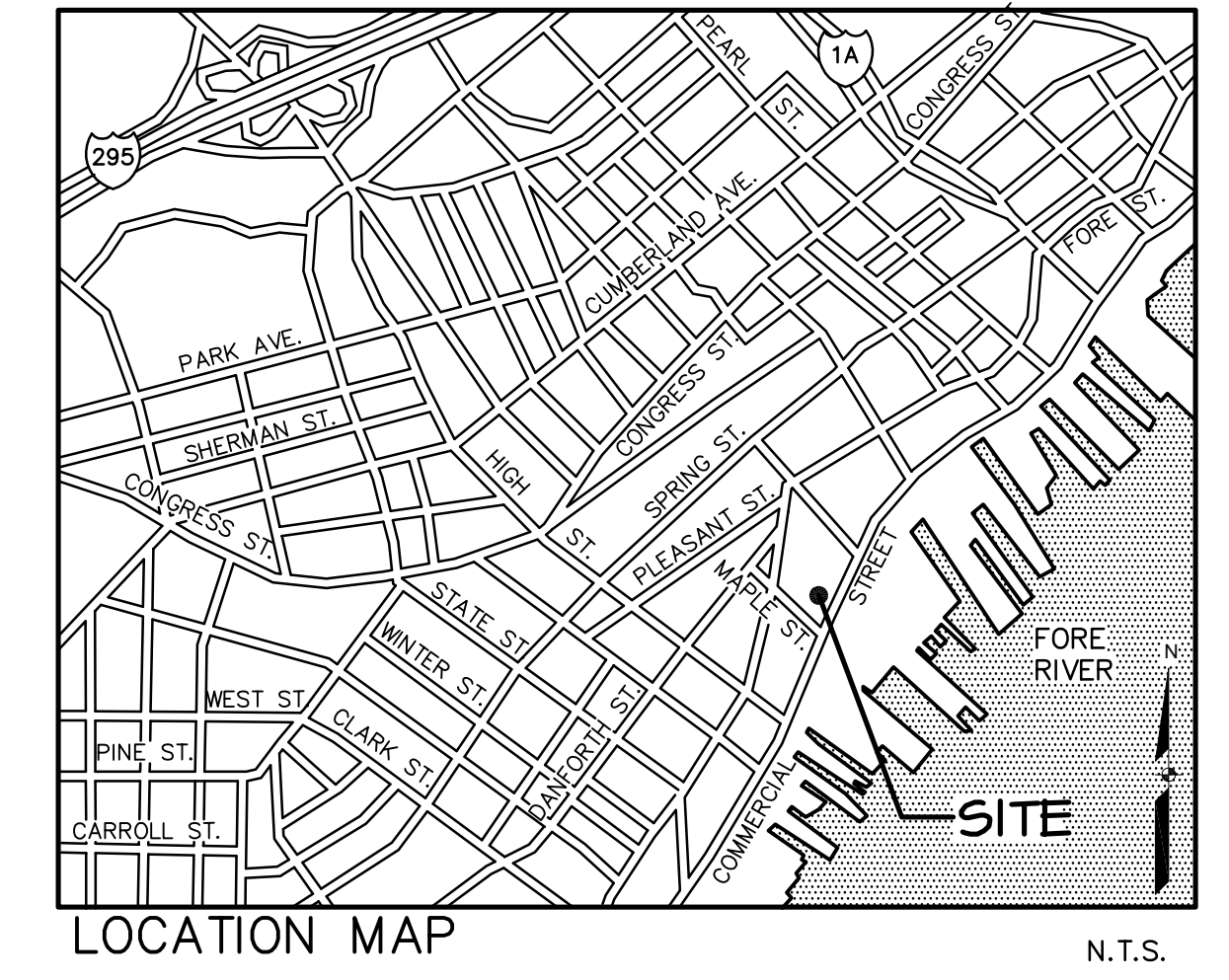
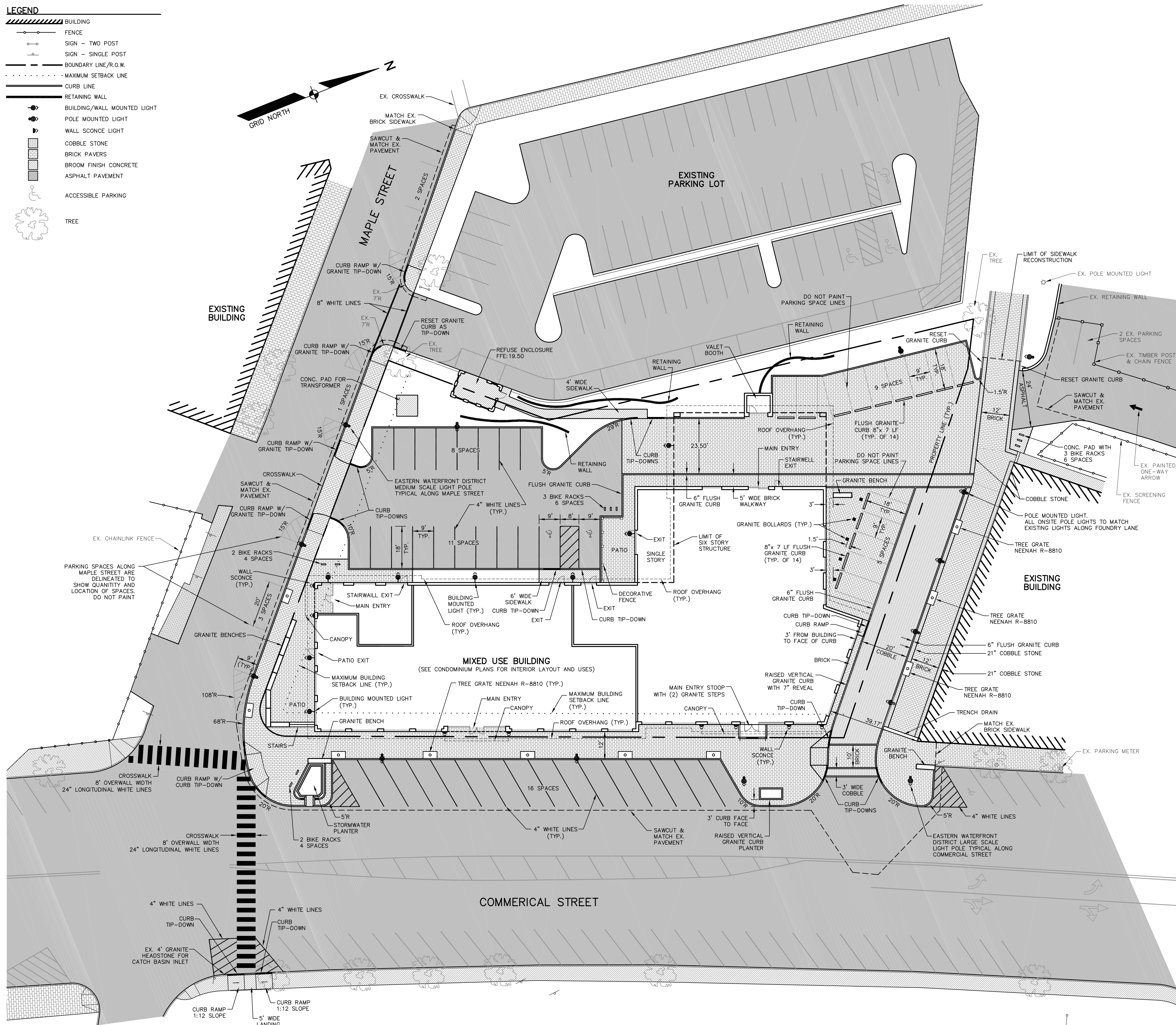
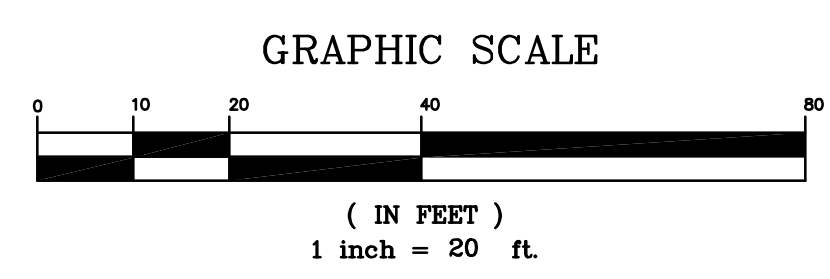


