

COMMERCIAL AND MAPLE STREET MIXED USE DEVELOPMENT

321 COMMERCIAL STREET
PORTLAND, MAINE

PREPARED BY:



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 527-9090 FAX (603) 527-9191

OCTOBER 22, 2012

OWNER/APPLICANT:

J B BROWN & SONS
P.O. BOX 207
PORTLAND, ME 04112

AGENT:

OPECHEE CONSTRUCTION CORPORATION
11 CORPORATE DRIVE
BELMONT, NH 03220

SHEET INDEX:

LAST REVISED

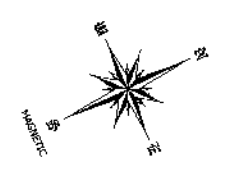
C01	BOUNDARY SURVEY.....	10-22-12
C02	EXISTING CONDITIONS.....	10-22-12
C03	DEMOLITION PLAN.....	10-22-12
C04	SITE PLAN.....	10-22-12
C05	UTILITY PLAN.....	10-22-12
C06	GRADING PLAN.....	10-22-12
C07	TEMPORARY EROSION & SEDIMENT CONTROL PLAN.....	10-22-12
C08	LANDSCAPING PLAN.....	10-22-12
C09	PHOTOMETRICS PLAN.....	10-22-12
C10	CONSTRUCTION DETAILS.....	10-22-12
C11	SANITARY SEWER & STORM DRAIN DETAILS.....	10-22-12
C12	EXTERIOR BUILDING ELEVATIONS.....	10-22-12
C13	EXTERIOR BUILDING ELEVATIONS.....	10-22-12
CMTc	CONST. MGMT. AND TRAFFIC CONTROL.....	10-22-12
S01	SUBDIVISION PLAN.....	10-22-12
CP01	CONDOMINIUM PLAN-FLOOR 1 VERTICAL BOUNDARIES.....	10-22-12
CP02	CONDOMINIUM PLAN-FLOOR 2-5 VERTICAL BOUNDARIES.....	10-22-12
CP03	CONDOMINIUM PLAN-FLOOR 6 VERTICAL BOUNDARIES.....	10-22-12
CP04	CONDOMINIUM PLAN-HORIZONTAL BOUNDARIES.....	10-22-12

J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112

YORK STREET

CANNERY BUILDING

PLAN 2

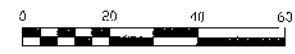


J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK F LOT 11
BOOK 2362 PAGE 19
14-28 YORK STREET
22-36 CENTER STREET

LEGEND

- — IRON ROD OR PIPE FOUND, DIMENSIONS LABELED ON PLAN
- △ — SPIKE FOUND
- — CORNER, NOTHING FOUND OR SET
- — 5/8" INCH ROD WITH IDENTIFICATION CAP (TO BE SET)
- GRID COORDINATE, MAINE WEST ZONE, NAD 83, US SURVEY FEET

2. REFERENCE DEEDS:
- A. JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP G. BROWN TO J. B. BROWN & SONS DATED MAY 16, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 749 PAGE 43.
 - B. POLTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1976 AND RECORDED IN CORD BOOK 4208 PAGE 56.
 - C. POLTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1976 AND RECORDED IN CORD BOOK 4886 PAGE 50.
3. REFERENCE PLANS:
- A. "ALIGNMENT & GRADING - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE J. B. BROWN & SONS" DATED APRIL 29, 1998 AND SURVEYED BY HERBERT P. GRAY.
 - B. "LAND OF BAXTER PLACE ASSOCIATES AND DISPOSITION OF FOUNDRY LANE" DATED MAY 16, 1995, SURVEYED BY HERBERT P. GRAY AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 195 PAGE 127.
 - C. "PLAN OF LAND IN PORTLAND, MAINE FOR J. B. BROWN & SONS" DATED MARCH 27, 1978, SURVEYED BY OWEN & HASKELL, INC. AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 119 PAGE 40.
 - D. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP PORTLAND, CUMBERLAND COUNTY FEDERAL AID PROJECT NO. M-9665(4) DATED JUNE, 1991 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 193 PAGE 341.
4. PARCEL IS DEPICTED AS CITY OF PORTLAND PLAN 40, BLOCK E PARCEL 3.
5. BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE STATE COORDINATE SYSTEM, WEST ZONE.
6. THIS PLAN IS BASED ON A TOTAL STATION SURVEY COMPLETED ON SEPTEMBER 18, 2012 WITH A RAW PRECISION OF 1:60,300.
7. BASIS OF BEARINGS WAS DETERMINED WITH STATIC GPS OBSERVATIONS. HORIZONTAL DATUM IS STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD 83.
8. ELEVATIONS REFER TO NSVD 1929 AND ARE REFERENCED TO A GRANITE "M" MONUMENT LOCATED ON THE NORTHERLY SIDELINE OF COMMERCIAL STREET, 31+ FEET WESTERLY OF THE WESTERLY SIDELINE OF PARK STREET WITH AN ELEVATION OF 14.74'.
9. PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM COMMUNITY PANEL NUMBER 25051 0013 B DATED JULY 17, 1986.



RUFUS DEERING COMPANY
303 COMMERCIAL STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK A LOT 7

MILLIKEN SMITH BLOCK, LLC
303 COMMERCIAL STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK A LOT 1

J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK E LOT 3
311-331 COMMERCIAL STREET
1-13 MAPLE STREET

38,770 SQ FT
0.89 ACRES

BAXTER PLACE, LLC
303 COMMERCIAL STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK F LOT 9
BOOK 2362 PAGE 51
28-308 COMMERCIAL STREET
2-30 CENTER STREET

CERTIFICATION

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY CONFORMS WITH THE MAINE BOARD OF LAND SURVEYORS RULES, CHAPTER 99 - STANDARDS OF PRACTICE.

Andrew J. Nadeau
ANDREW J. NADEAU, PLS 2326

horizons
Engineering^{INC}

34 School Street
Littleton, NH 03561
Phone 603.444.4111 - Fax 603.444.1343

STANDARD BOUNDARY SURVEY OF LAND OF
J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112

LOCATED ON
COMMERCIAL STREET &
MAPLE STREET - PORTLAND, MAINE

MADE FOR
OPECHEE CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03220

NO.	DATE	REVISION DESCRIPTION	ENG DWG

STATE OF MAINE
ANDREW J. NADEAU
PLS 2326
PROFESSIONAL
LAND SURVEYOR

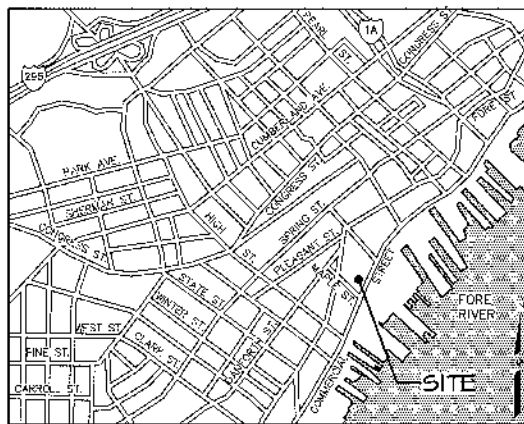
DATE: 10-22-2012 PROJECT #: 12204
SURV'D BY: AJN/JDN DRAWN BY: AJN
CHECK'D BY: AJN ARCHIVE #: H-5039

© 2012 horizons Engineering, Inc. All rights reserved.

