

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 100340

Please Read  
Application And  
Notes. If Any.  
- Attached

This is to certify that City of Portland/E.J. Construction

has permission to Seafood Warehouse - build interior demising walls install bathroom in existing space

AT 1 Portland Fish Pier (#6) CBL 041 A001002

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade. <sup>APP - 9</sup> Nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. CAPT. R. J. [Signature]  
Health Dept. City of Portland  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Handwritten Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0340	Issue Date:	CBL: 001 041 A001002
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Location of Construction: 1 Portland Fish Pier (#6)	Owner Name: City of Portland	Owner Address: 389 Congress Street	Phone:
Business Name:	Contractor Name: E.J. Construction	Contractor Address: 10A Beach Street Portland	Phone 2077730776
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: W/CZ

Past Use: Portland Fish Exchange - Seafood Warehouse	Proposed Use: Portland Fish Exchange - Seafood Warehouse - build interior demising walls install bathroom in existing space	Permit Fee: \$190.00	Cost of Work: \$17,000.00	CEO District: 1
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**Proposed Project Description:**  
Seafood Warehouse - build interior demising walls install bathroom in existing space

<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	<b>INSPECTION:</b> Use Group: <i>S</i> Type: <i>2</i> <i>IBC 2003</i> Signature: <i>[Signature]</i>
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**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: *Idobson*  
Date Applied For: *04/06/2010*

## Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Special Zone or Reviews**

Shoreland

Wetland *- all interior work.*

Flood Zone

Subdivision

Site Plan

Maj  Minor  MM

Date: *4/6/10* *Asm*

**Zoning Appeal**

Variance

Miscellaneous

Conditional Use

Interpretation

Approved

Denied

Date: \_\_\_\_\_

**Historic Preservation**

Not in District or Landmark

Does Not Require Review

Requires Review

Approved

Approved w/Conditions

Denied

Date: *Asm*

PERMIT ISSUED

APR - 9 2010

City of Portland

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR - 9 2011

City of Portland

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0340	Date Applied For: 04/06/2010	CBL: 041 A001001
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Location of Construction: 1 Portland Fish Pier	Owner Name: City of Portland	Owner Address: 389 Congress Street	Phone:
Business Name:	Contractor Name: E.J. Construction	Contractor Address: 10A Beach Street Portland	Phone: (207) 773-0776
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Portland Fish Exchange - Seafood Warehouse - build interior demising walls install bathroom in existing space	Proposed Project Description: Seafood Warehouse - build interior demising walls install bathroom in existing space
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Ann Machado      Approval Date: 04/06/2010  
 Note: Ok to Issue: ✓

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 04/15/2010  
 Note: Ok to Issue: ✓

- 1) The interior framing must be metal studs.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire      Status: Approved with Conditions      Reviewer: Capt Keith Gautreau      Approval Date: 04/09/2010  
 Note: Ok to Issue: ✓

- 1) Bathroom must comply with local and state plumbing codes.
- 2) No means of egress shall be affected by this renovation
- 3) All means of egress to remain accessible at all times
- 4) All construction shall comply with NFPA 1 and 101.

PERMIT ISSUED

APR - 9 2010

City of Portland



# General Building Permit Application

If one of the property owner owes real estate or personal property taxes or other charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>6 PORTLAND FISH PIER</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>41</u> Block# <u>A</u> Lot# <u>21</u>	Applicant <u>must be owner, Lessee or Buyer</u> Name <u>PORTLAND FISH EX</u> Address <u>6 PORTLAND FISH PIER</u> City, State & Zip <u>PORTLAND ME</u>	Telephone: <u>773 0017</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>City of Portland</u> Address City, State & Zip	Cost Of Work: \$ <u>17,000</u> C of O Fee: \$ Total Fee: \$ <u>190</u>
Current legal use (i.e. single family) <u>SEAFOOD WAREHOUSE</u> If vacant, what was the previous use? Proposed Specific use: <u>ADMINISTRATIVE SPACE EXISTING</u> Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <u>BUILD INTERIOR DEMISING WALLS</u> <u>INSTALL BATHROOM EXISTING</u>		
Contractor's name: <u>K J CONSTRUCTION</u> Address: <u>10 A BEACH ST</u> City, State & Zip: <u>PORTLAND ME</u> Telephone: <u>775-0123</u> Who should we contact when the permit is ready: <u>BERT JONLORDEN</u> Telephone: <u>773-0017</u> Mailing address: <u>6 PORTLAND FISH PIER</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**RECEIVED**

