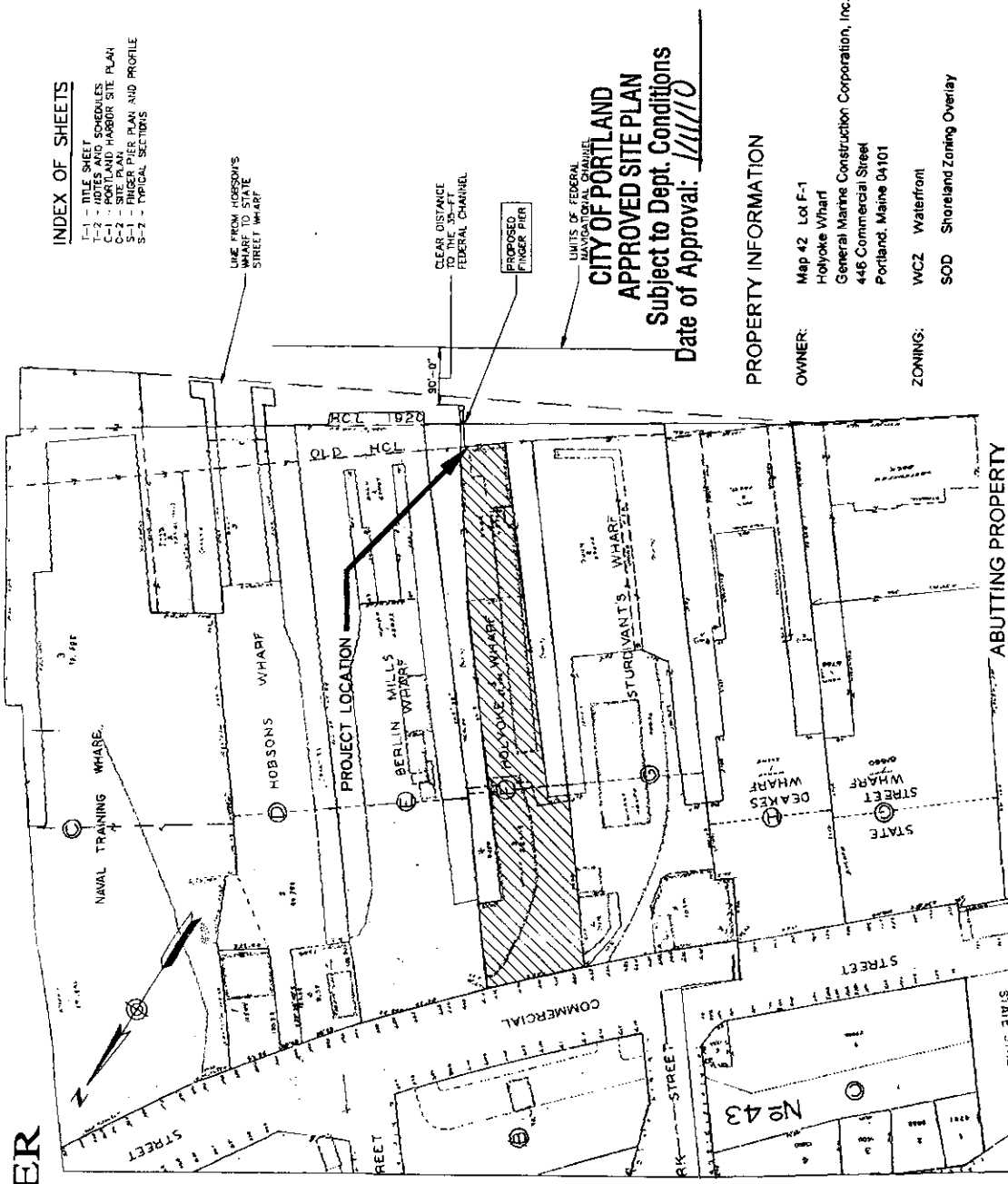
HOLYOKE WHARF - FINGER PIER PORTLAND, MAINE PROJECT NO. 07075



LOCATION MAP
REV. 2 4 2010

PRELIMINARY

- INDEX OF SHEETS**
- 1-1 - TITLE SHEET
 - 1-2 - NOTES AND SCHEDULES
 - 2-1 - HARBOR SITE PLAN
 - 2-2 - SITE PLAN
 - 3-1 - FINGER PIER PLAN AND PROFILE
 - 3-2 - TYPICAL SECTIONS



