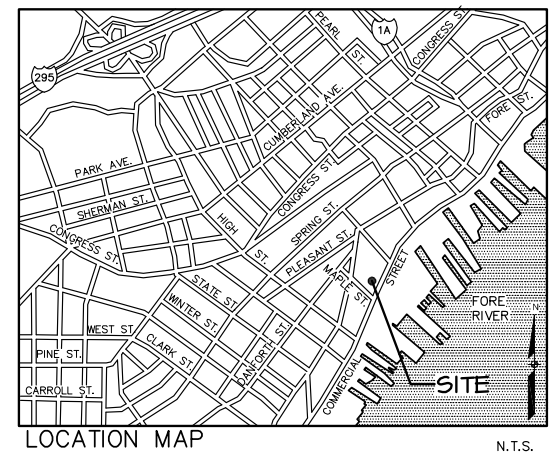
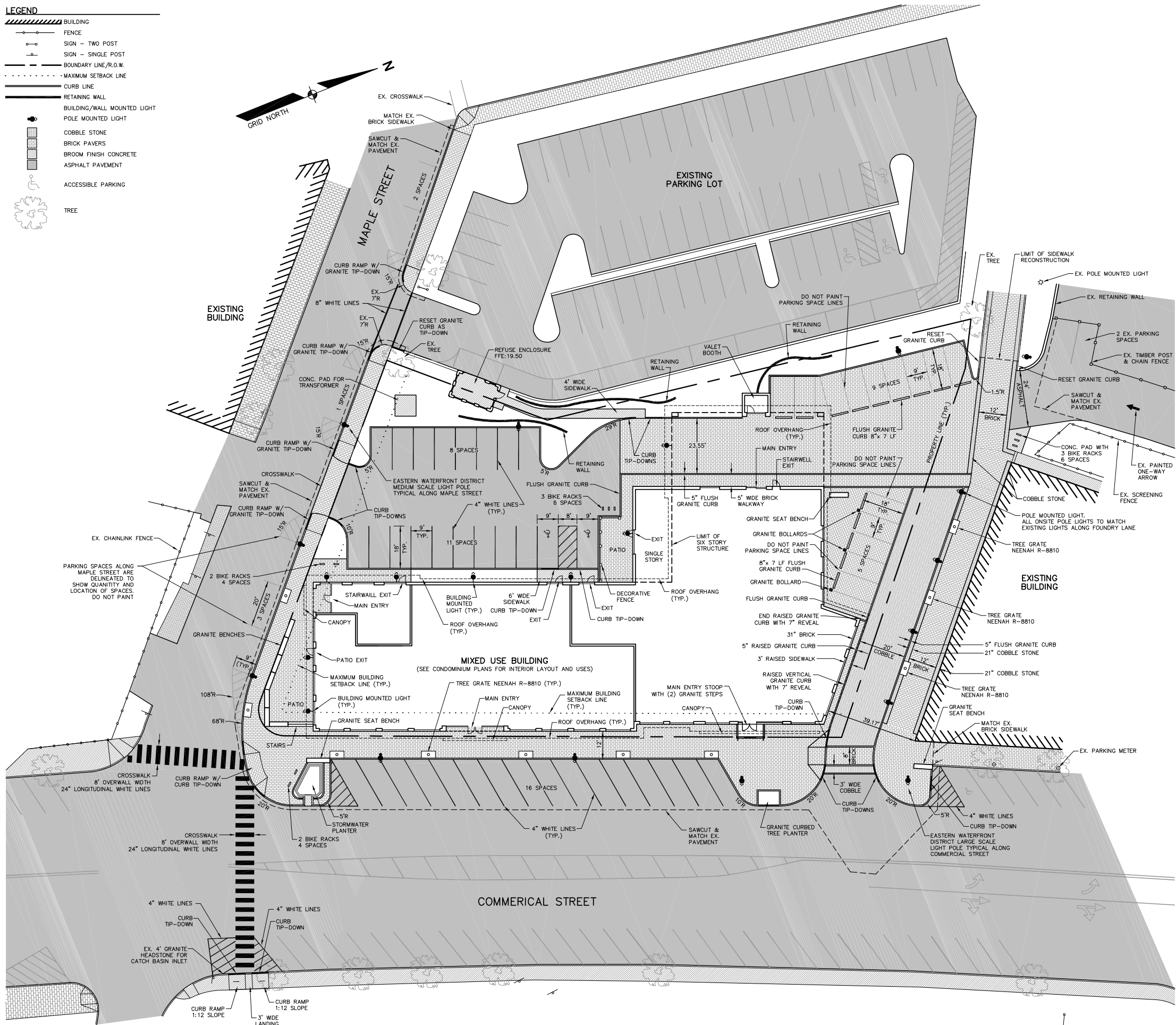