Signature: [Signature] Date: 4.02.10

This is not a permit; you may not commence ANY work until the permit is issued

APR 6 2010  
Dept. of Building Inspections  
City of Portland Maine

# EJ CONSTRUCTION INC

RESIDENTIAL / COMMERCIAL

March 24, 2010

## Proposal for Renovations at Portland Fish Exchange

This proposal is for renovations of the existing offices at the Portland Fish Exchange as per request of Bert Jorgensen, Manager, Portland Fish Exchange

Proposal includes the following:

### Division 1: General Requirements

Project management by EJ Construction, Inc.

Building permit acquired by Portland Fish Exchange

Dumpster provided during construction for debris by Portland fish exchange

Not included in contract: Surveying fees, architectural fees, engineering fees, temporary electricity during construction, roofing, or painting

### Division 2: Site Construction

None included

### Division 3: Concrete & Masonry

None included

### Division 4: Metals

None Included

### Division 5: Wood and Plastics

Interior framing for new bath walls and partition to be 2"x4" s

1"x4" trim for interior doors

phil engel & rob jeffrey

10-A beach street, portland, maine 04101

PHONE 775 - 0123 ♦ FAX 874 - 0925

Vinyl baseboard for new walls

Framing for new bathroom

Remove existing interior window and existing sliders and reframe

Division 6: Thermal and Moisture Protection

None Included

Division 7: Doors and Windows

Allowance for one exterior door, two interior doors

Division 8: Finishes

1/2" drywall to be applied to all new walls

FRP applied to new bath walls

Allowance for vinyl flooring is included in proposal

Allowance for carpet at new office is included in proposal

Division 9: Specialties

~~None Included~~

Division 10: Equipment

Allowance for bathroom accessories.

Division 11: Furnishings

None Included

Division 12: Special Construction

None Included

Division 13: Conveying Systems

None Included

Division 14: Mechanical

Allowance for plumbing fixtures

Division 15: Electrical

Allowance for electrical wiring

\* Price includes all labor and material

**Budget allowances included in contract pricing:**

Flooring for one Baths	\$500
Bath fixtures	\$800
Interior Trim and vinyl base	\$300
Doors	\$800
Electric	\$600
FRP	\$1000
Plumbing	\$2500
Water Heater	\$500
Hardware	\$200
Carpet	\$500

Total (including allowances): \$17,808 (Seventeen Thousand, Eight Hundred and Eight Dollars)



April 1, 2010

**Project need:**

To segregate administrative space into two office units to accommodate tenant

**Site Location:**

Portland Fish Exchange  
6 Portland Fish Pier  
Portland, Me 04101

**Contact:**

Bert Jongerden, General Manager  
773-0017  
[bjongerden@pfex.org](mailto:bjongerden@pfex.org)