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 1/11/10

PROPERTY INFORMATION

OWNER: Map 42 Lot F-1
Holyoke Wharf
General Marine Construction Corporation, Inc.
446 Commercial Street
Portland, Maine 04101

ZONING: WCZ Waterfront
SOD Shoreland Zoning Overlay

ABUTTING PROPERTY

Name	Map	Lot	Address
Portland Ferry Terminal Wharf - Maine Central Railroad Co	43	D	486 COMMERCIAL STREET, PORTLAND, ME 04104
State Street Wharf - City of Portland	43	G	454 COMMERCIAL STREET, PORTLAND, ME 04104
General Marine Construction Corp.	43	H	450 COMMERCIAL STREET, PORTLAND, ME 04104
Sturdivant's Wharf LLC	42	G	430 COMMERCIAL STREET, PORTLAND, ME 04104
Berlin Mills Wharf	42	E	400 COMMERCIAL STREET, PORTLAND, ME 04104
Hobson Pier, Inc.	42	D	390 COMMERCIAL STREET, PORTLAND, ME 04104
Naval Training Wharf	42	C	378 COMMERCIAL STREET, PORTLAND, ME 04104

<p>PROJECT: HOLYOKE WHARF - FINGER PIER PROJECT GENERAL MARINE CONSTRUCTION CORP., INC. PORTLAND, MAINE</p>		<p>TITLE SHEET</p>	
DESIGNED BY:	B.B.	CHECKED BY:	B.B.
DRAWN BY:	M.S.H.	DATE:	02/14/08
CONTRACT NO.:	07075	SHEET NO.:	1-1
REV.:			

NO.	1	DATE	10/28/08
NO.	2	DATE	10/01/08
NO.	3	DATE	09/08/08

SUBMISSION: Preliminary Approval
 SCALE: AS SHOWN
 PROJECT: HOLYOKE WHARF - FINGER PIER
 PROJECT GENERAL MARINE CONSTRUCTION CORP., INC.
 PORTLAND, MAINE

SITE NOTES

- The Contractor shall be governed by the Construction Safety Rules as adopted by the State Board Of Construction Safety, Augusta, Maine.
- The project is subject to the Safety And Health Regulations Of The Occupational Safety And Health Act (OSHA) as promulgated by the US Department Of Labor.
- The plan is based on City of Portland Tax Map information, Army Corps FND Data, supplemental field survey by Royal River Surveying and test pile information provided by General Marine Corporation.
- All elevations are to be based on MLLW = 0. NGVD Conversion noted in the Table below.
- Base flood/tidal information was taken from FEMA and NOAA published data for Portland (NGVD datum).

Elevation	Chart Datum (ft)	NGVD (ft)	Notes
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Highest	14.2	9.6	Based on Portland
Spring Tide Elevation	10.7	6.1	Maine DEP
MHHW	9.9	5.3	Based on Portland
MHW	9.5	4.9	"
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NGVD	4.6	0.0	"
MLW	0.4	-4.2	"
MLLW	0.00	-4.6	"
Lowest	-3.4	-8.0	"

DESIGN CRITERIA

- Finger Pier Design Loading
 - Dead Loads + Utilities
 - Walkway Live Load: 100PSF
- Mooring Platform
 - Vessel Impact
 - Vessel Line Loads
 - Wave Height
 - Max Wind Speed
- All handrail and posts shall be constructed to withstand a 200 lb load applied in any direction or 50 lb/ft applied along rail length.
- Pier structure components have been sized with consideration of location on a hurricane coastline in the event of a pending significant storm. vessels should be relocated to a protected area

REINFORCED CONCRETE

- Cast-In-Place: MDOT Class A, $f_c = 4350$ PSI
 - DCI Admixture; 3 GAL/CY. Exposed concrete only.
 - Minimum cover to reinforcement = 3"
 - Reinforcing Steel: ASTM Grade 36; $f_y = 60,000$ PSI. Epoxy Coated
- STEEL PIPE PILES and CASING**
- Steel pipe piles shall be in accordance with ASTM A252 Grade 3
 - Casing shall be A36 Steel protected with marine coating prior to placement.
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- All bolts shall be heavy hex, ASTM A-307 unless otherwise noted. Minimum size shall be 1/2" dia. unless otherwise noted.
- At all timber connections, 'dock' washers shall be provided.
- All decking shall be fastened with 2 stainless steel screws or galvanized lag bolts at each support.

