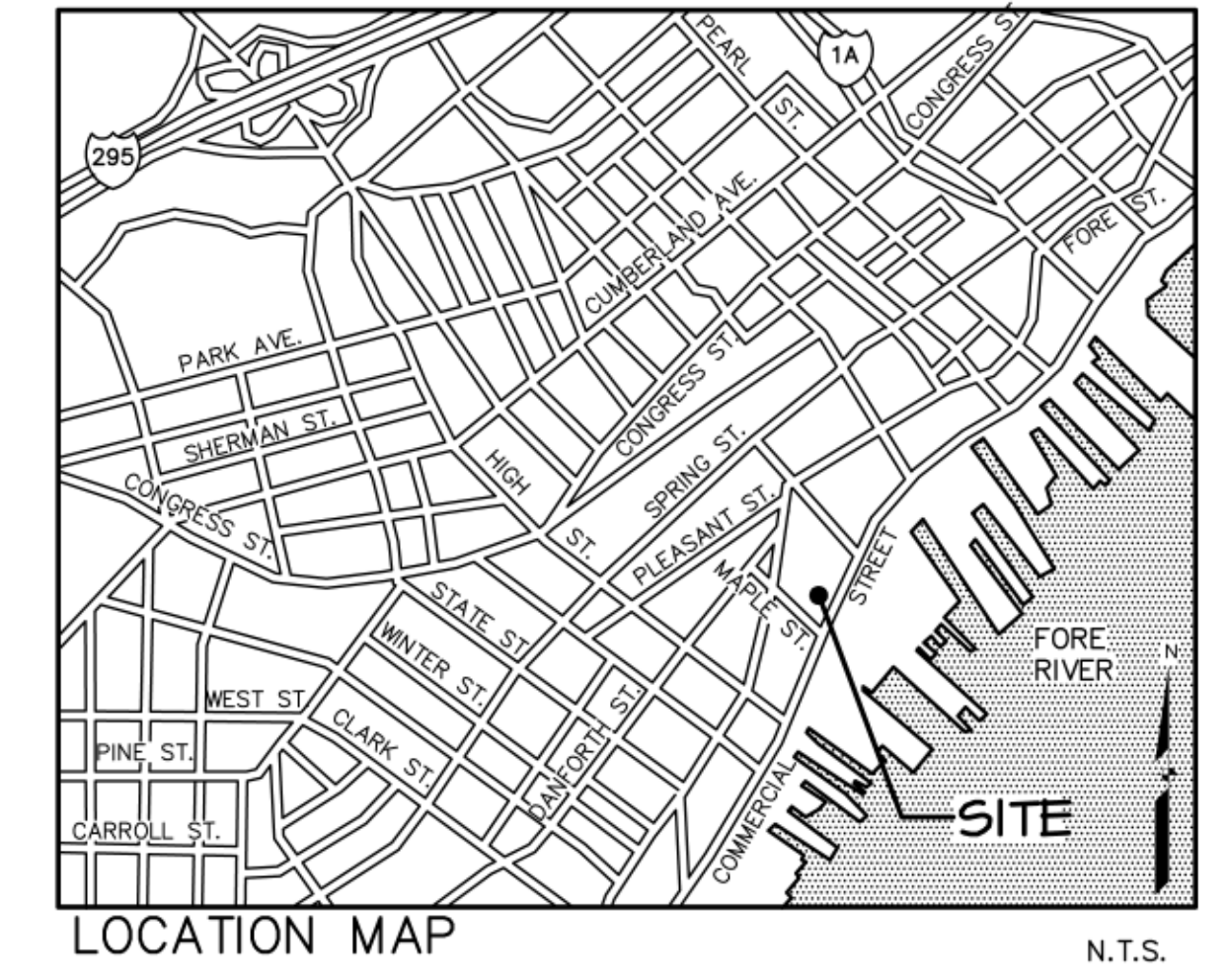
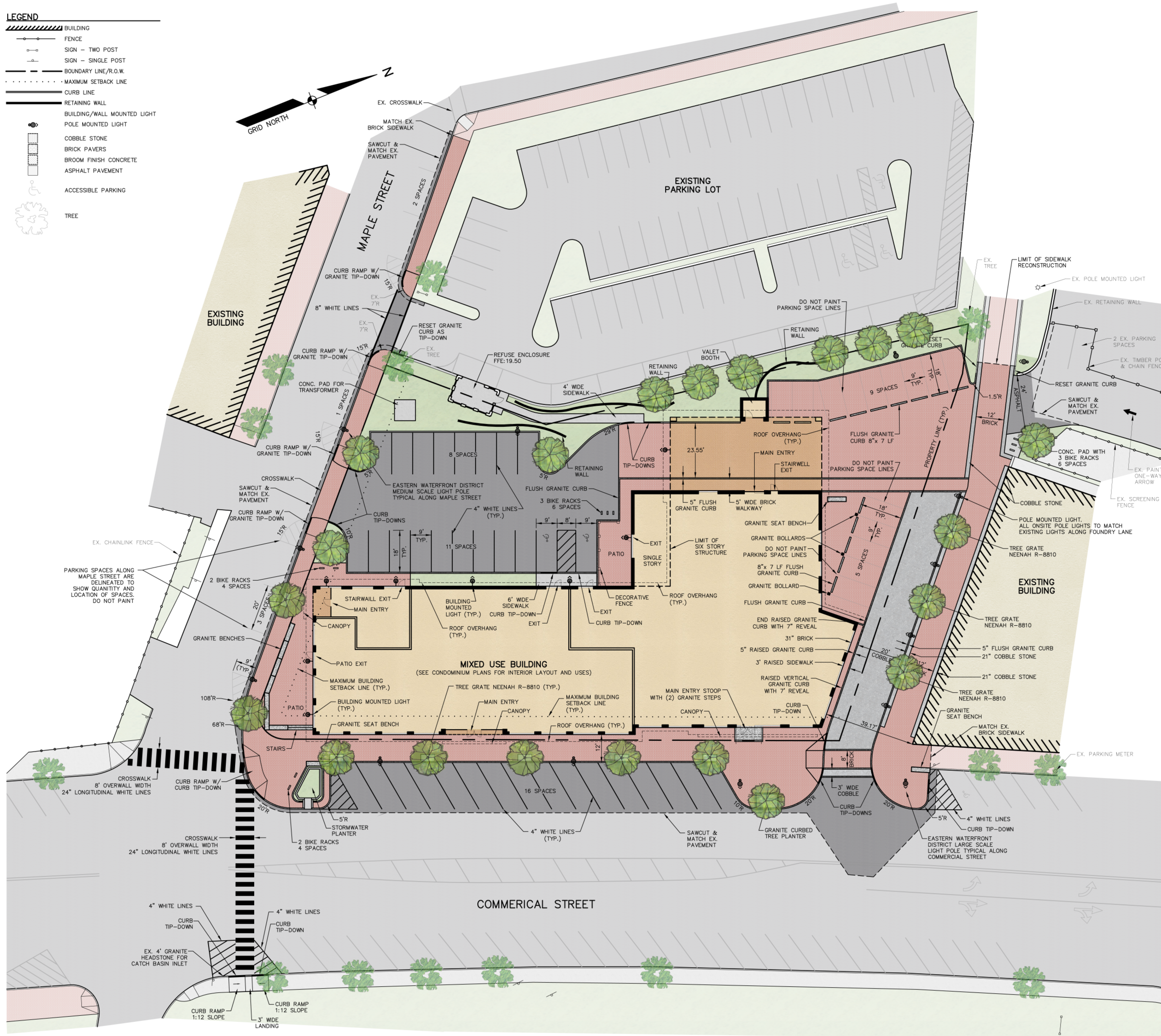
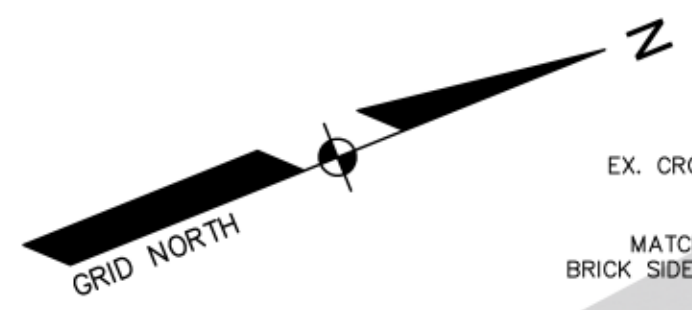