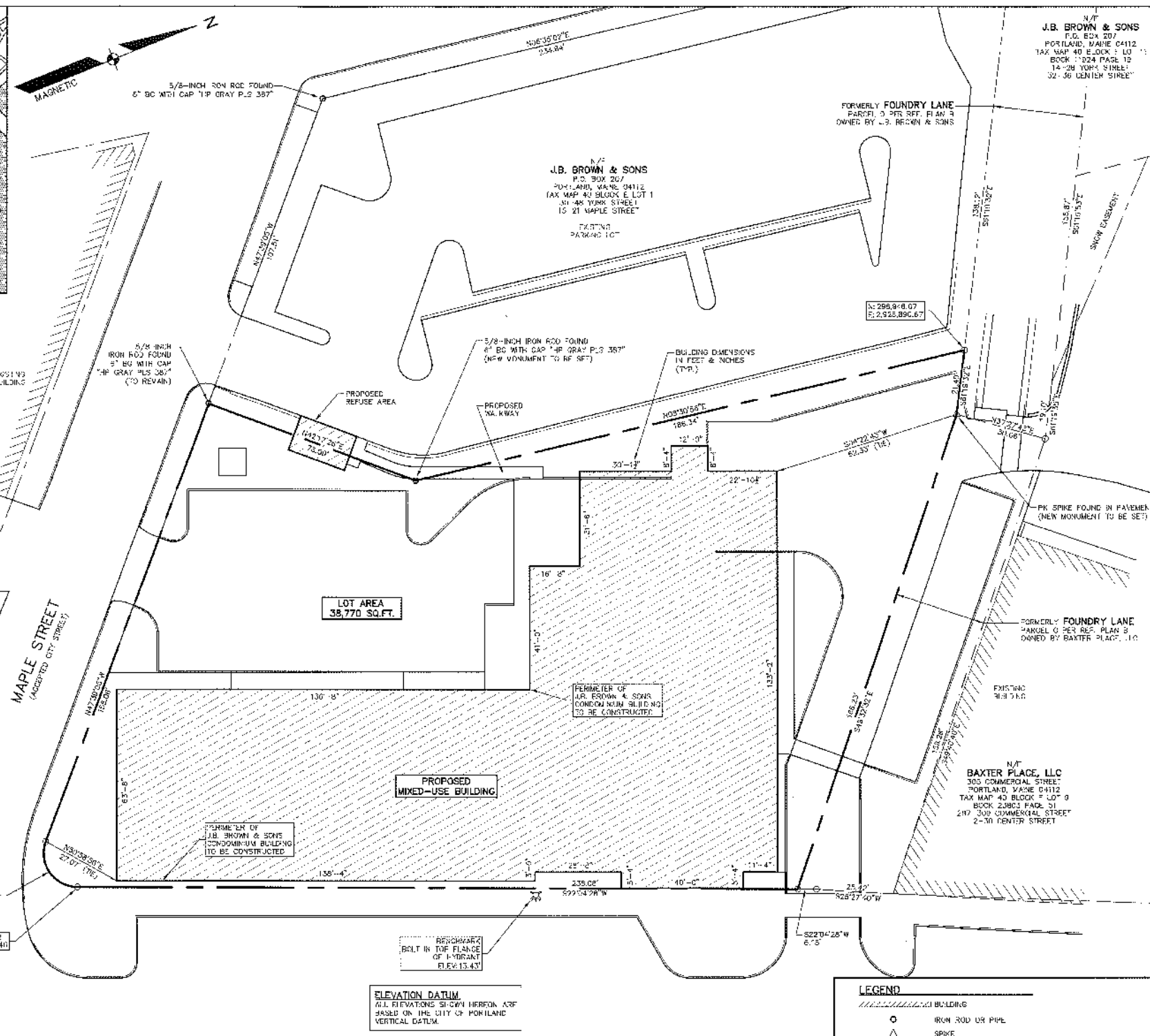
2012-22-01

SHEET 1

CITY OF PORTLAND
309 CONGRESS STREET
PORTLAND, MAINE 04114
PORTLAND ASSESSORS PLAN 40, BLOCK A LOT 14



LOCATION MAP

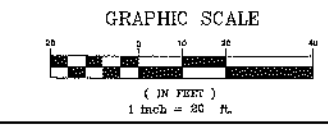


- GENERAL NOTES:**
- THIS IS THE SUBDIVISION PLAN FOR THE CREATION OF 14 DWELLING UNITS IN A NEW MIXED-USE BUILDING TO BE CONSTRUCTED ON THE SUBJECT PROPERTY. THE APPROVAL OF THIS PLAN DOES NOT CREATE ANY SUBDIVISION OF THE LAND ON THE SUBJECT PROPERTY.
 - THE RECORD OWNER OF THE SUBJECT PROPERTY IS THE APPLICANT, J.B. BROWN & SONS, DECISION GRANTING THE SUBJECT PROPERTY TO THE APPLICANT ARE THE FOLLOWING: A DEED FROM JOSEPH R. SYMONDS, JOHN MARSHALL BROWN AND PHILIP BROWN DATED MAY 16, 1904 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 749, PAGE 43; A DEED FROM POLITYRY PROCESSING, INC. DATED MAY 2, 1978 AND RECORDED IN SAID REGISTRY IN BOOK 4205, PAGE 55; AND A DEED FROM POLITYRY PROCESSING, INC. DATED AUGUST 25, 1979 AND RECORDED IN SAID REGISTRY IN BOOK 4486, PAGE 60.
 - SUBJECT PROPERTY IS LOT 3 OF BLOCK 2 ON THE CITY OF PORTLAND TAX MAP 40.
 - TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 38,770 SQ. FT.
 - LAND BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON-THE-GROUND SURVEY TITLED "STANDARD BOUNDARY SURVEY OF LAND OF J.B. BROWN & SONS" BY HORIZONS ENGINEERING, INC. DATED OCTOBER 22, 2012.
 - ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN THE B-36 URBAN COMMERCIAL MIXED USE DISTRICT. SHADE AND BULK CRITERIA FOR THE B-36 URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
 - (a) MIN. LOT SIZE: NONE
 - (b) MIN. STREET FRONTAGE: NONE
 - (c) MAX. FRONT YARD SETBACK: 10'
 - (d) MIN. YARD DIMENSIONS: NONE
 - (e) MIN. LOT WIDTH: NONE
 - (f) MAX. LOT COVERAGE: 100%
 - (g) MAX. HEIGHT OF BUILDING: 45'
 - APPLICANT INTENDS TO DEVELOP SUBJECT PROPERTY AS MIXED USE BUILDING CONSISTING OF 14 RESIDENTIAL UNITS THAT ARE SUBJECT TO SUBDIVISION REGULATION, PLUS A RESTAURANT.
 - THE SIGNATURES OF THE CITY OF PORTLAND PLANNING BOARD ON THIS SUBDIVISION PLAN CONSTITUTE SUBDIVISION APPROVAL FOR THE CREATION OF 14 RESIDENTIAL UNITS. THE NON-RESIDENTIAL UNITS ARE NOT SUBJECT TO SUBDIVISION REGULATION.
 - A "SUBDIVISION" IS DEFINED AS THE DIVISION OF A LOT, TRACT OR PART OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD, WHETHER ACQUIRED BY SALE, LEASE, DEFEASIBLE, RENTING OR OTHERWISE AND AS FURTHER DEFINED IN 39-A M.R.S.A. SECTION 440. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS, WITHIN A FIVE-YEAR PERIOD, AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTI-FAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.
 - CONSTRUCTION:
 - (a) METHODS AND MATERIALS USED IN CONSTRUCTION OF IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CURRENT CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T. STANDARDS AND SPECIFICATIONS.
 - (b) ALL CURBS SHALL BE DESIGNED AND BUILT WITH TYPEDowns AT ALL DRIVEWAYS AND CROSSINGS, IN ACCORDANCE WITH CITY OF PORTLAND PUBLIC SERVICES DIVISION TECHNICAL STANDARDS AND SPECIFICATIONS, FINAL AS-BUILT. LOCATIONS OF CURBS AND TYPEDowns SHALL BE COORDINATED WITH PUBLIC SERVICES DIVISION. ALL WATER MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH PORTLAND WATER DISTRICT STANDARDS. ALL NATURAL GAS MAINS, SERVICES AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH JETL STANDARDS.
 - (c) ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND WARE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003 OR LATEST EDITION. CONTRACTOR SHALL POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
 - (d) AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. APPLICANT, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
 - (e) WARNING SIGNS, MARKERS, BARRICADES OR FLASHERS, APPROPRIATE FOR THE TYPE OF CONSTRUCTION, MUST BE EMPLOYED TO REGULATE TRAFFIC.
 - (f) CONSTRUCTION DEBRIS SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
 - (g) ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR/CONTRACTOR AT THEIR EXPENSE.
 - (h) PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
 - (i) ALL SANITARY SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT SENIOR DIVISION.
 - (j) ALL NEW CONNECTIONS, RECONNECTIONS, ETC. TO SANITARY OR STORM SEWERS SHALL REQUIRE A CONNECTION PERMIT PRIOR TO BEGINNING ANY WORK. THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT MUST BE NOTICED AT LEAST 24 HOURS PRIOR TO COMMENCEMENT TO ALLOW FOR INSPECTION.
 - (k) A PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
 - (l) THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS SHOWN ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OF PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, DISCOMFORT, DRAINAGE, LANDSCAPING, REVISION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
 - (m) LANDSCAPING SHALL MEET THE "LANDSCAPING AND LANDSCAPE PRESERVATION STANDARDS" IN SECTION 4 OF THE CITY OF PORTLAND TECHNICAL MANUAL, DATED 7/7/00 AND REVISED THROUGH 7/1/11, INCLUDING STREET TREES TO BE INSTALLED IN THE CITY RIGHT-OF-WAY AS SHOWN ON THE APPROVED LANDSCAPING PLAN (SHEET 008 OF THE APPROVED SITE PLAN SET) ON FILE WITH THE PLANNING AUTHORITY. STREET TREES SHALL BE A SPECIES IDENTIFIED ON THE CITY OF PORTLAND RECOMMENDED "TREE LIST", UNLESS OTHERWISE APPROVED BY THE PORTLAND CITY ARBOR STAFF OR HIS/HER DESIGNEE.
 - (n) ALL DISTURBED AREA ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREA SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER MATERIALS AS REQUIRED BY BEST MANAGEMENT PRACTICES.
 - (o) THE CONTRACTOR OR APPLICANT IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC SERVICES INSPECTION DIVISION IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (0700-0900 EST) FROM THE COMMENCEMENT OF CONSTRUCTION. A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE AT APPROVED CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREABLE TIME FOR THE PRECONSTRUCTION MEETING.
 - THE SITE PLAN PROVIDES FOR SIDEWALKS LOCATED PARTIALLY IN THE CITY RIGHT-OF-WAY AND PARTIALLY ON THE SUBJECT PROPERTY. APPLICANT SHALL GRANT AN EASEMENT TO THE PUBLIC FOR PEDESTRIAN TRAVEL OVER PORTIONS OF THE SIDEWALK LOCATED ON THE SUBJECT PROPERTY. SAID EASEMENT SHALL BE RECORDED OR TERMINATED TO THE EXTENT THAT THE CITY OF PORTLAND PLANNING AUTHORITY APPROVES THE REDUCTION OR ELIMINATION OF SAID SIDEWALKS ON THE SUBJECT PROPERTY.
 - THE PROJECT APPROVED ON THE SUBJECT PROPERTY SHALL BE SUBJECT TO A TRAFFIC DEMAND MANAGEMENT (TDM) PLAN, WHICH MAY BE MODIFIED FROM TIME TO TIME (THE CURRENT TDM PLAN SHALL BE AVAILABLE FROM THE CITY OF PORTLAND PLANNING DEPARTMENT).
 - THE PLANNING BOARD GRANTS () WAIVERS OF APPLICABLE SUBDIVISION AND/OR LAND USE STANDARDS AS SET FORTH IN THE CERTIFICATE OF SUBDIVISION WAIVER APPROVAL SUBMITTED IN THE CORP AT BOOK _____ PAGE _____.
 - REFERENCE DEEDS:
 - A. JOSEPH R. SYMONDS, JOHN MARSHALL BROWN & PHILIP BROWN TO J.B. BROWN & SONS DATED MAY 16, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 749 PAGE 43.
 - B. POLITYRY PROCESSING, INC. TO J.B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CURD BOOK 4205 PAGE 55.
 - C. POLITYRY PROCESSING, INC. TO J.B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CURD BOOK 4486 PAGE 60.
 - REFERENCE PLANS:
 - A. ALIGNMENT & GRADING - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE, J.B. BROWN & SONS DATED APRIL 29, 1998 AND SURVEYED BY HERBERT P. GRAY.
 - B. LAND OF BAXTER PLACE ASSOCIATES AND DISPOSITION OF FOUNDRY LANE DATED MAY 16, 1986, SURVEYED BY HERBERT P. GRAY AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 195 PAGE 127.
 - C. PLAN OF LAND IN PORTLAND, MAINE FOR J.B. BROWN & SONS DATED MARCH 27, 1978, SURVEYED BY OWEN A. HASKELL, INC. AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 119 PAGE 40.
 - D. STATE OF MAINE DEPARTMENT OF TRANSPORTATION PLAN OF WAY MAP PORTLAND, CUMBERLAND COUNTY FEDERAL AID PROJECT NO. M-2885(4) DATED JUNE, 1991 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 1013 PAGE 361.
 - SECTIONS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE STATE COORDINATE SYSTEM, WEST ZONE.
 - THIS PLAN IS BASED ON A TOTAL STATION SURVEY COMPLETED ON SEPTEMBER 13, 2012 WITH A RAW PRECISION OF 1:100,000.
 - BASES OF BEARINGS WAS DETERMINED WITH STATIC GPS OBSERVATIONS. HORIZONTAL DATUM IS STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD 83.
 - ELEVATIONS REFER TO GRID 1928 AND ARE REFERENCED TO A "BENCH" IN MONUMENT LOCATED ON THE NON-UTILITY SIDEWALK OF COMMERCIAL STREET, 311 FEET WESTERLY OF THE WESTERLY SIDEWALK OF PARK STREET WITH AN ELEVATION OF 4.74.
 - PREVISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM - COMMUNITY PANEL NUMBER 250200101-B DATED JULY 17, 1996.

MILLIKEN SMITH BLOCK LLC
 333 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TAX MAP 42 BLOCK A LOT 1
 BOOK 2243 PAGE 307
 333-263 COMMERCIAL STREET
 5-15 HIGH STREET

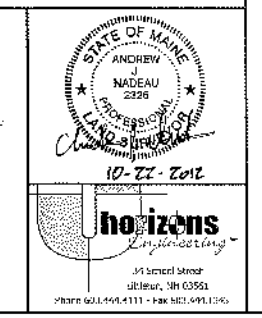
GULF OF MAINE PROPERTIES INC
 P.O. BOX 784
 PORTLAND, MAINE 04112
 TAX MAP 42 BLOCK C LOT 1

CITY OF PORTLAND
 383 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TAX MAP 41 BLOCK A LOT 13
 BOOK 1288 PAGE 400
 1 PORTLAND FISH PIER



CERTIFICATION
 I HEREBY CERTIFY THAT THE BOUNDARY SURVEY CONFORMS WITH THE MAINE BOARD OF LAND SURVEYORS RULES, CHAPTER 20, STANDARDS OF PRACTICE.

Andrew Nadeau
 ANDREW NADEAU, PLS 7335

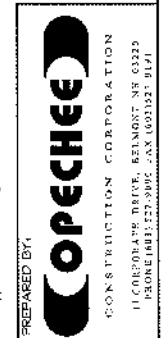


LEGEND

- MIXED-USE BUILDING
- IRON ROD OR PIPE
- △ SPIKE
- PL CORNER, MONUMENT TO BE SET
- EASEMENT
- BOUNDARY LINE/R.O.W.
- ADJUTER LINE/R.O.W.

APPROVAL BY:
CITY OF PORTLAND PLANNING BOARD:

DATE: _____



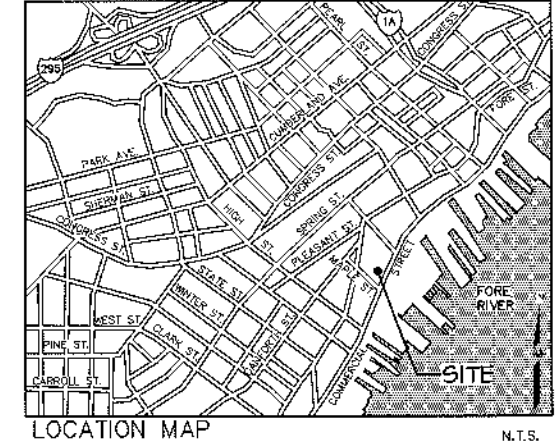
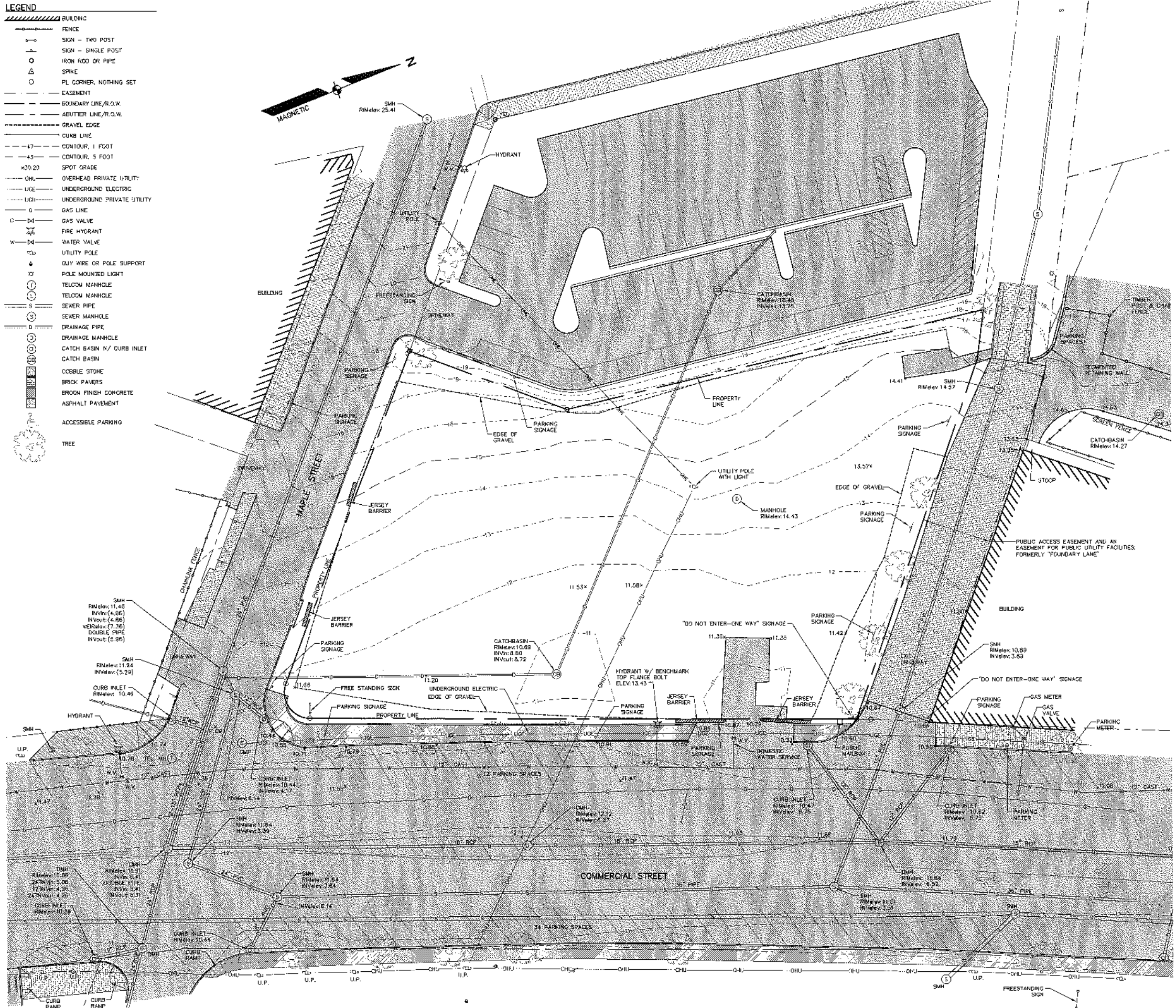
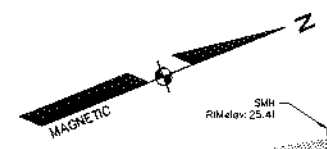
SUBDIVISION PLAN

PROJECT: SUBDIVISION OF LAND OWNED BY J.B. BROWN & SONS COMMERCIAL AND MAINE STREETS PORTLAND, MAINE
 RECORD OWNER: J.B. BROWN & SONS PORTLAND, ME 04112

DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: SCS
S01
 SHEET 1 OF 1

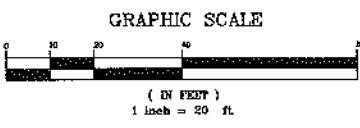
LEGEND

[Symbol]	BUILDING
[Symbol]	FENCE
[Symbol]	SIGN - TWO POST
[Symbol]	SIGN - SINGLE POST
[Symbol]	IRON ROD OR PIPE
[Symbol]	SPIKE
[Symbol]	PL CORNER, NOTHING SET
[Symbol]	EASEMENT
[Symbol]	BOUNDARY LINE, R.O.W.
[Symbol]	ABUTTER LINE, R.O.W.
[Symbol]	GRAVEL EDGE
[Symbol]	CURB LINE
[Symbol]	CONTOUR, 1 FOOT
[Symbol]	CONTOUR, 5 FOOT
[Symbol]	SPOT GRADE
[Symbol]	OHL - OVERHEAD PRIVATE UTILITY
[Symbol]	UPE - UNDERGROUND ELECTRIC
[Symbol]	ULU - UNDERGROUND PRIVATE UTILITY
[Symbol]	G - GAS LINE
[Symbol]	G - GAS VALVE
[Symbol]	F - FIRE HYDRANT
[Symbol]	W - WATER VALVE
[Symbol]	U - UTILITY POLE
[Symbol]	Q - QTY WIRE OR POLE SUPPORT
[Symbol]	P - POLE MOUNTED LIGHT
[Symbol]	T - TELCOM MANHOLE
[Symbol]	S - SEWER MANHOLE
[Symbol]	D - DRAINAGE MANHOLE
[Symbol]	C - CATCH BASIN W/ CURB INLET
[Symbol]	C - CATCH BASIN
[Symbol]	COB - COBBLE STONE
[Symbol]	BR - BRICK PAVERS
[Symbol]	BC - BROOK FINISH CONCRETE
[Symbol]	AS - ASPHALT PAVEMENT
[Symbol]	AP - ACCESSIBLE PARKING
[Symbol]	T - TREE



GENERAL NOTES

- THE RECORD OWNER OF THE SUBJECT PROPERTY IS THE APPLICANT, J. B. BROWN & SONS, DEEDS GRANTING THE SUBJECT PROPERTY TO THE APPLICANT ARE THE FOLLOWING: A DEED FROM JOSEPH A. SYMONDS, JOHN MARSHALL BROWN AND PHILIP G. BROWN, DATED MAY 16, 1904 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 748, PAGE 43; A DEED FROM POLYTRY PROCESSING, INC. DATED MAY 2, 1978 AND RECORDED IN SAID REGISTRY IN BOOK 4208, PAGE 56; AND A DEED FROM POLYTRY PROCESSING, INC., DATED AUGUST 29, 1978 AND RECORDED IN SAID REGISTRY IN BOOK 4486, PAGE 60.
- THE PROPERTY IS SHOWN AS LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
- TOTAL AREA OF PARCEL IS 38,770 SQ.FT. OR 0.89 ACRES.
- LAND BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON-THE-GROUND SURVEY TITLED "STANDARD BOUNDARY SURVEY OF LAND OF J. B. BROWN & SONS" BY HORIZONS ENGINEERING, INC. DATED OCTOBER 22, 2012.
- THE PROPERTY IS LOCATED WITHIN THE CITY OF PORTLAND 85b URBAN COMMERCIAL MIXED USE DISTRICT.
- REFERENCE DEEDS:
 - JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP G. BROWN TO J. B. BROWN & SONS (DATED MAY 16, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 748 PAGE 43).
 - POLYTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CCRD BOOK 4208 PAGE 56.
 - POLYTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CCRD BOOK 4486 PAGE 50.
- REFERENCE PLANS:
 - ALIGNMENT & GRADING - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE - J. B. BROWN & SONS DATED APRIL 29, 1998 AND SURVEYED BY HERBERT F. GRAY.
 - "LAND OF BAXTER PLACE ASSOCIATES AND DISPOSITION OF FOUNDRY LANE" DATED MAY 16, 1993, SURVEYED BY HERBERT F. GRAY AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 195 PAGE 127.
 - "PLAN OF LAND IN PORTLAND, MAINE FOR J. B. BROWN & SONS" DATED MARCH 27, 1978, SURVEYED BY OWEN & HASKELL, INC. AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 119 PAGE 40.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP PORTLAND, CUMBERLAND COUNTY FEDERAL AID PROJECT NO. M-0085(4) DATED JUNE, 1991 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 193 PAGE 341.
- ELEVATIONS REFER TO MVD 1929 AND ARE REFERENCED TO A GRANITE "M" MONUMENT LOCATED ON THE NORTHERLY SIDELINE OF COMMERCIAL STREET, 3 1/2 FEET WESTERLY OF THE WESTERLY SIDELINE OF PARK STREET WITH AN ELEVATION OF 14.74'.
- PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM-COMMUNITY PANEL NUMBER 23C0010013-B DATED JULY 17, 1986.



REVISION SCHEDULE

NO.	DATE	REVISION DESCRIPTION

COPECHEE
CONSULTING CORPORATION
11 COPPERMAN DRIVE, BELLEVILLE, MA 02151
TEL: (603) 432-8800 FAX: (603) 432-8151

EXISTING CONDITIONS

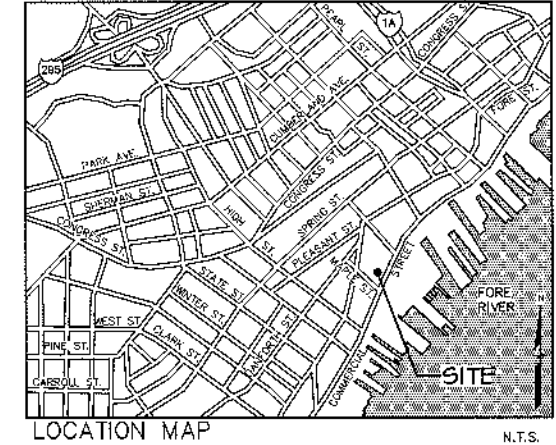
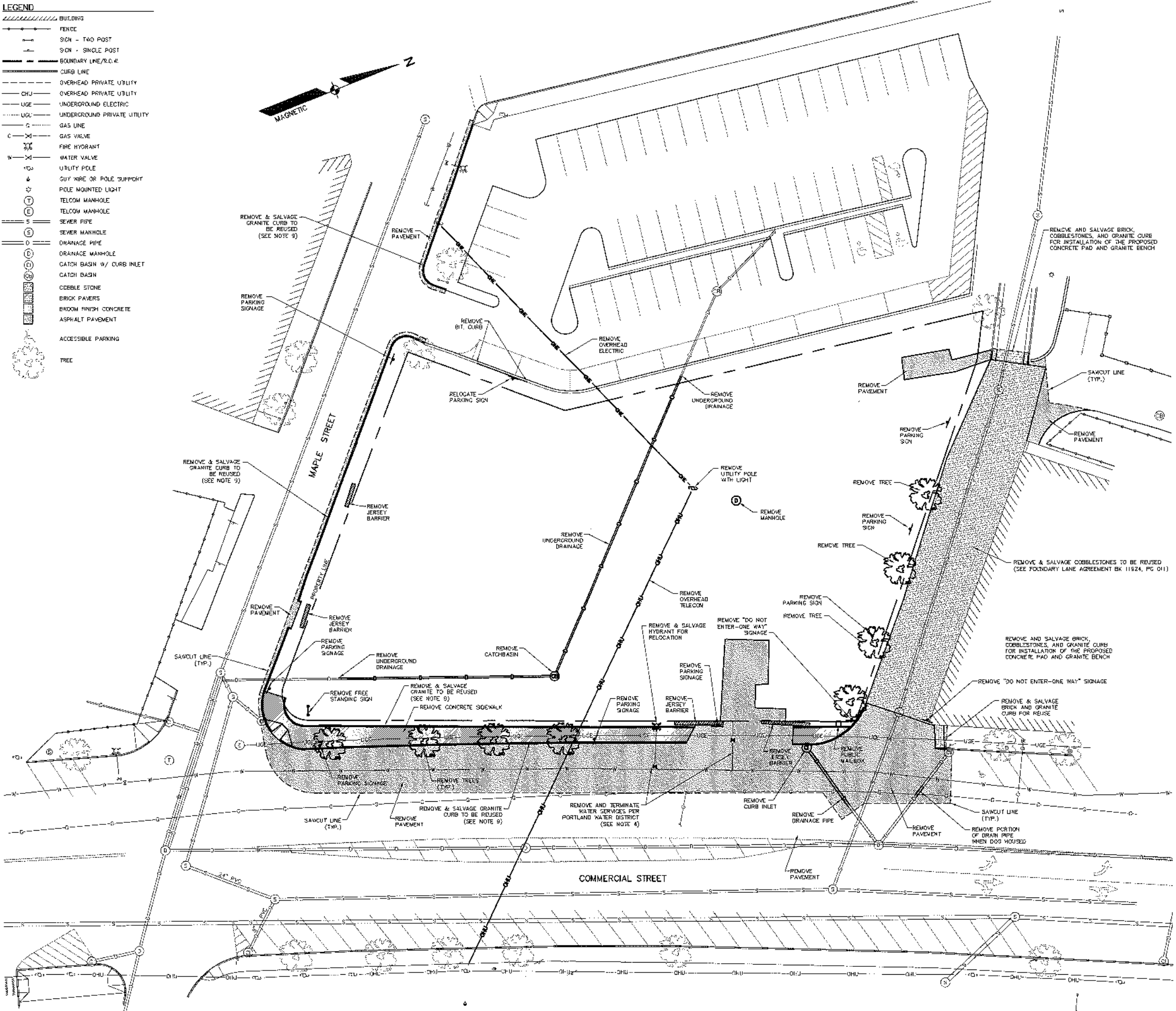
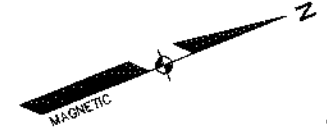
PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME

DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: EJS

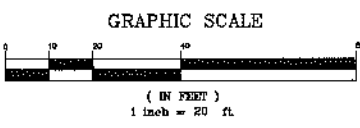
C02
SHEET: 2 OF 13

LEGEND

	BUILDING
	FENCE
	SIGN - TWO POST
	SIGN - SINGLE POST
	BOUNDARY LINE/R.O.W.
	CURB LINE
	OVERHEAD PRIVATE UTILITY
	OVERHEAD PUBLIC UTILITY
	UNDERGROUND ELECTRIC
	UNDERGROUND PRIVATE UTILITY
	GAS LINE
	GAS VALVE
	FIRE HYDRANT
	WATER VALVE
	UTILITY POLE
	GUY WIRE OR POLE SUPPORT
	POLE MOUNTED LIGHT
	TELECOM MANHOLE
	SEWER MANHOLE
	DRAINAGE PIPE
	DRAINAGE MANHOLE
	CATCH BASIN w/ CURB INLET
	CATCH BASIN
	COBBLE STONE
	BRICK PAVERS
	BROOM FINISH CONCRETE
	ASPHALT PAVEMENT
	ACCESSIBLE PARKING
	TREE



- GENERAL NOTES**
- THE SITE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
 - THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND CERTIFICATES.
 - ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF BY APPROVED LEGAL MEANS.
 - EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. TERMINATED UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE DISCONNECTED, SEALED, REMOVED OR ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS, NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP OF AND/OR JURISDICTION OVER THOSE UTILITIES.
 - THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH ANY PROJECT PHASING AND LOGISTIC PLANS.
 - OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND UTILITY POLES AND APPURTENANCES ARE TO BE REMOVED/RELOCATED BY THE UTILITY COMPANIES OWNING SUCH FACILITIES. THE GENERAL CONTRACTOR IS TO COORDINATE SCHEDULE WITH UTILITY COMPANY AND OWNER.
 - REFER TO THE SITE PLAN, AND THE GRADING AND UTILITY PLAN FOR LIMITS OF NEW CONSTRUCTION WORK.
 - REMOVAL AND ABANDONMENT OF SANITARY SEWERS AND STORM DRAINS:
 - PRIOR TO REMOVING OR ABANDONING ANY STORMWATER OF SANITARY SEWER LATERAL OR MAIN, THE CONTRACTOR SHALL OBTAIN A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION STATING THE DATE AND TIME THE CONTRACTOR INTENDS TO COMPLETE THE WORK.
 - ALL SANITARY AND STORM DRAIN MANHOLES INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY.
 - STORM DRAINS AND SANITARY SEWER INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. THE EXISTING SEWER/RAIN LATERALS TO BE REMOVED SHALL BE PLUGGED AT THE MAIN OR AT THE CONNECTING STRUCTURE TO REMAIN IN ACCORDANCE WITH CITY OF PORTLAND PUBLIC SERVICES STANDARDS.
 - GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY SHALL BE SALVAGED, CLEANED AND STACKED ON SITE, AS DIRECTED BY THE GENERAL CONTRACTOR, FOR RE-INSTALLATION.
 - ANY GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY THAT IS SALVAGED AND NOT REINSTALLED SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND. THE SITE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL WITHOUT DAMAGE, CLEANING AND STACKING IN A CITY DESIGNATED LOCATION. ALL STRAIGHT, CURVED, TERMINAL, AND CORNER SECTIONS OF CURBING SHALL BE SALVAGED. EACH SECTION OF STRAIGHT CURBING SHALL HAVE ITS OVERALL LENGTH PAINTED LEGIBLY ON ONE END. EACH SECTION OF CURVED CURBING SHALL HAVE ITS OVERALL ARC LENGTH AND RADIUS PAINTED LEGIBLY ON ONE END.