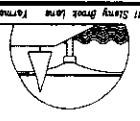
EROSION CONTROL NOTES

- The contractor will be required to have a copy of the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices, current edition and will be required to comply with the standards.
- Material Stockpile. Material will be stockpiled off site or delivered directly to the site from barge or truck.

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 1/11/10

PRELIMINARY

BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 Portland, Maine 04108 Tel: (207) 846-9724 Fax: (207) 846-3630



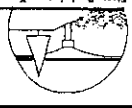
NO.	DATE	DESCRIPTION
1	10.01.08	Submittal Review
2	10.28.08	Progress Review
3	10.01.08	Final Review



DESIGNED BY:	BAB
DRAWN BY:	BAB
CHECKED BY:	BAB
SCALE:	AS SHOWN

SHEET TITLE:	NOTES & SCHEDULES
PROJECT:	HOLYOKE WHARF - FINGER PIER
CLIENT:	PORTLAND, MAINE
DATE:	07-14-08
CONTRACT NO:	07075
SHEET NO:	T-2

BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering
11 Spring Street Lane, Farmville, Maine 04008 Tel: (207) 844-7724 Fax: (207) 844-3520

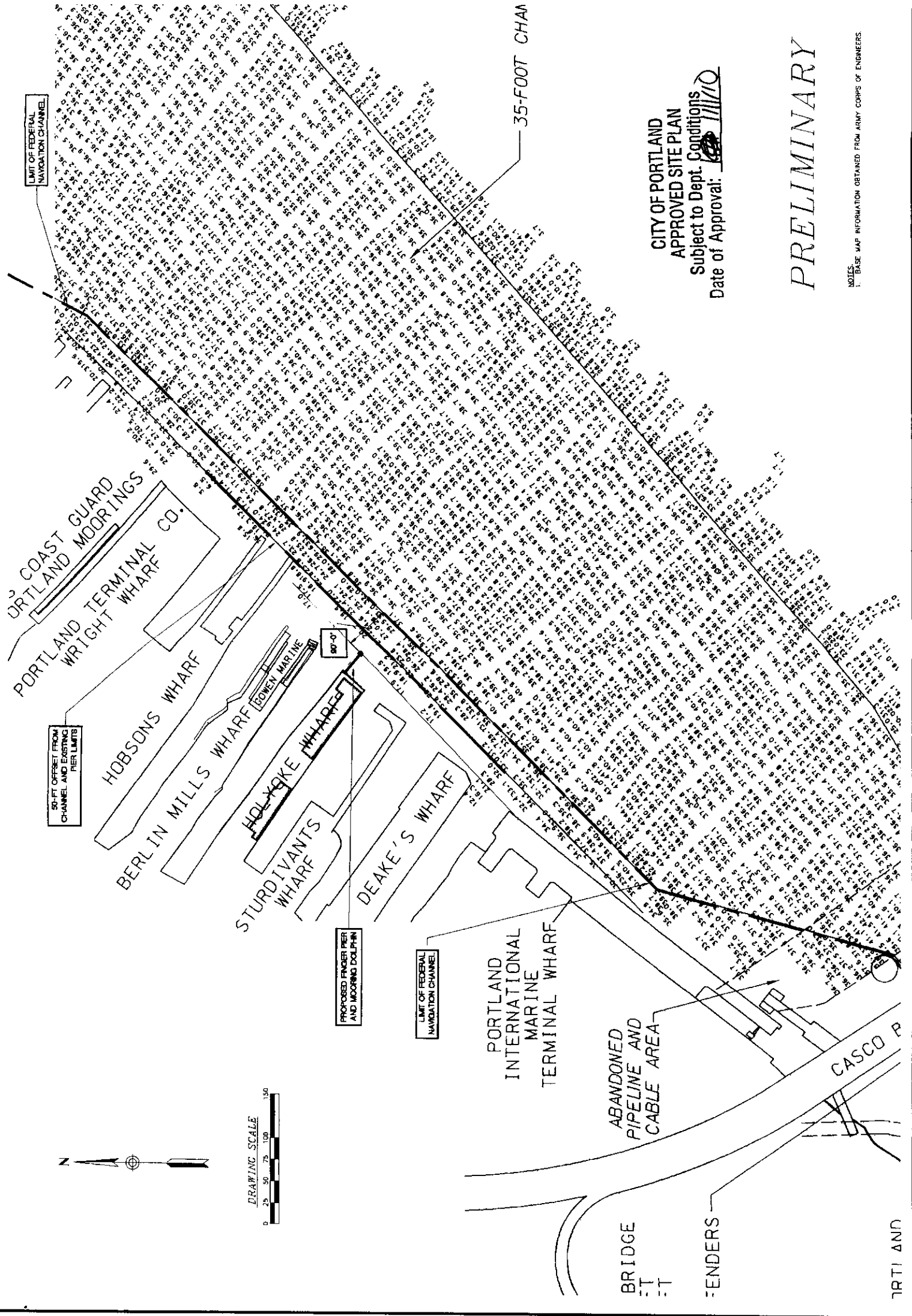


NO.	DESCRIPTION	DATE	BY
1	Progress Review	10/28/08	BAJ
2	Final Approval	10/01/08	BAJ



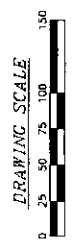
DESIGNED BY:	BAJ
DRAWN BY:	MSH
CHECKED BY:	BAJ
SCALE:	AS SHOWN

SHEET TITLE: PORTLAND HARBOR SITE PLAN
PROJECT: HOLYOKE WHARF - FINGER PIER
PORTLAND, MAINE
DATE: 08-01-08
CONTRACT NO.: 07075
SHEET NO.: REV: 1

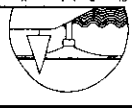


CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11/10
PRELIMINARY

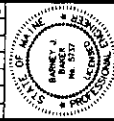
NOTES:
1. BASE MAP INFORMATION OBTAINED FROM ARMY CORPS OF ENGINEERS.



BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 11 Spring Brook Lane, Yarmouth, Maine 04096, Tel: (207) 846-8724 Fax: (207) 846-8630