LEGEND	
	BUILDING
	FENCE
	SIGN - TWO POST
	SIGN - SINGLE POST
	BOUNDARY LINE/R.O.W.
	MAXIMUM SETBACK LINE
	CURB LINE
	RETAINING WALL
	BUILDING/WALL MOUNTED LIGHT
	POLE MOUNTED LIGHT
	WALL SCONCE LIGHT
	COBBLE STONE
	BRICK PAVERS
	BROOM FINISH CONCRETE
	ASPHALT PAVEMENT
	ACCESSIBLE PARKING
	TREE



- GENERAL NOTES:**
1. SNOW MAY BE STORED ONLY ON THE GRASSED/LANDSCAPED AREAS ON SITE AND NO PARKING SPACES SHALL BE LOST TO SNOW STORAGE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
 2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR
 3. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
 4. ALL PROPOSED SIDEWALK ADA RAMP AND CROSSWALK LAYOUT AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES.
 5. ALL PROPOSED CURB SHALL BE GRANITE. ALL GRANITE CURBING TO BE INSTALLED FLUSH AT GRADE AND THE RAISED CURB AROUND THE PLANTERS SHALL BE 6 INCHES WIDE UNLESS OTHERWISE SPECIFIED. ALL OTHER GRANITE CURB SHALL BE 5 INCHES.
 6. DELIVERY TRUCKS WILL UTILIZE THE COMMERCIAL STREET MEDIAN WHEN MAKING DELIVERIES TO THE PROPOSED BUILDING. COORDINATION OF DELIVERIES SHALL BE SUCH THAT THE PROPOSED CROSSWALK IS NOT BLOCKED BY TRUCKS.

- ZONING SUMMARY:**
1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
 2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
 3. BUILDING FLOOR AREAS:
FOOTPRINT.....19,501 SQ.FT.
UPPER FLOORS (5).....18,764 SQ.FT.
TOTAL/GROSS FLOOR AREA = 113,321 SQ.FT.
 4. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN B5b URBAN COMMERCIAL MIXED USE DISTRICT.
 5. SPACE AND BULK CRITERIA FOR THE B5b URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
(a) MINIMUM LOT SIZE: NONE
(b) MINIMUM STREET FRONTAGE: NONE
(c) YARD DIMENSIONS:
1. MINIMUM YARDS IN THE B-5 AND B-5b ZONES:
FRONT SETBACK: NONE
SIDE SETBACK: NONE
REAR SETBACK: NONE
2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET; PROVIDED: 2.01' COMMERCIAL ST., 3.59' MAPLE ST.
3. MAXIMUM STREET SETBACK: NOT APPLICABLE
(d) MAXIMUM LOT COVERAGE: 100 PERCENT; PROVIDED: 92 PERCENT
(e) MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS PER ACRE; 53 ALLOWED; PROVIDED: 14 UNITS
(f) MAXIMUM BUILDING HEIGHT: 65 FEET; PROVIDED: 64'-10"
(g) MINIMUM BUILDING HEIGHT: NOT APPLICABLE



DATE	REVISION DESCRIPTION
01-02-13	REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS
01-15-13	REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS

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PHONE (603) 527-9090 FAX (603) 527-9191

SITE PLAN

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
PORTLAND, ME

DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: BJS

C04
SHEET: 4 OF 14