REVISION SCHEDULE	DATE	DESCRIPTION

LOPECHEE
CONSTRUCTION CORPORATION
1100 PARK DRIVE, BELMONT, ME 04923
PHONE (603) 237-9075 FAX (603) 237-9191

DEMOLITION PLAN

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME

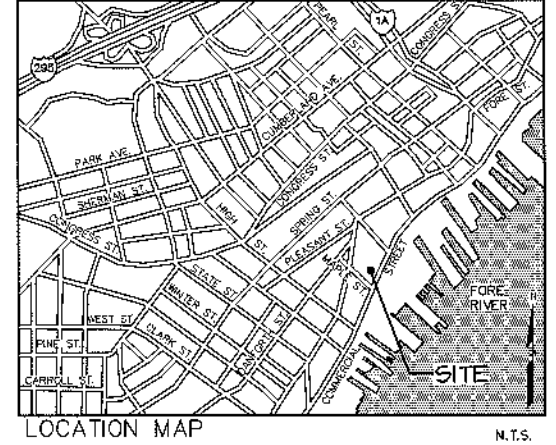
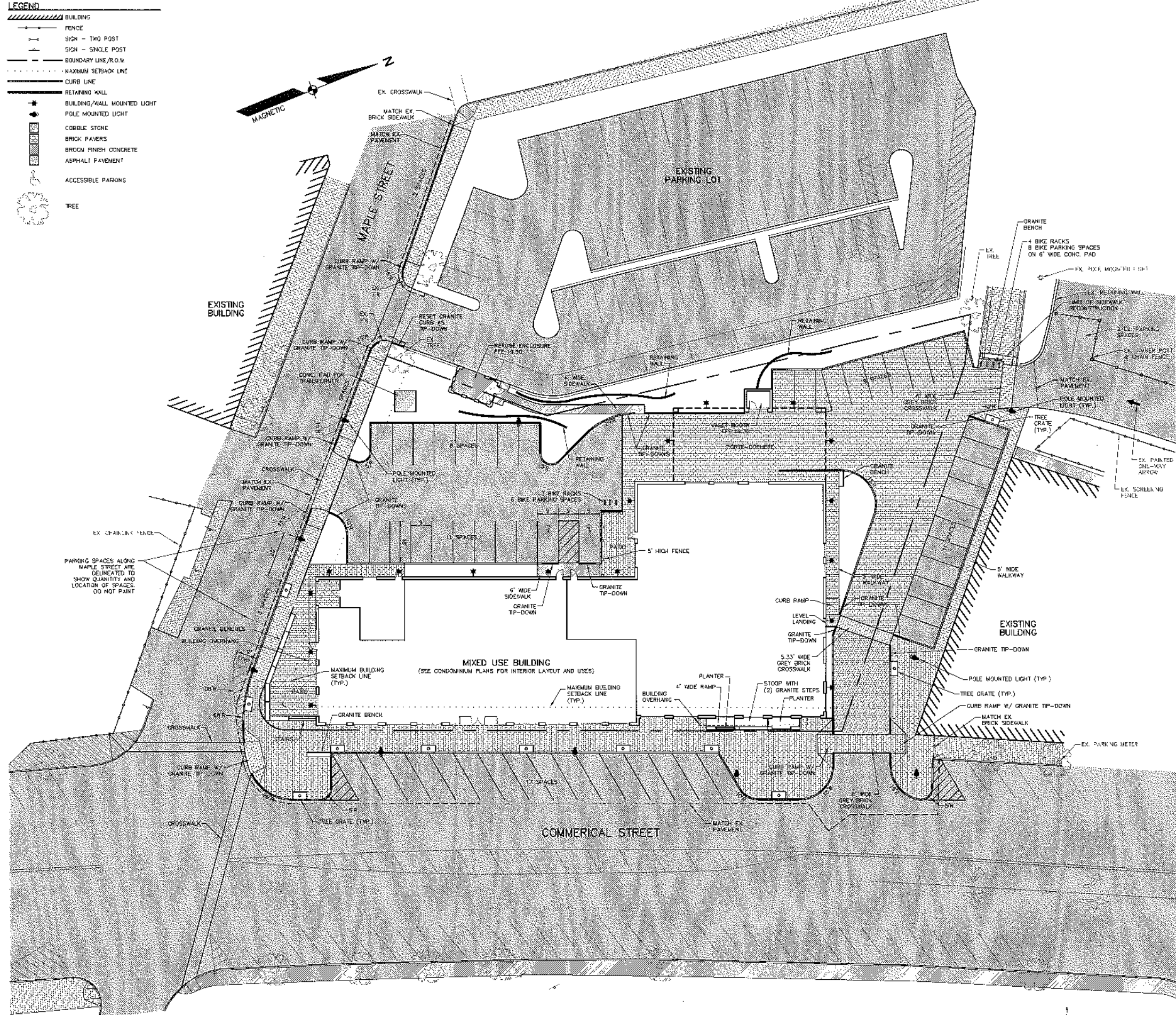
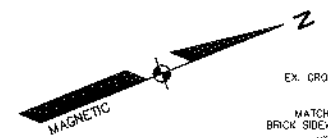
DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: EJS

C03
SHEET: 3 OF 13

© COPYRIGHT 2012 BY O.C.C.

LEGEND

	BUILDING
	FENCE
	SIGN - TWO POST
	SIGN - SINGLE POST
	BOUNDARY LINE/R.O.W.
	MAXIMUM SETBACK LINE
	CURB LINE
	RETAINING WALL
	BUILDING/WALL MOUNTED LIGHT
	POLE MOUNTED LIGHT
	COBBLE STONE
	BRICK PAVERS
	BROOM FINISH CONCRETE
	ASPHALT PAVEMENT
	ACCESSIBLE PARKING
	TREE



- GENERAL NOTES:**
1. SNOW MAY BE STORED ON ANY OF THE GRASSED OR LANDSCAPED AREA ON THE PROJECT SITE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
 2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR.
 3. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
 4. ALL PROPOSED SIDEWALK ADA RAMPS AND CROSSWALK LAYOUT AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY BRUCE HYMAN, THE PORTLAND'S BIKE/PEO COORDINATOR. PHONE CONTACT: (207) 400-9243.

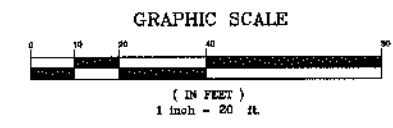
- ZONING SUMMARY:**
1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
 2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
 3. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN B5B URBAN COMMERCIAL MIXED USE DISTRICT.
 4. SPACE AND BULK CRITERIA FOR THE B5B URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
 - (a) MINIMUM LOT SIZE: NONE
 - (b) MINIMUM STREET FRONTAGE: NONE
 - (c) YARD DIMENSIONS:
 1. MINIMUM YARDS IN THE B-5 AND B-5b ZONES:
 - FRONT SETBACK: NONE
 - SIDE SETBACK: NONE
 - REAR SETBACK: NONE
 2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET
 3. MAXIMUM STREET SETBACK: NOT APPLICABLE
 - (d) MAXIMUM LOT COVERAGE: 100 PERCENT
 - (e) MAXIMUM RESIDENTIAL DENSITY: 50 DWELLING UNITS PER ACRE
 - (f) MAXIMUM BUILDING HEIGHT: 65 FEET
 - (g) MINIMUM BUILDING HEIGHT: NOT APPLICABLE

DATE	
REVISION	SCHEDULE
BY	

COPECHE
CONSTRUCTION CORPORATION
11 CROFOGATE DRIVE, BELMONT NH 03328
PHONE (603) 837-9888 FAX (603) 237-9191

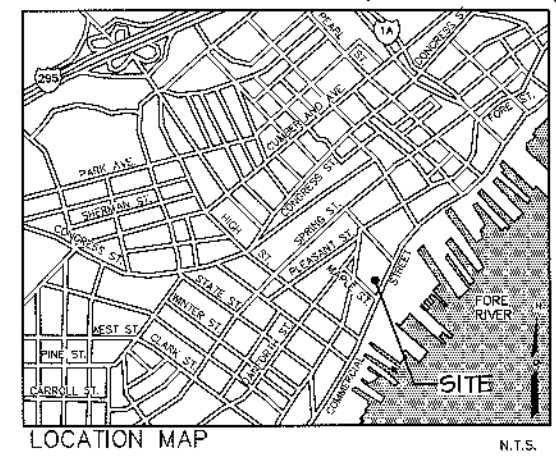
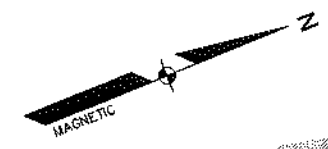
SITE PLAN

PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT**
PORTLAND, ME



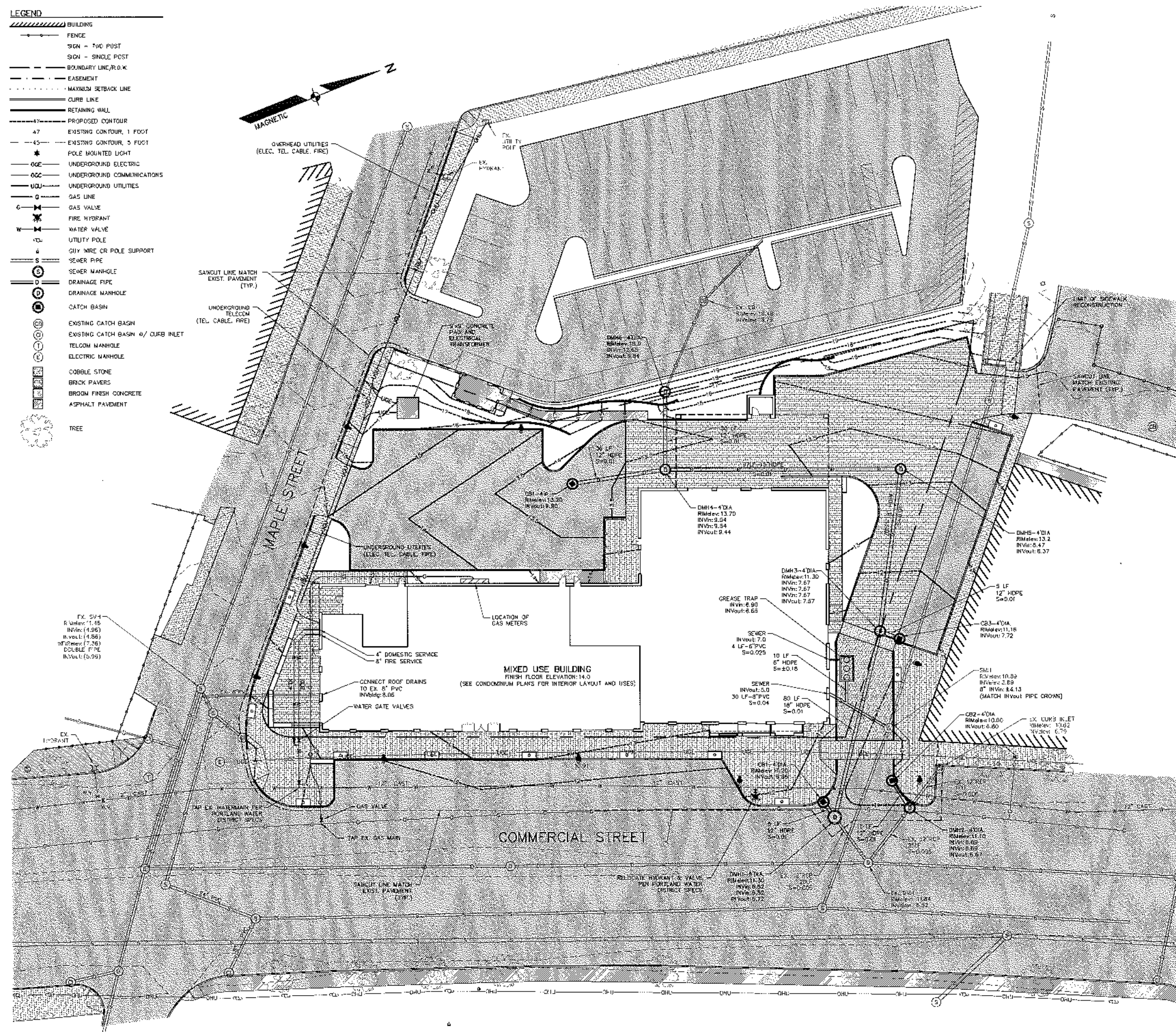
DATE:	10-23-12
SCALE:	1"=20'
DRAWN BY:	ELB
C04	
SHEET:	4 OF 19

- LEGEND**
- ▨ BUILDING
 - FENCE
 - SIGN - TWO POST
 - SIGN - SINGLE POST
 - BOUNDARY LINE/R.O.W.
 - - - EASEMENT
 - MAXIMUM SETBACK LINE
 - CURB LINE
 - RETAINING WALL
 - PROPOSED CONTOUR
 - EXISTING CONTOUR, 1 FOOT
 - EXISTING CONTOUR, 5 FOOT
 - ★ POLE MOUNTED LIGHT
 - UGE UNDERGROUND ELECTRIC
 - UGC UNDERGROUND COMMUNICATIONS
 - UGU UNDERGROUND UTILITIES
 - GAS LINE
 - GAS VALVE
 - ★ FIRE HYDRANT
 - ★ WATER VALVE
 - UTILITY POLE
 - GUY WIRE OR POLE SUPPORT
 - SEWER PIPE
 - SEWER MANHOLE
 - DRAINAGE PIPE
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - EXISTING CATCH BASIN
 - EXISTING CATCH BASIN w/ CURB INLET
 - TELCOM MANHOLE
 - ELECTRIC MANHOLE
 - COBBLE STONE
 - BRICK PAVERS
 - BROOM FINISH CONCRETE
 - ASPHALT PAVEMENT
 - TREE



GENERAL NOTES:

1. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.