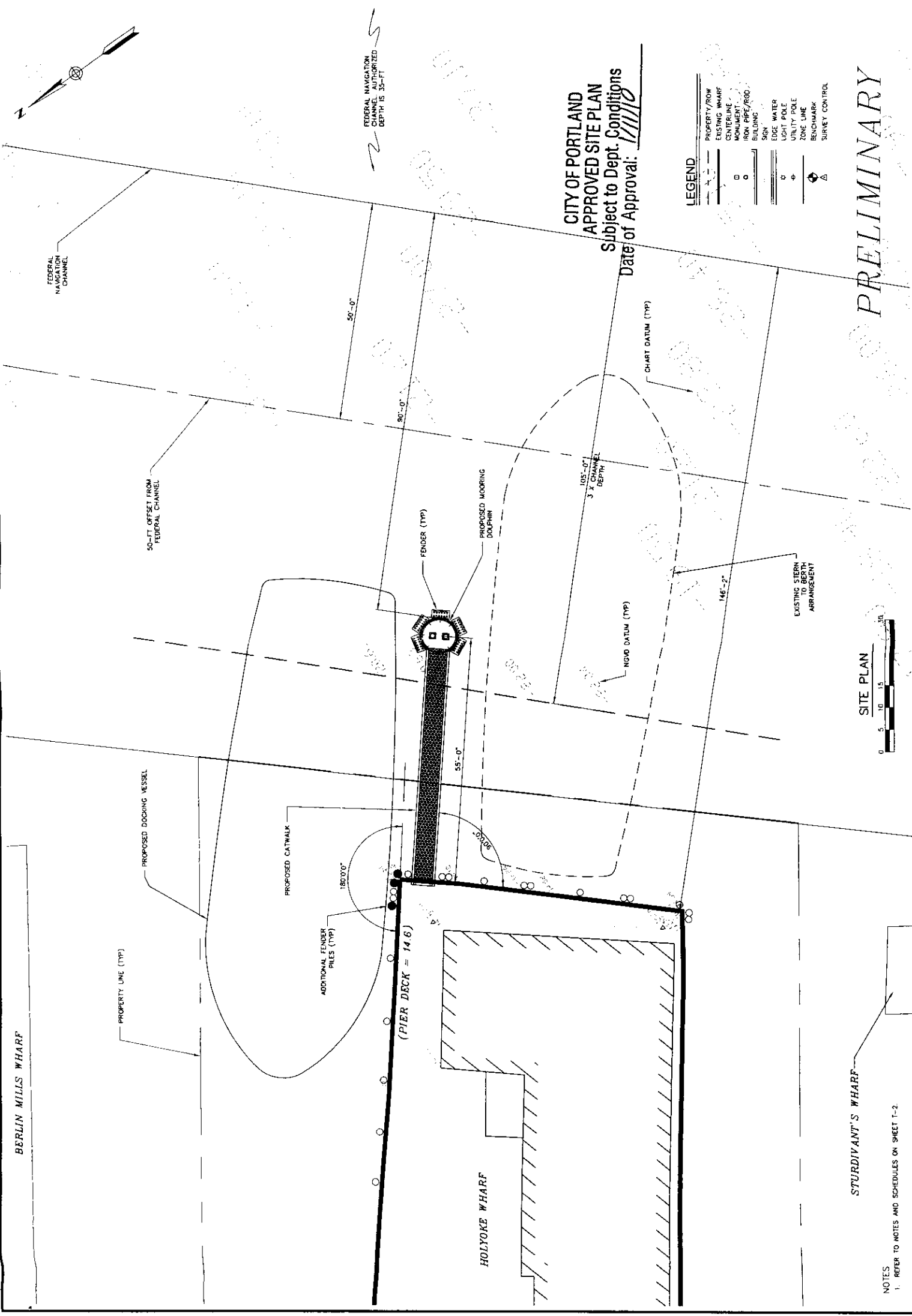


NO.	DATE	DESCRIPTION
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2	10/28/08	Progress Review
3	10/01/08	Preliminary Approval



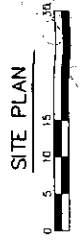
DESIGNED BY: BJB
 DRAWN BY: MSH
 CHECKED BY: BJB
 SCALE: AS SHOWN

SITE PLAN
 PROJECT: HOLYOKE WHARF - FINGER PIER
 PORTLAND, MAINE
 SHEET TITLE: HOLYOKE WHARF - FINGER PIER
 DATE: 07-16-08
 CONTRACT NO: 07075
 SHEET NO: C-2
 REV: 1



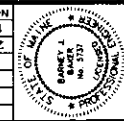
CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11/11/08

PRELIMINARY



NOTES
 1. REFER TO NOTES AND SCHEDULES ON SHEET T-2.