LEGEND

- BUILDING
- FENCE
- SIGN - TWO POST
- SIGN - SINGLE POST
- BOUNDARY LINE/R.O.W.
- MAXIMUM SETBACK LINE
- CURB LINE
- RETAINING WALL
- BUILDING/WALL MOUNTED LIGHT
- POLE MOUNTED LIGHT
- COBBLE STONE
- BRICK PAVERS
- BROOM FINISH CONCRETE
- ASPHALT PAVEMENT
- ACCESSIBLE PARKING
- TREE

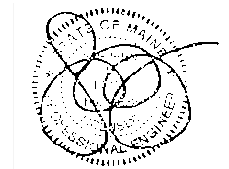
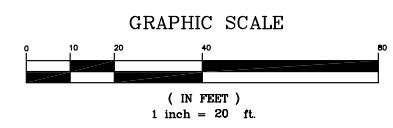


GENERAL NOTES:

1. SNOW MAY BE STORED ON ANY OF THE GRASSED OR LANDSCAPED AREA ON THE PROJECT SITE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR
3. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
4. ALL PROPOSED SIDEWALK ADA RAMP AND CROSSWALK LAYOUT AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY BRUCE HYMAN, THE PORTLAND'S BIKE/PED COORDINATOR. PHONE CONTACT: (207) 400-9243.
5. ALL PROPOSED CURB SHALL BE GRANITE. ALL GRANITE CURBING TO BE INSTALLED FLUSH AT GRADE AND THE RAISED CURB AROUND THE STORMWATER PLANTER SHALL BE 6 INCHES WIDE UNLESS OTHERWISE SPECIFIED. ALL OTHER GRANITE CURB SHALL BE 5 INCHES.
6. DELIVERY TRUCKS AND PERSONNEL WILL UTILIZE THE EXISTING UPPER PARKING LOT AND THE PROPOSED CONNECTING SIDEWALK WHEN MAKING DELIVERIES TO THE PROPOSED BUILDING.

ZONING SUMMARY:

1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
3. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN B5b URBAN COMMERCIAL MIXED USE DISTRICT.
4. SPACE AND BULK CRITERIA FOR THE B5b URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
 - (a) MINIMUM LOT SIZE: NONE
 - (b) MINIMUM STREET FRONTAGE: NONE
 - (c) YARD DIMENSIONS:
 1. MINIMUM YARDS IN THE B-5 AND B-5b ZONES:
 - FRONT SETBACK: NONE
 - SIDE SETBACK: NONE
 - REAR SETBACK: NONE
 2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET
 3. MAXIMUM STREET SETBACK: NOT APPLICABLE
 - (d) MAXIMUM LOT COVERAGE: 100 PERCENT
 - (e) MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS PER ACRE
 - (f) MAXIMUM BUILDING HEIGHT: 65 FEET
 - (g) MINIMUM BUILDING HEIGHT: NOT APPLICABLE



REVISION SCHEDULE	BY	DATE
REVISION DESCRIPTION	BJL	01-02-19
REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS		

LOPECHE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT NH 03220
 PHONE (603) 237-9080 FAX (603)237-9191

SITE PLAN

PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT** PORTLAND, ME

DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: BJL

C04
 SHEET: 4 OF 14