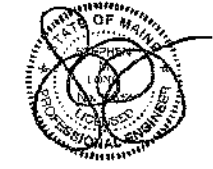
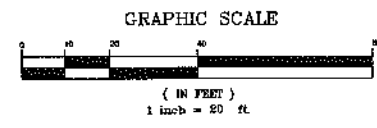


COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BRIMFORD NH 03229
 PHONE (603) 527-9999 FAX (603) 527-9151

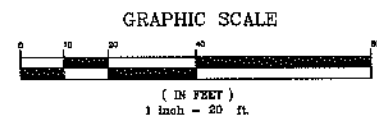
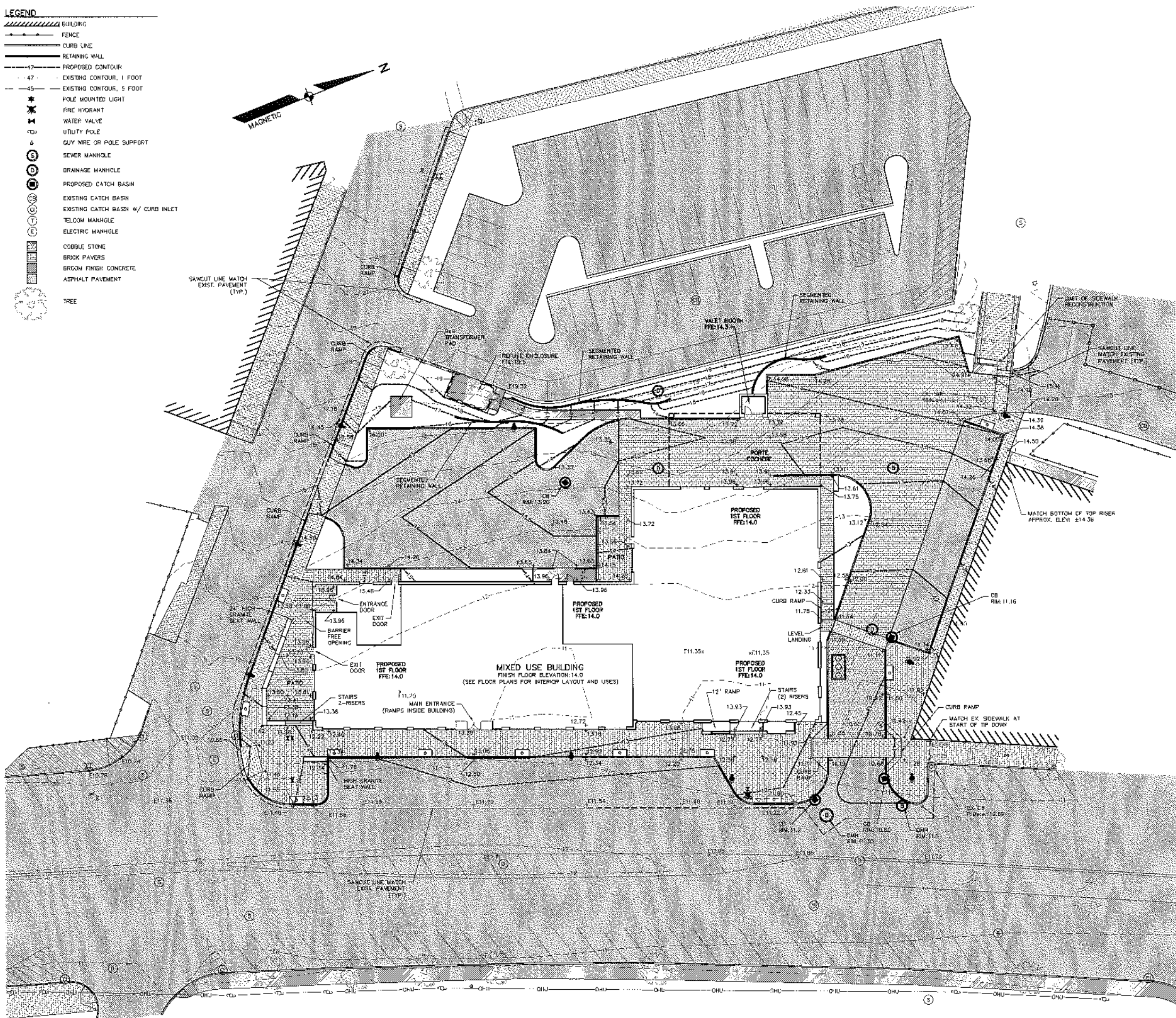
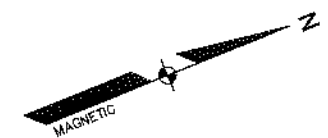
UTILITY PLAN

PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT**
 PORTLAND, ME

DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: EJS
C05
 SHEET: 5 OF 13



- LEGEND**
- BUILDING
 - FENCE
 - CURB LINE
 - RETAINING WALL
 - PROPOSED CONTOUR
 - EXISTING CONTOUR, 1 FOOT
 - EXISTING CONTOUR, 5 FOOT
 - POLE MOUNTED LIGHT
 - FIRE HYDRANT
 - WATER VALVE
 - UTILITY POLE
 - GUY WIRE OR POLE SUPPORT
 - SEWER MANHOLE
 - DRAINAGE MANHOLE
 - PROPOSED CATCH BASIN
 - EXISTING CATCH BASIN
 - EXISTING CATCH BASIN W/ CURB INLET
 - TELCOM MANHOLE
 - ELECTRIC MANHOLE
 - COBBLE STONE
 - BRICK PAVERS
 - BROOM FINISH CONCRETE
 - ASPHALT PAVEMENT
 - TREE



DATE	BY	REVISION / SCHEDULE	REVISION DESCRIPTION

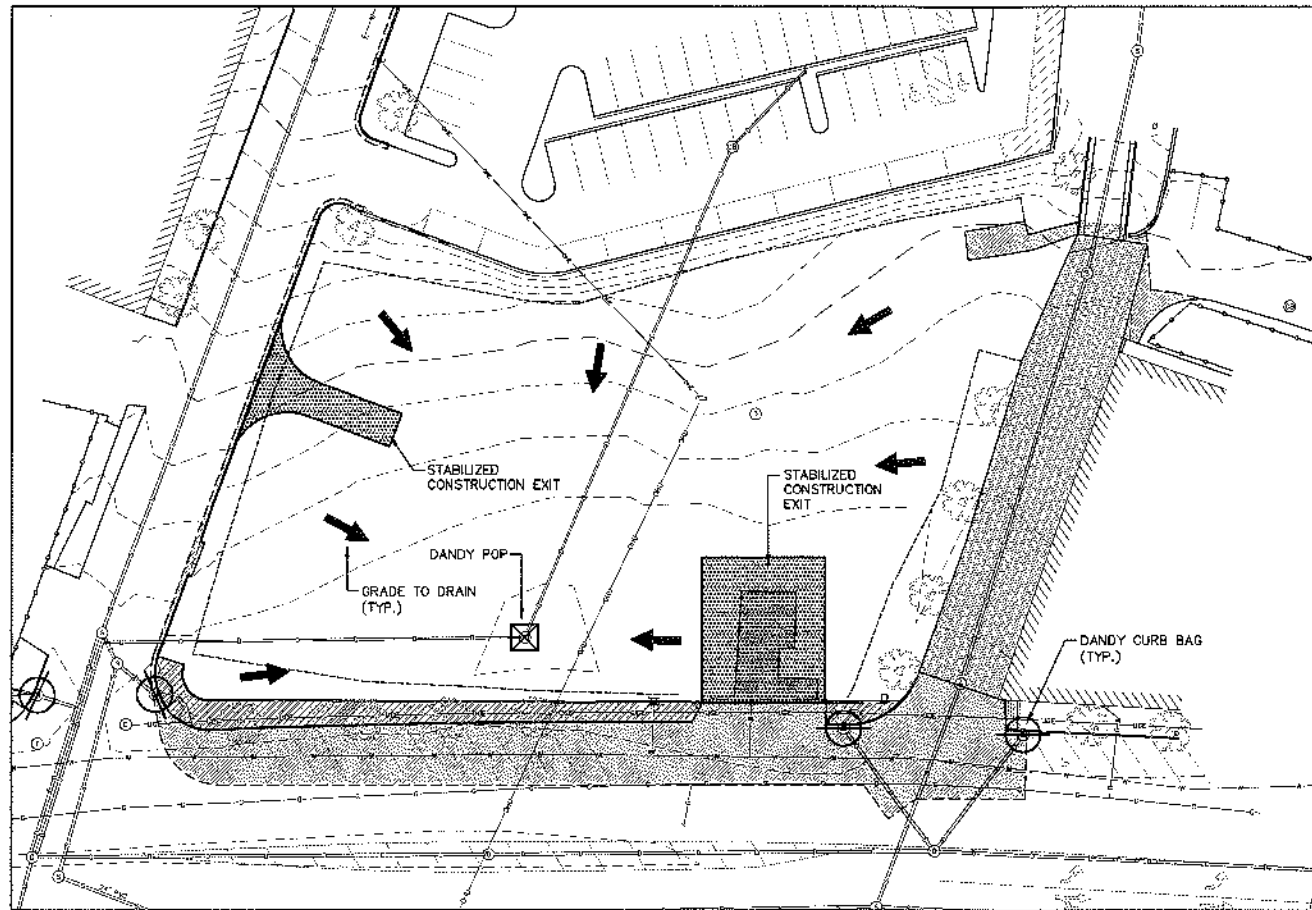
COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT, NE 05120
 PHONE (603) 227-9900 FAX (603) 227-9191

GRADING PLAN

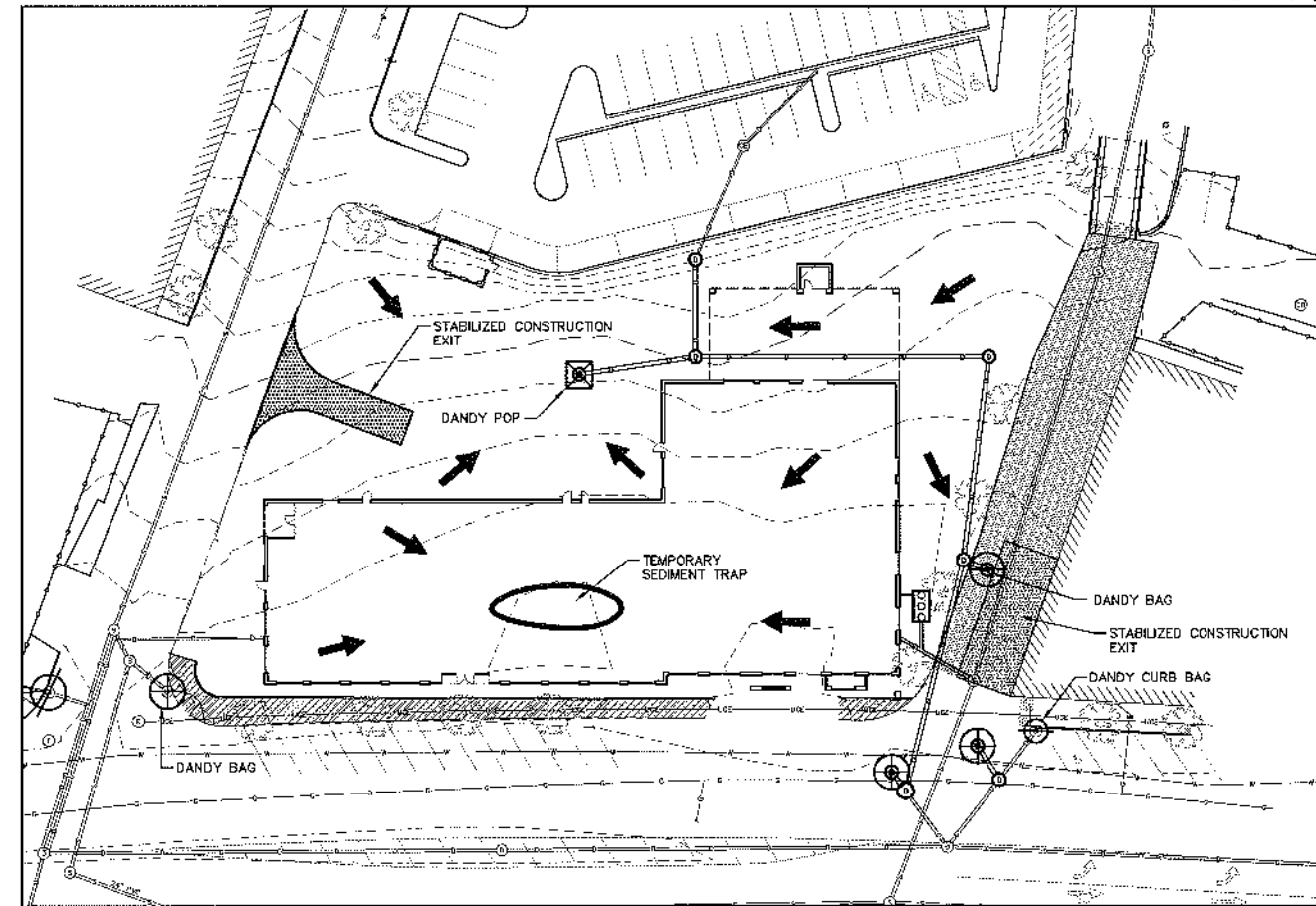
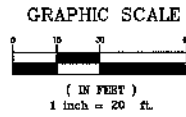
PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT**
 PORTLAND, ME

DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: BJS
C06
 SHEET: 6 OF 13

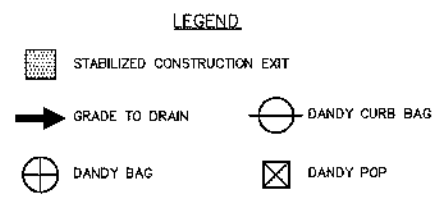




PHASE I SEDIMENT CONTROL PLAN
PRIOR TO AND DURING FOUNDATION CONSTRUCTION
SCALE: 1"=30'



PHASE II SEDIMENT CONTROL PLAN
DURING & POST FOUNDATION CONSTRUCTION
SCALE: 1"=30'



EROSION AND SEDIMENT CONTROL NOTES:

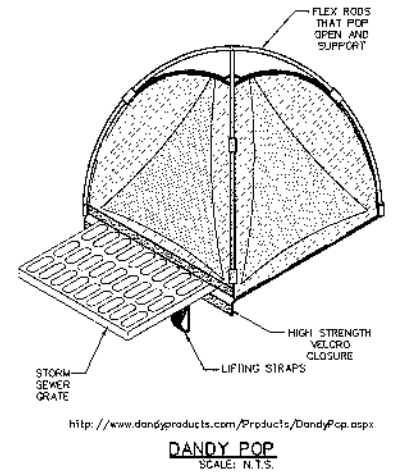
- THE EROSION PLAN DEPICTS THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES THAT THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING DURING DEMOLITION/CONSTRUCTION IN SUCH A MANNER THAT:
 - SOIL EROSION IS KEPT TO A MINIMUM.
 - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
 - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- SOIL DISTURBING ACTIVITIES WILL INCLUDE MINIMAL CLEARING & GRUBBING, DEMOLITION, EXCAVATION FOR SEWER, STORM DRAINAGE, UNDERGROUND UTILITIES, BUILDING FOUNDATIONS, AND RETAINING WALLS.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OR MORE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3" ON NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER ANY STORM EVENT WITH GREATER THAN 0.5 INCHES OF RAINFALL.
- ALL NECESSARY REPAIRS TO EROSION CONTROL MEASURES MUST BE MADE AS SOON AS POSSIBLE.
- ALL AREAS SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION, BUT THAT SHOW SIGNS OF EROSION. NOTIFY ENGINEER OF ANY SIGNIFICANT EROSION PROBLEM.
- INSTALL EROSION CONTROL BLANKETS WITHIN 7 DAYS IF ANY AREA WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS. SOO ANY AREA AS SOON AS POSSIBLE WHICH HAS BEEN LOADED.
- WINTER NOTES:
 - ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION AND SEDIMENT CONTROL NOTES (CONT.):