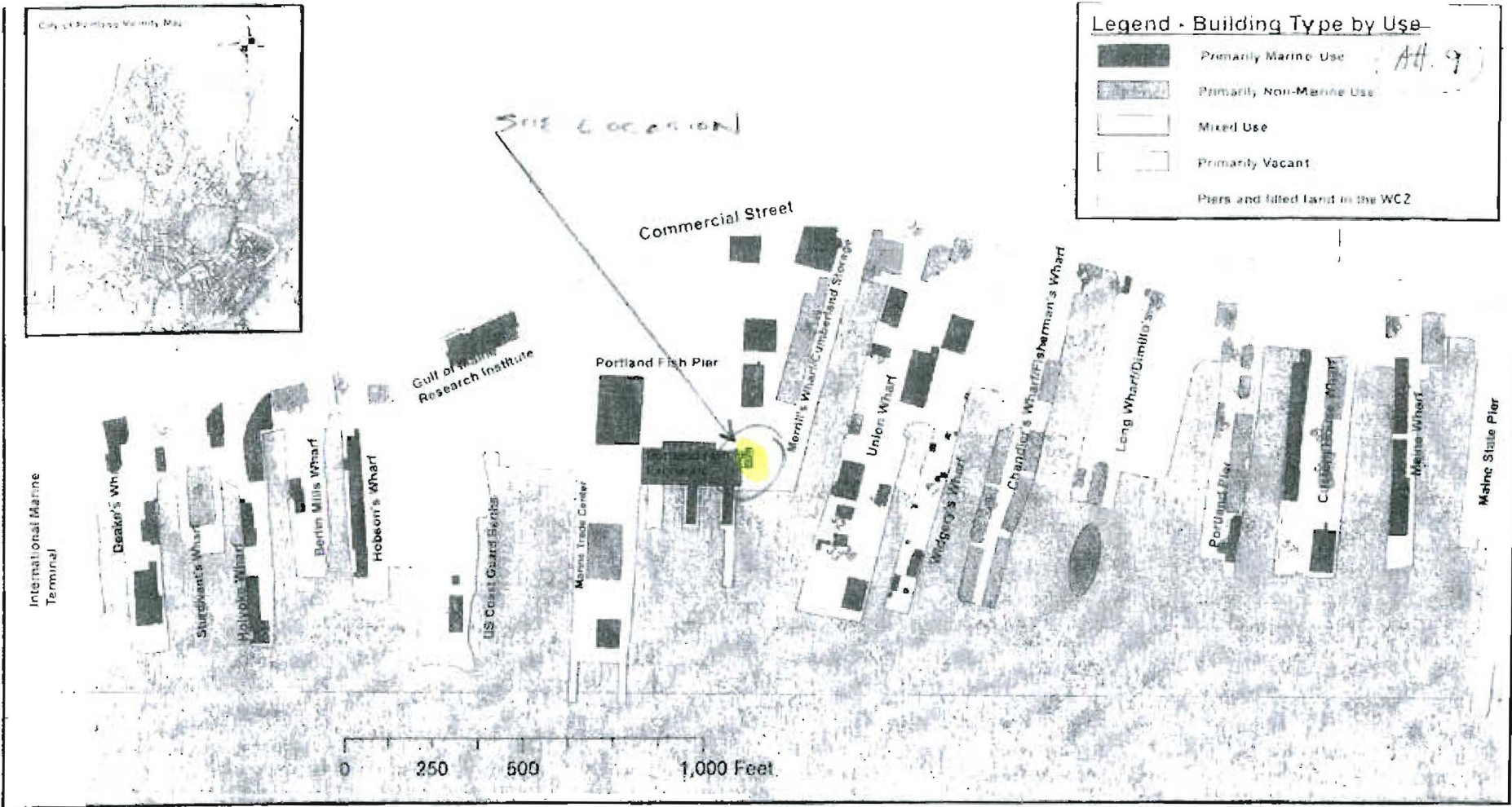
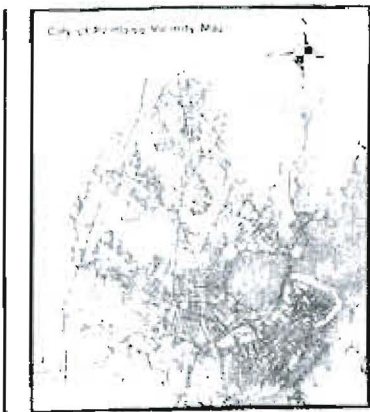
**Scope of work:**

Roof: \$9,814

- Fasten 3" wood nailer to roof perimeter
- Fasten 2 layers of 1.5" Polyiso insulation to deck
- Adhere .060 rubber to insulation