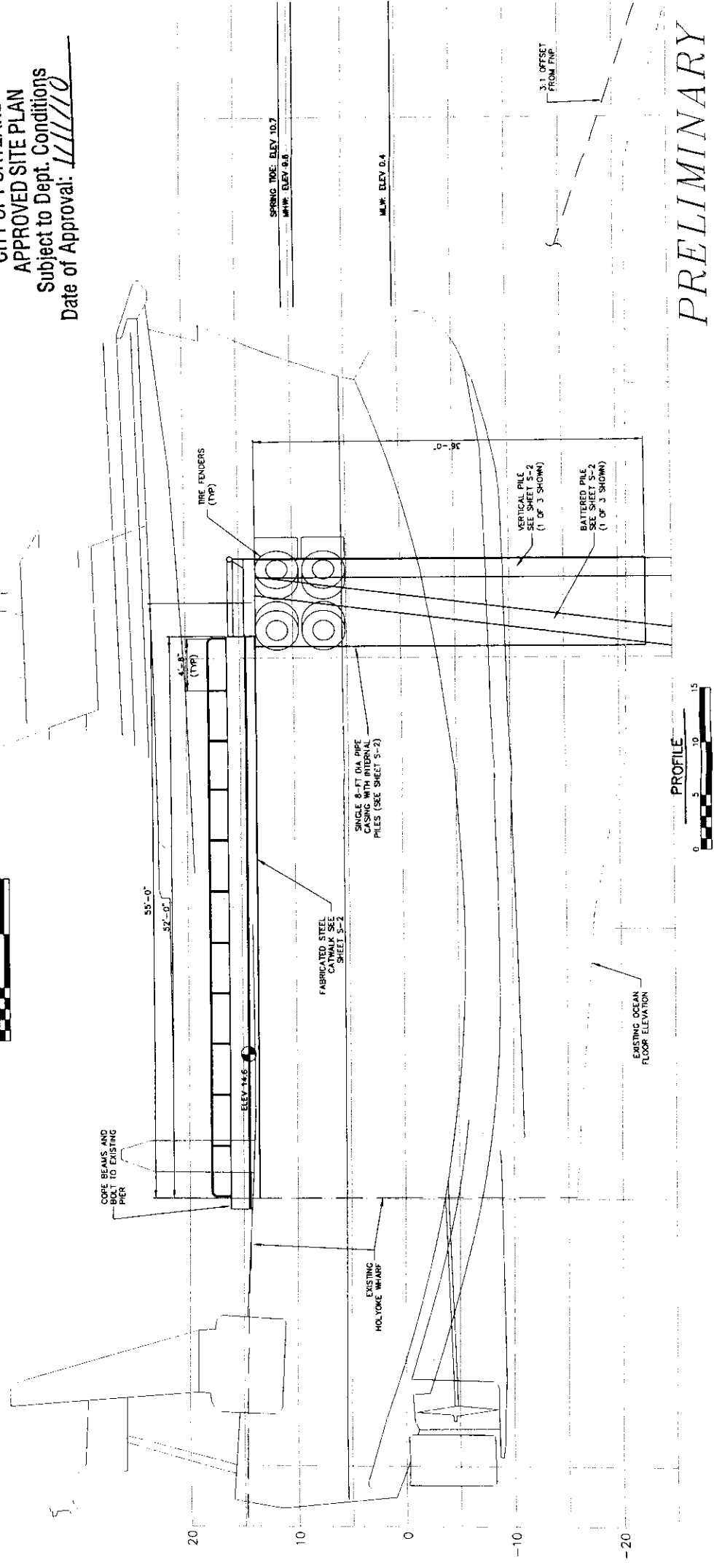
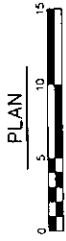
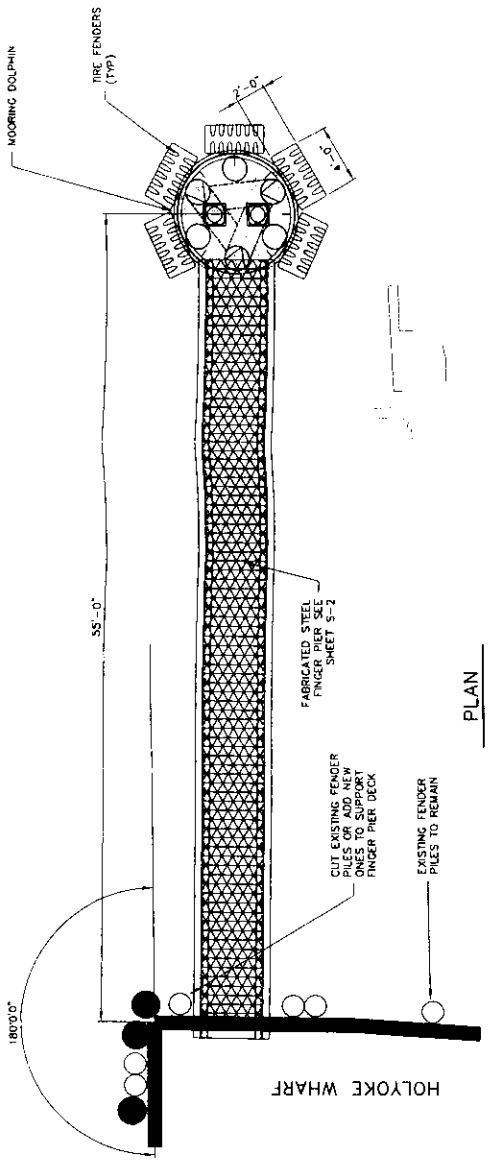
NO.	DATE	DESCRIPTION
1	10.01.08	Progress Review
2	10.28.08	Final Approval



DESIGNED BY: BJB	PROJECT: HOLYOKE WHARF - FINGER PIER
DRAWN BY: MSH	PROJECT: HOLYOKE WHARF - FINGER PIER
CHECKED BY: BJB	PROJECT: HOLYOKE WHARF - FINGER PIER
SCALE: AS SHOWN	PROJECT: HOLYOKE WHARF - FINGER PIER
SHEET TITLE: FINGER PIER PLAN & PROFILE	
DATE: 07-16-08	CONTRACT NO: 07005
SHEET NO. REV: S-1	

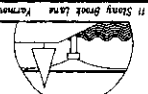
Location	Elev. (ft)	Dolphin Centerline Offset (in)
Top of Holyoke Wharf	14.6	21 1.8
Pile Cut Off Elevation	12	23.6 2.0
Mean High Water	10	28.2 2.4
Bottom of Casing	0	42.8 3.6
Mean Low Water	0	57.4 4.8
Seabed	-20	92 7.7
Assumed Point of Fixity	-40	146.6 12.2
Refusal Elevation	-80	241.2 20.1