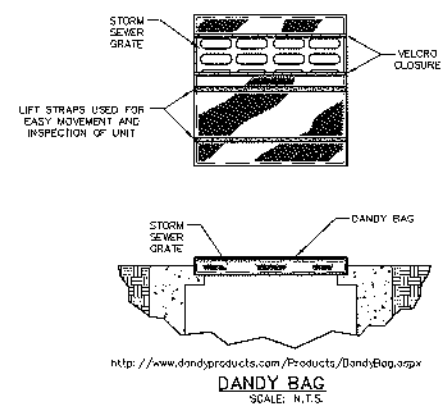
- DANDY BAGS ARE SEDIMENT TRAP DEVICES TO BE USED WITH CATCH BASIN GRATES TO FILTER OUT ALL THE SEDIMENT-LADEN STORMWATER. THE SUSPENDED SOLIDS ARE ALLOWED TO SETTLE OUT OF THE SLOWED FLOW AND ARE CAPTURED BY THE SACK AFTER ENTERING THE CATCH BASIN INLET. FOLLOW THE DANDY BAG SEDIMENT TRAP MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF THE DANDY BAG. THE SACK SHALL BE EMPTIED WHEN THE CONTAINMENT AREA IS 1/2 FULL. SEE THE DETAIL.
- SILT SOCKS CONTROL EROSION BY TRAPPING SEDIMENT AND SLOWING WATER THAT FILTERS THROUGH THE SILT SOCK. THIS WILL CREATE TEMPORARY PONDING DURING HEAVY RAINS. THE SILT SOCKS SHOULD BE INSPECTED REGULARLY TO MAKE SURE THEY HOLD THEIR SHAPE AND ARE PRODUCING ADEQUATE FLOW THROUGH. IF PONDING BECOMES EXCESSIVE AND SEDIMENT REACHES THE TOP OF THE SILT SOCK ADDITIONAL SILT SOCKS SHOULD BE PLACED ON TOP OF THE EXISTING SILT SOCK WITHOUT DISTURBANCE OF THE SOIL OR COLLECTED SEDIMENT.
- THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR ALL SILTATION RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES OR WATER BODIES AS A RESULT OF THIS PROJECT.

GOOD HOUSEKEEPING NOTES:

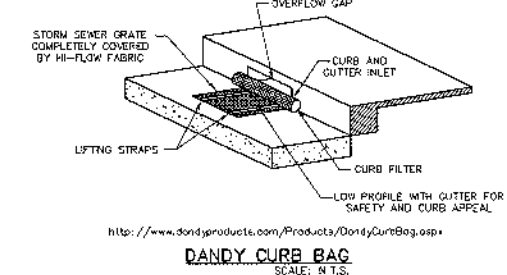
- THE PAVED STREET INTO AND FROM THE SITE WILL BE SWEEP AS NECESSARY (COULD BE AS FREQUENT AS DAILY DURING HEAVY EARLY HAULING OPERATIONS) TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.
- ALL WASTE MATERIALS WILL BE COLLECTED AND STORED SECURELY IN A METAL DUMPSTER RENTED FROM A LOCAL SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NECESSARY, AND THE TRASH WILL BE HAULIED TO THE LOCAL DUMP OR TRANSFER CENTER. NO WASTE MATERIALS GENERATED BY CONSTRUCTION WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER AND THE SITE SUPERINTENDENT MANAGING THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PROCEDURES AND THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.
- A LOCAL LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR WILL COLLECT ALL SANITARY WASTE FROM THE UNITS.



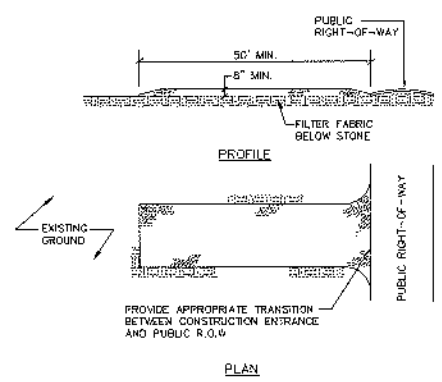
DANDY POP
SCALE: N.T.S.



DANDY BAG
SCALE: N.T.S.



DANDY CURB BAG
SCALE: N.T.S.



- NOTES:**
- STONE SIZE- AASHTO DESIGNATION M43, SIZE NO 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
 - LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
 - THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION EXIT
NOT TO SCALE

REVISION SCHEDULE

NO.	DATE	REVISION

COPECHEE
CONSTRUCTION CORPORATION
11008 ORAULT DRIVE, BELLEVILLE, MO 63720
PHONE: (636) 337-3888 FAX: (636) 337-3191

TEMPORARY EROSION & SEDIMENT CONTROL PLAN

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
PORTLAND, ME

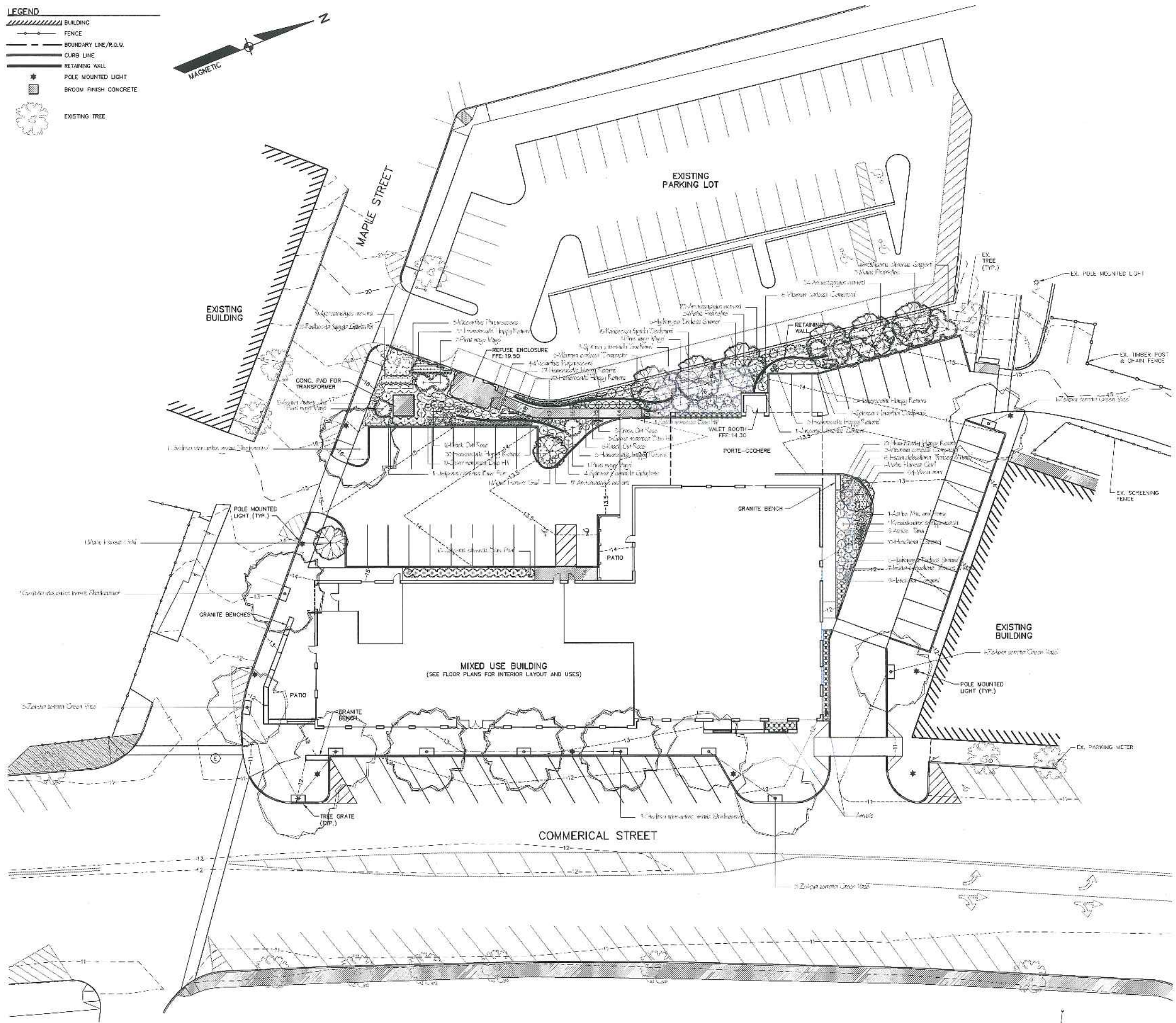
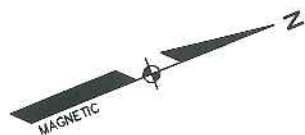
DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: BJS
SHEET: 7 OF 13

C07

PROFESSIONAL ENGINEER

LEGEND

- BUILDING
- FENCE
- BOUNDARY LINE/R.O.W.
- CURB LINE
- RETAINING WALL
- POLE MOUNTED LIGHT
- BROOM FINISH CONCRETE
- EXISTING TREE



PLANT SCHEDULE

Quantity	Latin Name	Common Name	Scheduled Size
5	Quercus prinus	White Oak	24" CA
5	Malus domestica	Domestic Apple	24" CA
6	Malus domestica	Domestic Apple	24" CA
7	Malus domestica	Domestic Apple	24" CA
SHRUBS			
12	Hydrangea arborescens	Hydrangea	48"
17	Juniperus horizontalis	Creeping Juniper	48" DIA
17	Juniperus horizontalis	Creeping Juniper	48"
9	Philadelphus	Shrub	24" DIA
78	Rosa rugosa	Rose	48"
14	Spiraea	Shrub	48"
4	Yucca	Succulent	34" DIA
PERENNIALS/ANNUALS			
45	Asplenium	Asplenium	4"
4	Asplenium	Asplenium	24"
1	Asplenium	Asplenium	24"
24	Asplenium	Asplenium	24"
4	Asplenium	Asplenium	4"
15	Asplenium	Asplenium	48"
1	Asplenium	Asplenium	48"
24	Asplenium	Asplenium	24"
24	Asplenium	Asplenium	24"
4	Asplenium	Asplenium	24"
4	Asplenium	Asplenium	24"

LANDSCAPE PLAN PROVIDED BY
Elm Grove Property Solutions LLC
 440 Hanover St. Manchester, NH
 PH: 603-232-0438

REVISION SCHEDULE

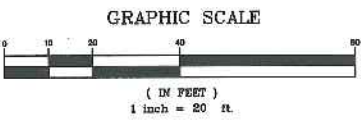
DATE	REVISION DESCRIPTION

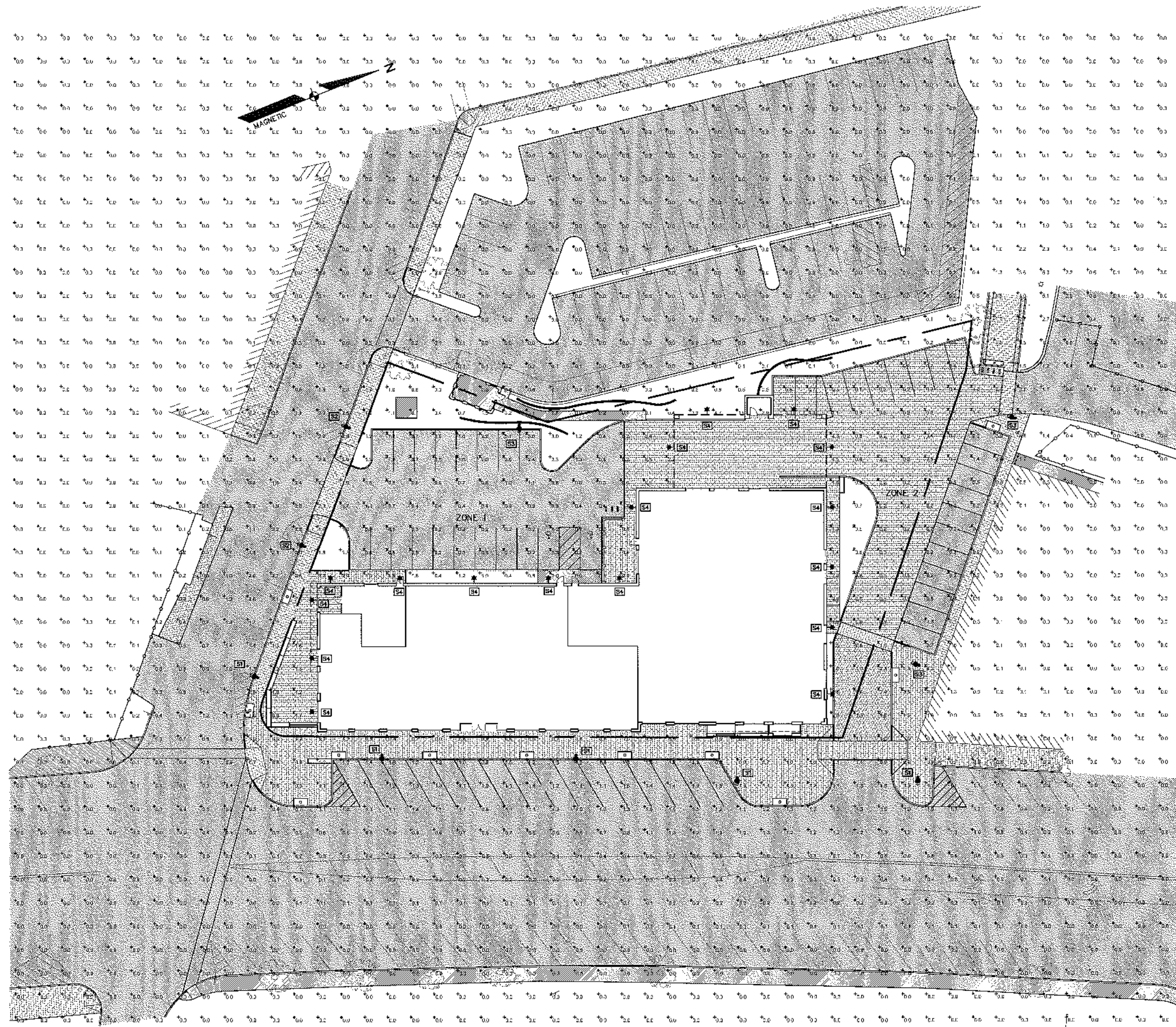
COPECHED
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, PORTLAND, ME 04106
 PHONE (603) 232-9888 FAX (603) 232-9191