Interior: \$17,808

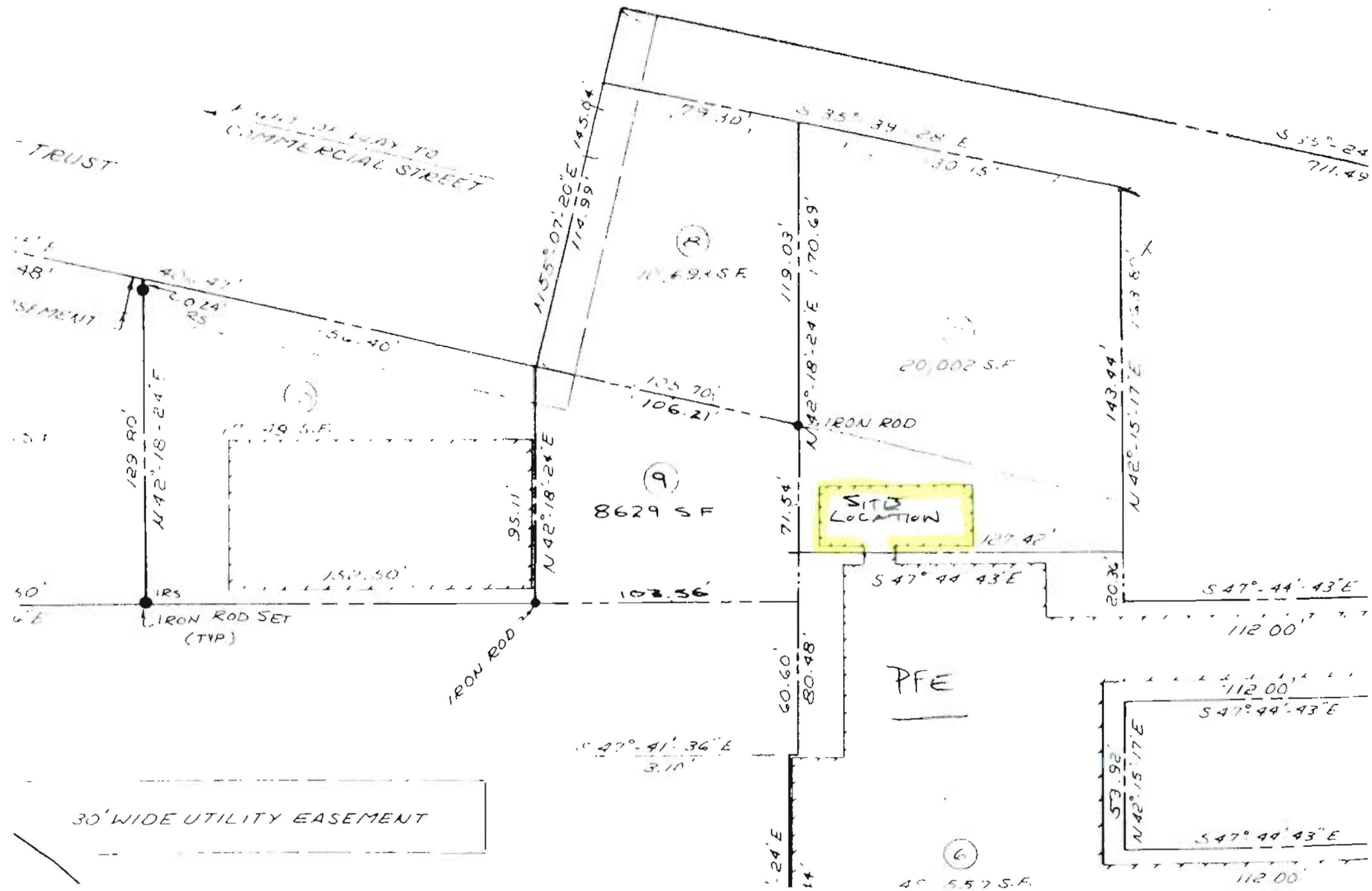
- Fill-in sliding glass doors (two) with 2 x 4 & 1/2" drywall
- Install ADA compliant bathroom, for tenant, plumbed into existing utility
- Replace existing outside door
- Flooring, FRP walls, interior trim & paint
- Demise interior laterally with 2 x 4 & 1/2" drywall
- Install interior exit door(s)