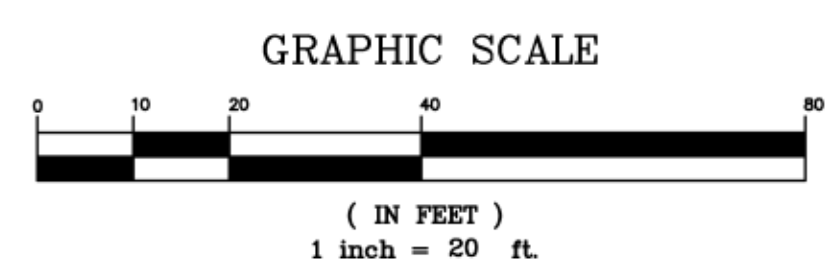
LEGEND

	BUILDING
	FENCE
	SIGN - TWO POST
	SIGN - SINGLE POST
	BOUNDARY LINE/R.O.W.
	MAXIMUM SETBACK LINE
	CURB LINE
	RETAINING WALL
	BUILDING/WALL MOUNTED LIGHT
	POLE MOUNTED LIGHT
	COBBLE STONE
	BRICK PAVERS
	BROOM FINISH CONCRETE
	ASPHALT PAVEMENT
	ACCESSIBLE PARKING
	TREE



- GENERAL NOTES:**
1. SNOW MAY BE STORED ON ANY OF THE GRASSED OR LANDSCAPED AREA ON THE PROJECT SITE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
 2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR
 3. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
 4. ALL PROPOSED SIDEWALK ADA RAMPS AND CROSSWALK LAYOUT AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY BRUCE HYMAN, THE PORTLAND'S BIKE/PEDESTRIAN COORDINATOR. PHONE CONTACT: (207) 400-9243.
 5. ALL PROPOSED CURB SHALL BE GRANITE. ALL GRANITE CURBING TO BE INSTALLED FLUSH AT GRADE AND THE RAISED CURB AROUND THE STORMWATER PLANTER SHALL BE 6 INCHES WIDE UNLESS OTHERWISE SPECIFIED. ALL OTHER GRANITE CURB SHALL BE 5 INCHES.
 6. DELIVERY TRUCKS AND PERSONNEL WILL UTILIZE THE EXISTING UPPER PARKING LOT AND THE PROPOSED CONNECTING SIDEWALK WHEN MAKING DELIVERIES TO THE PROPOSED BUILDING.

- ZONING SUMMARY:**
1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
 2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
 3. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN B5b URBAN COMMERCIAL MIXED USE DISTRICT.
 4. SPACE AND BULK CRITERIA FOR THE B5b URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
 - (a) MINIMUM LOT SIZE: NONE
 - (b) MINIMUM STREET FRONTAGE: NONE
 - (c) YARD DIMENSIONS:
 1. MINIMUM YARDS IN THE B-5 AND B-5b ZONES:
 - FRONT SETBACK: NONE
 - SIDE SETBACK: NONE
 - REAR SETBACK: NONE
 2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET
 3. MAXIMUM STREET SETBACK: NOT APPLICABLE
 - (d) MAXIMUM LOT COVERAGE: 100 PERCENT
 - (e) MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS PER ACRE
 - (f) MAXIMUM BUILDING HEIGHT: 65 FEET
 - (g) MINIMUM BUILDING HEIGHT: NOT APPLICABLE



DATE	01-02-13
REVISION DESCRIPTION	REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS
BY	BJB

COPEHEED
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03228
PHONE (603) 527-9090 FAX (603) 527-9191

SITE PLAN

PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT** PORTLAND, ME

DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: BJB

C04
SHEET: 4 OF 14