LANDSCAPING PLAN

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
 PORTLAND, ME

DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: BJS
C08
 SHEET: 5 OF





- NOTES:**
1. LIGHTING CALCULATIONS REPRESENT HORIZONTAL MAINTAINED ILLUMINANCE LEVELS (FOOTCANDELS) MEASURED AT GRADE.
 2. CALCULATED GRID STATISTICS FOR ZONE 1 ARE AS FOLLOWS:
AVG: 1.1fc MIN: 0.2fc MAX: 5.1fc MAX/MIN: 25:1
 3. CALCULATED GRID STATISTICS FOR ZONE 2 ARE AS FOLLOWS:
AVG: 1.2fc MIN: 0.2fc MAX: 5.2fc MAX/MIN: 25:1
 4. STATISTICAL CALCULATION POINTS ARE DELINEATED WITH X FACTORS:
C.69 - TYPES S1, S2, AND S3
C.72 - TYPE S4

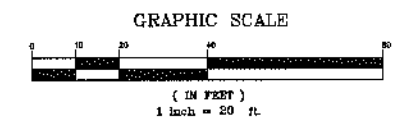
DATE	REVISION	SCHEDULE

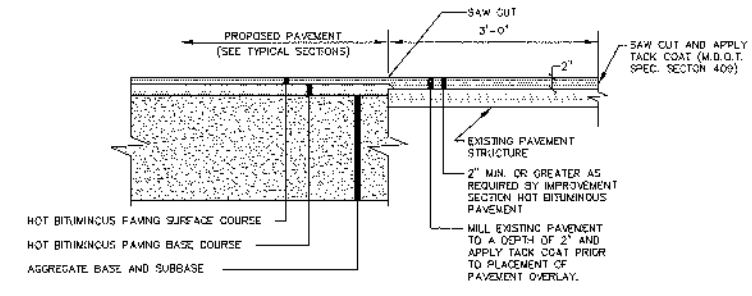
COPECHE
CONSTRUCTION CORPORATION
11 CORTLAND DRIVE, BELMONT NH 03329
PHONE (603) 227-9098 FAX (603) 227-9191

PHOTOMETRICS
PLAN

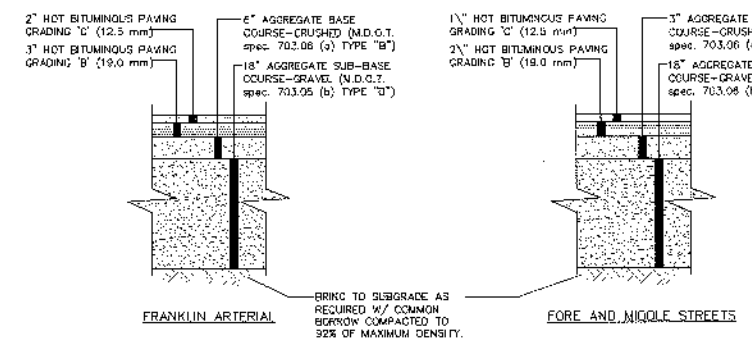
PROJECT:
COMMERCIAL & MAPLE STREET
MIXED USE DEVELOPMENT
PORTLAND, ME

DATE: 10-27-12
SCALE: 1"=20'
DRAWN BY: B.D.
C09
SHEET: 4 OF 12



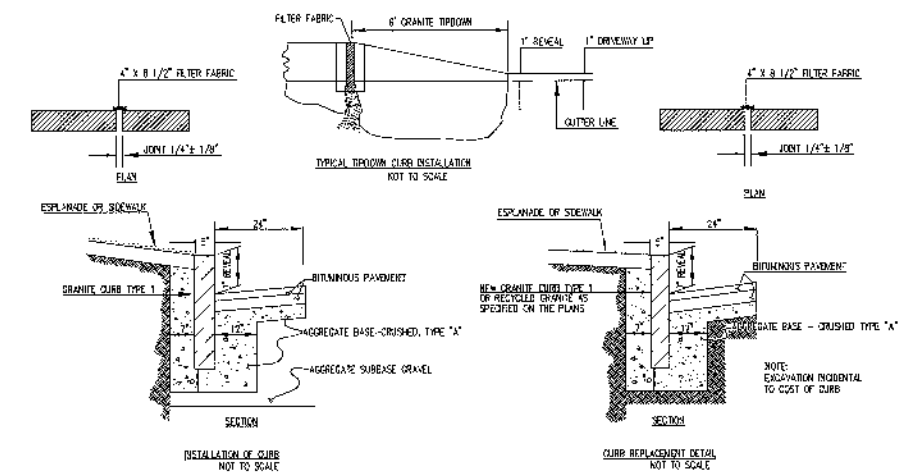


PAVEMENT SAW CUT DETAIL
NOT TO SCALE

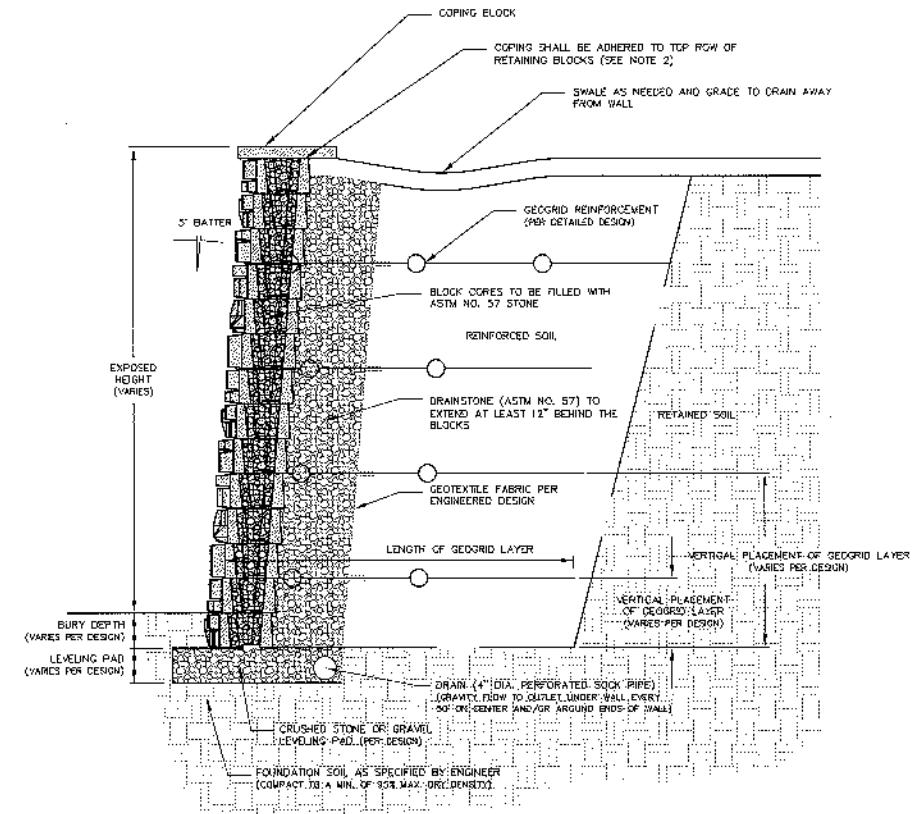


NOTE:
1. COMPACT GRAVEL SUB-BASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

TYPICAL PAVEMENT REPAIR SECTION FOR PUBLIC STREETS
NOT TO SCALE

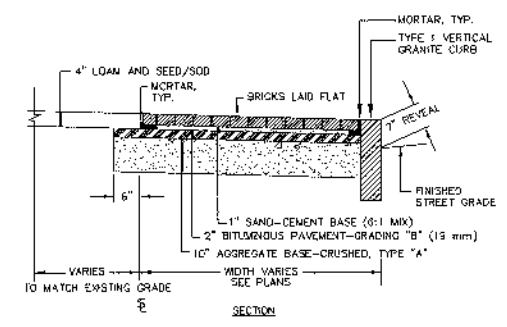


TYP. INSTALLATION OF CURB TYPE 1
NOT TO SCALE



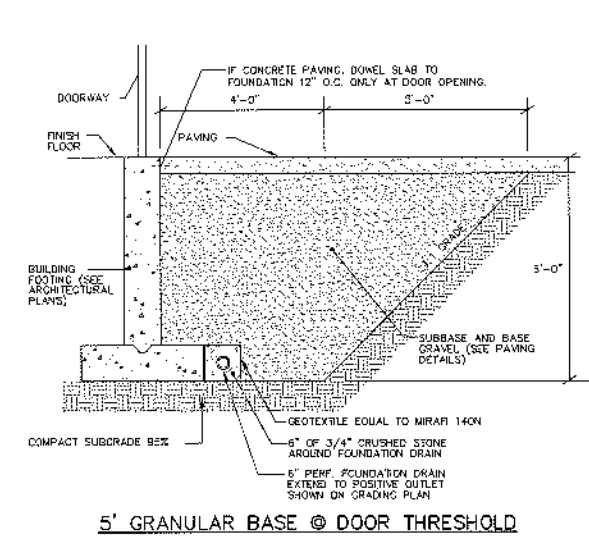
NOTES:
1. BLOCK SETBACK = 1/2" PER COURSE = 5' BATTER
2. CONSTRUCTION ADHESIVES SHALL BE SPECIFICALLY FORMULATED FOR SEGMENTAL BLOCK WALL CONSTRUCTION AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
3. THIS DRAWING IS FOR REFERENCE ONLY.
4. FINAL DESIGN FOR CONSTRUCTION MUST BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.
5. FINAL WALL DESIGN MUST ADDRESS BOTH INTERNAL AND EXTERNAL DRAINAGE AND SHALL BE EVALUATED BY THE PROFESSIONAL ENGINEER WHO IS RESPONSIBLE FOR THE WALL DESIGN.
6. BLOCKS ARE PRODUCED WITH DIFFERENT FACE TEXTURES. EXPOSED BLOCK FACES WILL VARY THROUGHOUT THE WALL DEPENDING ON INSTALLATION PATTERN.

RETAINING WALL DETAIL
NOT TO SCALE

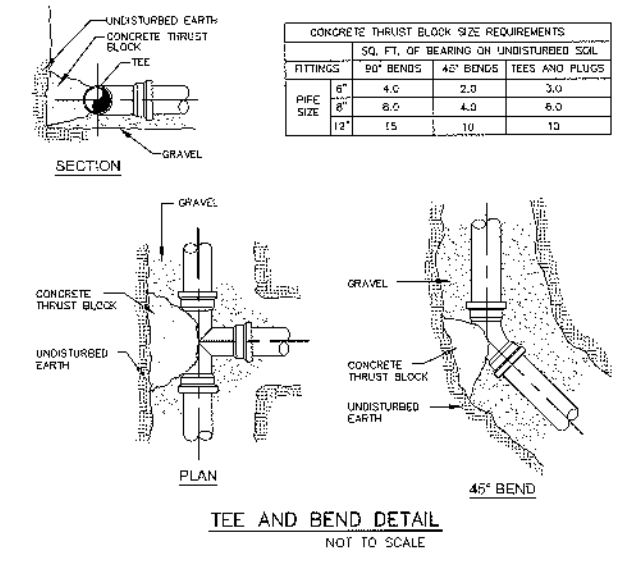


NOTES:
1. BORDER COURSE OF BRICK SHALL BE MORTARED TO PAVEMENT BASE. REMAINING BRICKS TO HAVE CLEAN SAND SWEEP INTO JOINTS.
2. BRICKS TO BE USED:
(a) NEW CONSTRUCTION: 4"x8" FINE HALL PATHWAY PAVEMENT BRICK, MFG. BY FINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #182522; FINE HALL PATHWAY PAVEMENT BRICK.
(b) REPAIR/MAINTENANCE TO EXISTING BRICK SIDEWALKS: VERMONT PAVEMENT, SUPPLIED BY GAGNE AND SONS, SPEC. NO. 'VERMONT BACKER BRICK', ITEM #N88B.