# Portland's Central Waterfront Building Inventory - Coded by Use

Map produced by the City of Portland Planning Bureau  
 using Portland GIS Program 2007 data. Intended for  
 discussion purposes only. Building uses were determined by  
 exterior field observation in December 2009, but were not  
 informed by an interior floor by floor inspection.  
 January 2010

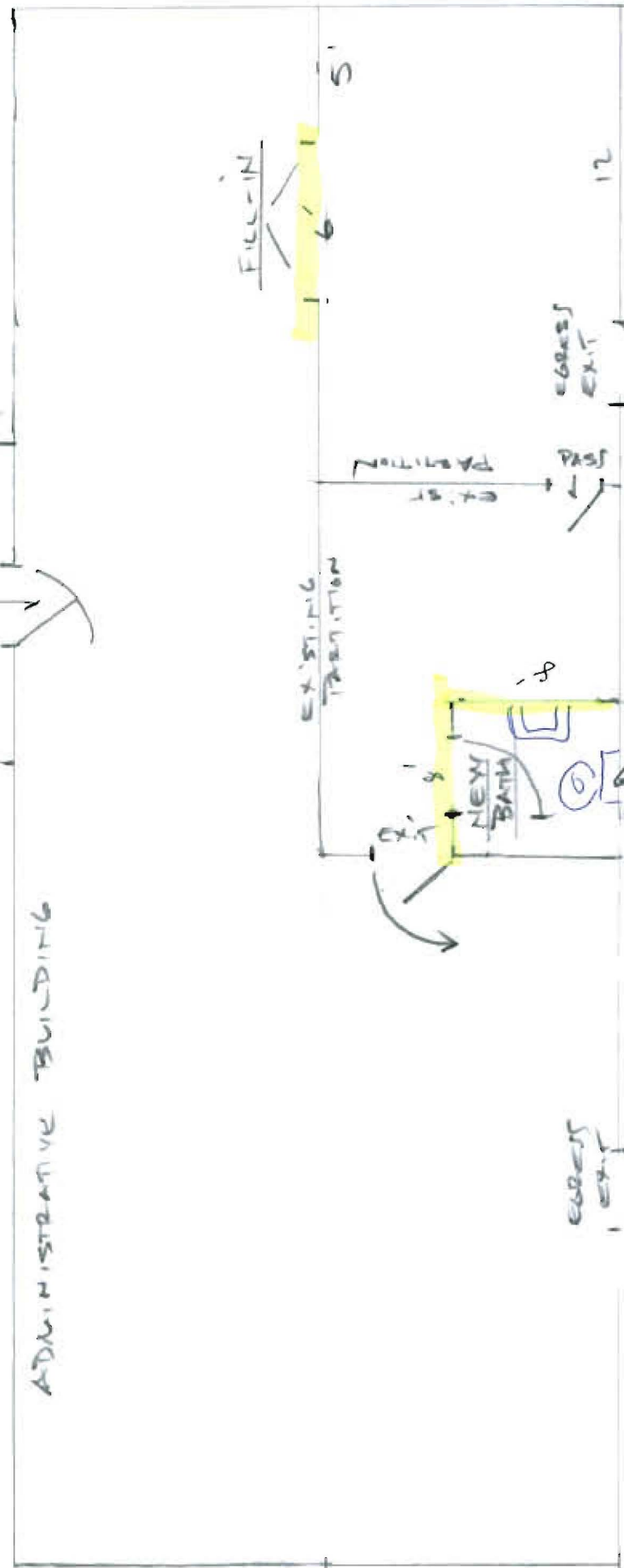




60-1

AUCTION BUILDING

ADMINISTRATIVE BUILDING



OCEAN

EXISTING PARTITION

EXIST. EXIT

EXIST. EXIT

EXIST. EXIT

FILL-IN

5'

12

NORTH

= New 2"x4" walls

New Handicapped BATH

- 1) NO STRUCTURAL CHANGES
- 2) NO EXPANSION OF FOOTPRINT
- 3) NEW BATH, HANDICAPPED ACCESSIBLE

COMMERCIAL ST