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11/11/08



PRELIMINARY

BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 11 Stang Brook Lane, Kennebunk, Maine 04067 (207) 866-9724 Fax (207) 866-3620



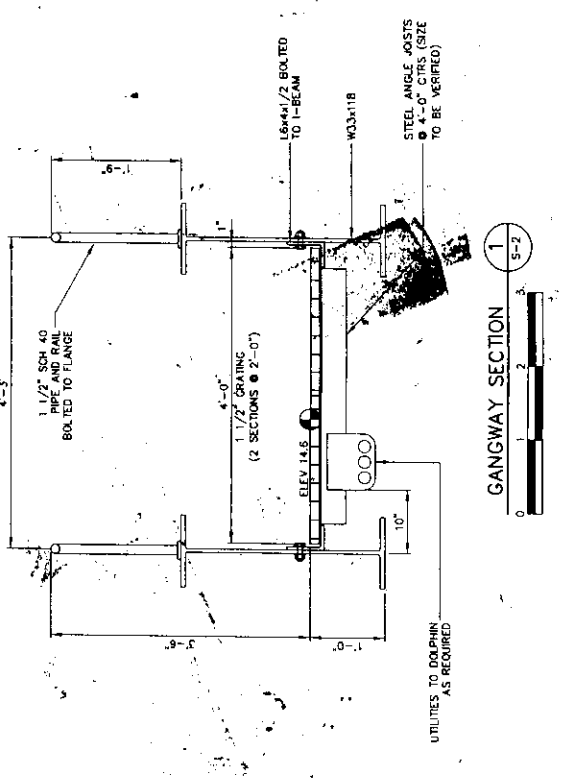
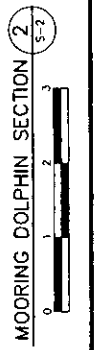
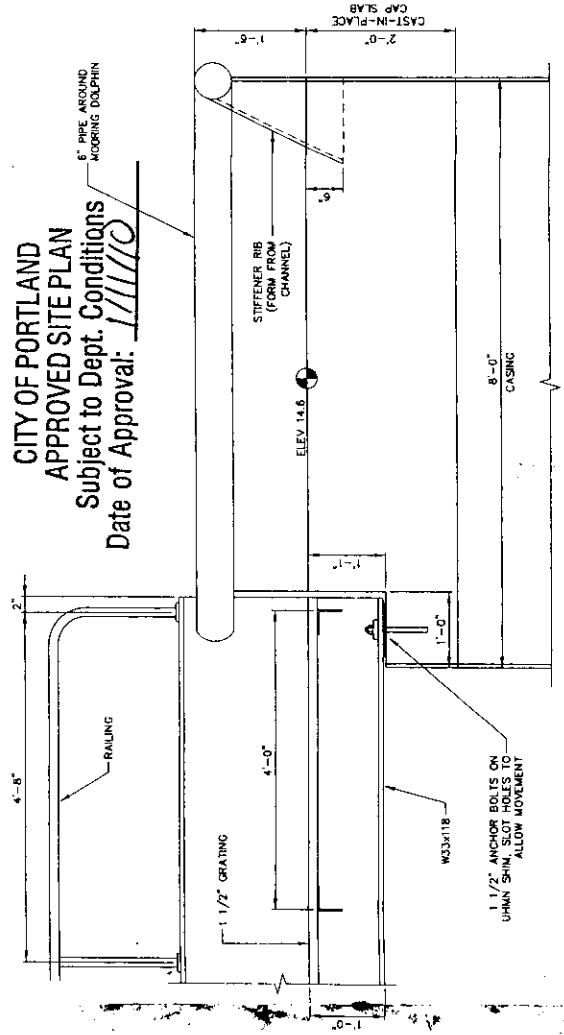
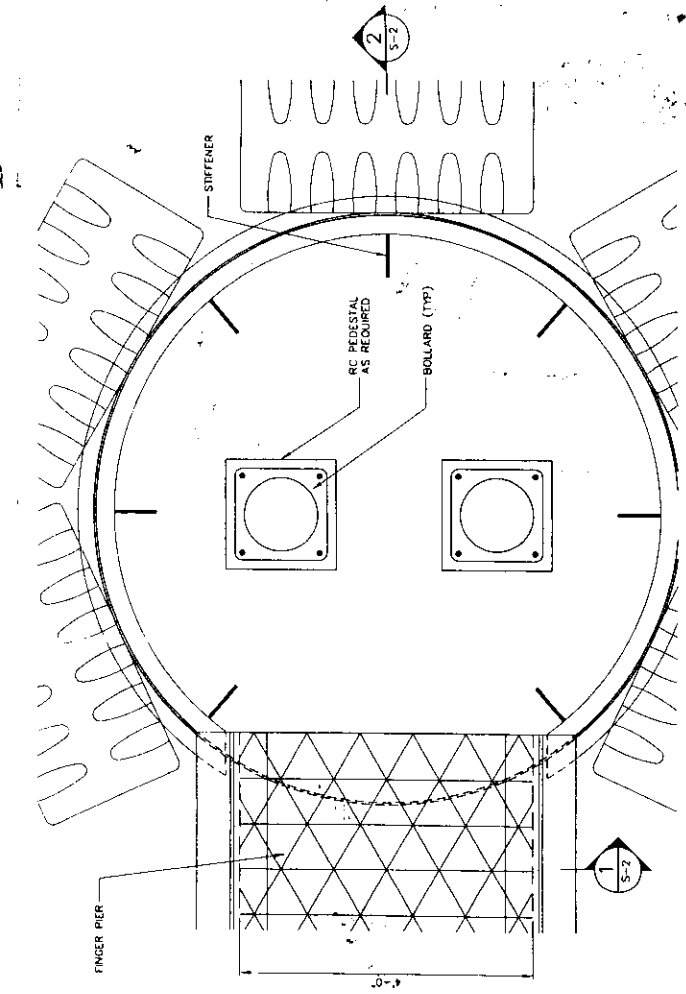
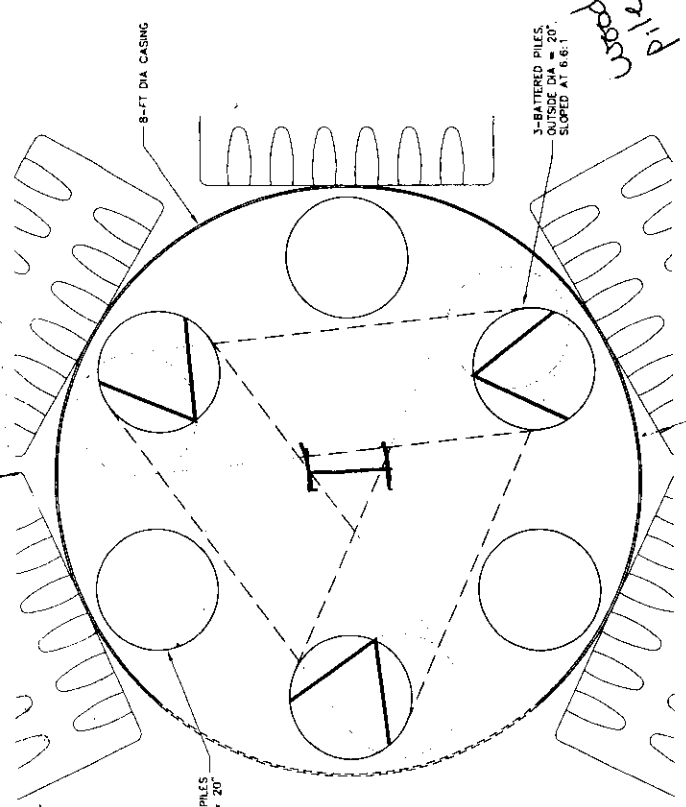
NO.	1	2
DATE	10/01/08	10/28/08
DESCRIPTION	Preliminary Approval	Progress Review
BY	BA	BA
CHECKED BY	BA	BA
DESIGNED BY	BA	BA



DESIGNED BY: BA
 DRAWN BY: MSH
 CHECKED BY: BA
 SCALE: AS SHOWN

TYPICAL SECTION
 PROJECT: HOLYOKE WHARF - FINGER PIER
 PORTLAND, MAINE
 HOLYOKE GENERAL MARINE CONSTRUCTION CORP., INC.

SHEET TITLE: TYPICAL SECTION
 DATE: 07-16-08
 CONTRACT NO: 07075
 SHEET NO: S-2



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11/1/0

PRELIMINARY