BRICK SIDEWALK WITH GRANITE CURB
NOT TO SCALE

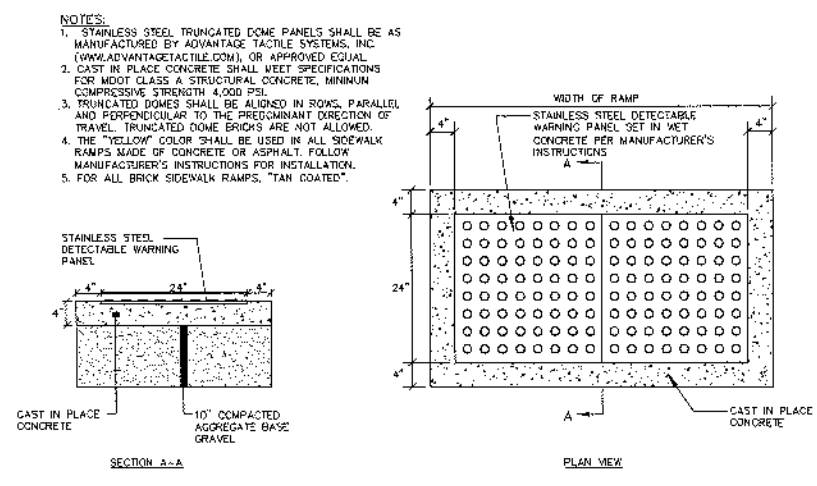


5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE

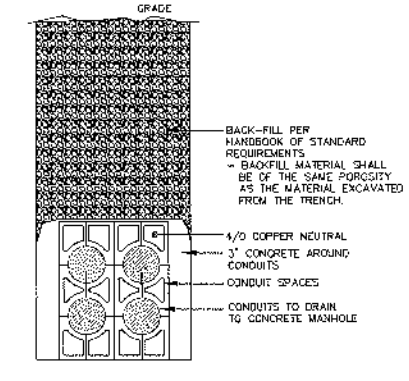


CONCRETE THRUST BLOCK SIZE REQUIREMENTS				
FITTINGS	SQ. FT. OF BEARING ON UNDISTURBED SOIL			
	90° BENDS	45° BENDS	TEES	PLUGS
6"	4.0	2.0	3.0	
8"	8.0	4.0	6.0	
12"	15	10	10	

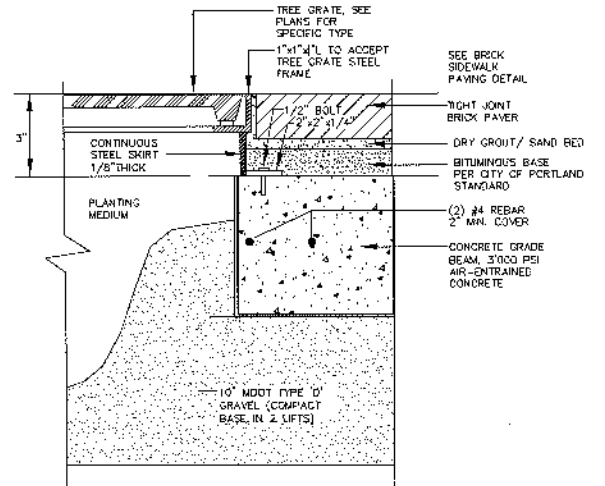
TEE AND BEND DETAIL
NOT TO SCALE



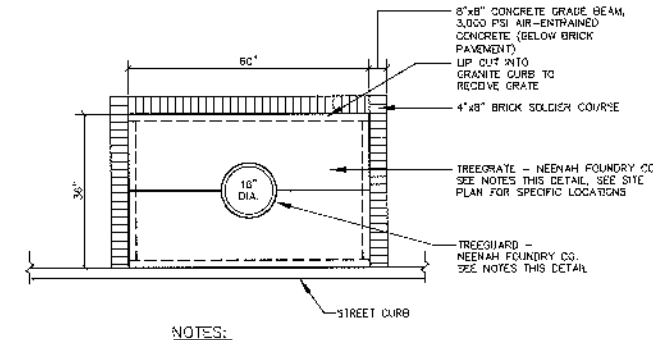
SIDEWALK RAMP DETECTABLE WARNING PANEL
NOT TO SCALE



2x2 5" CONDUIT BANK
NOT TO SCALE



TYPICAL SECTION TREE GRATE FRAME
NOT TO SCALE

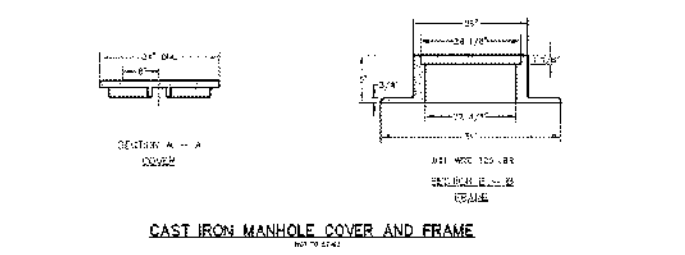
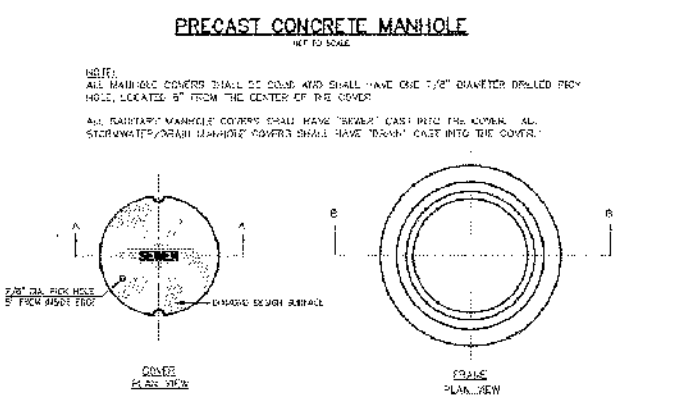
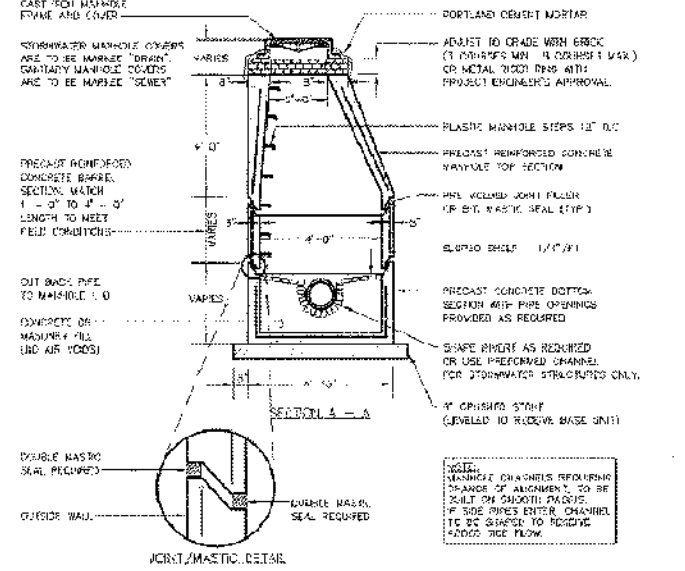
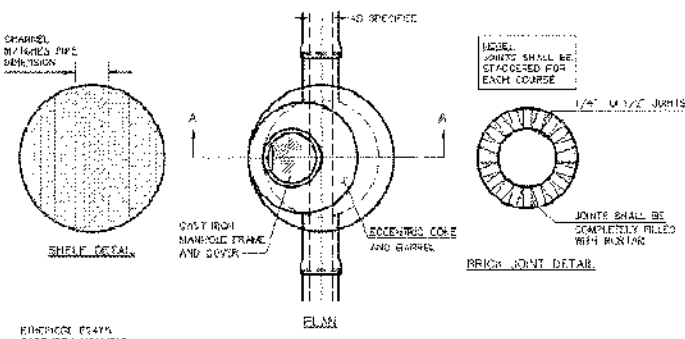


NOTES:
1. USE R-BB05 W/ 1/2" EXPANDABLE OPENING FOR TREE GRATE #1.
2. USE R-BB02-4 W/ 1/8" EXPANDABLE OPENING FOR TREE GRATE #2.

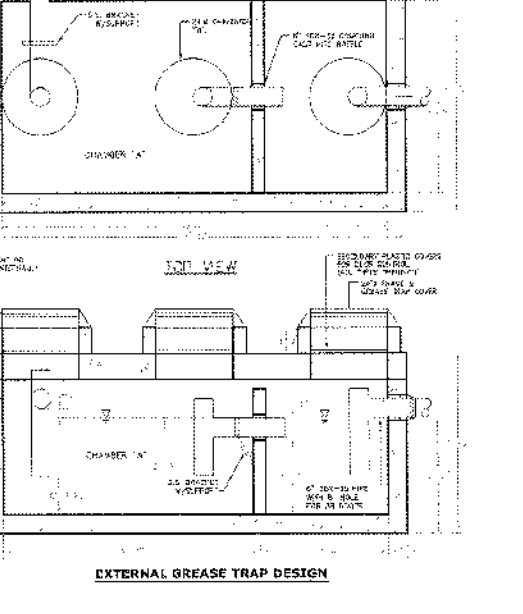
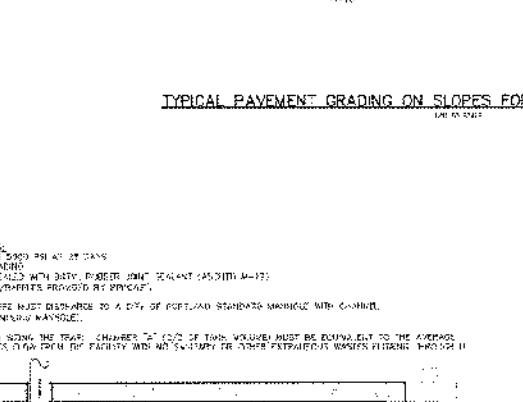
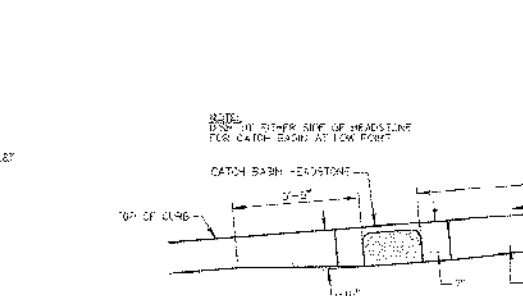
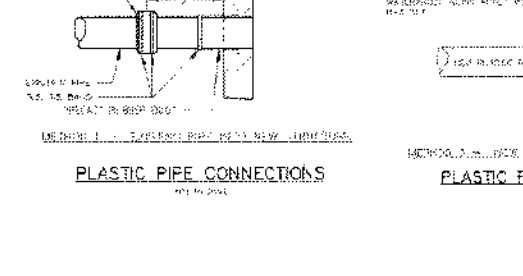
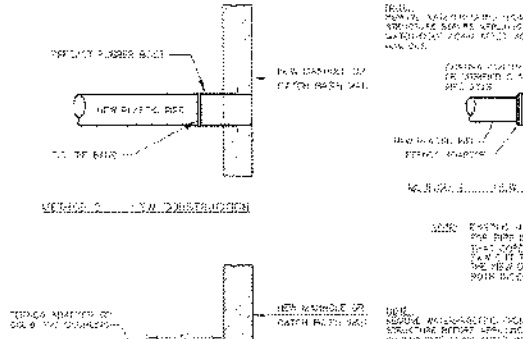
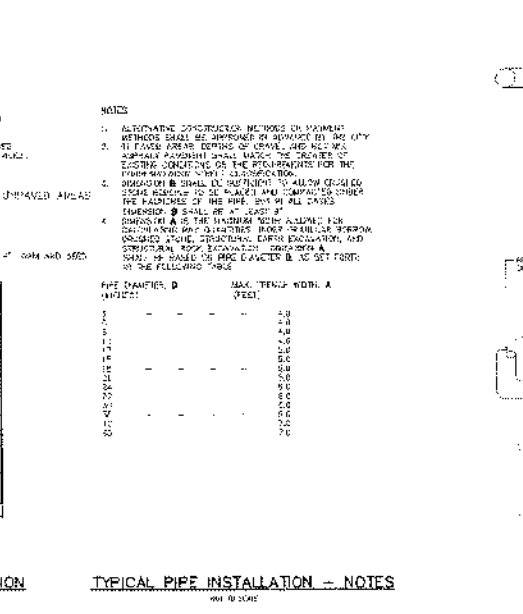
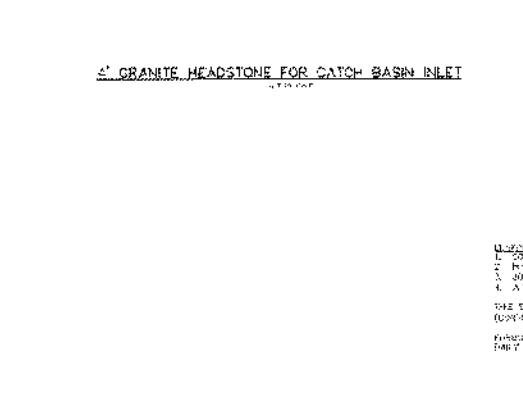
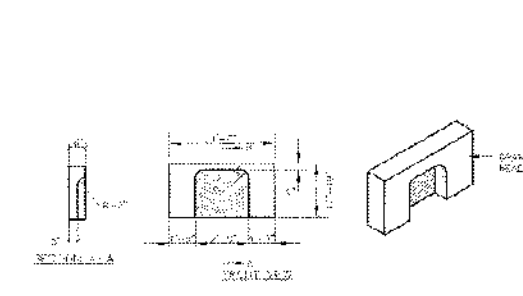
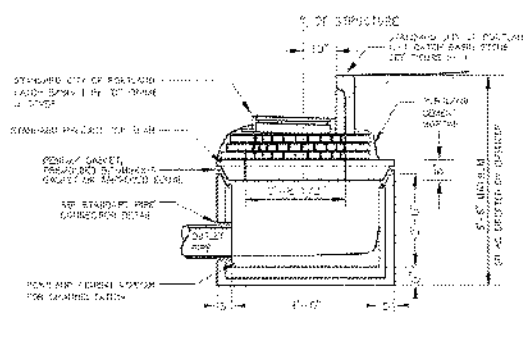
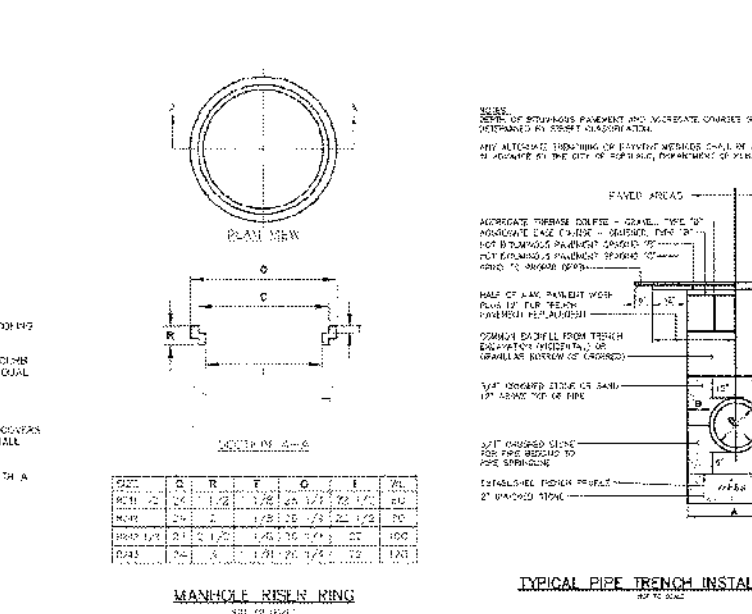
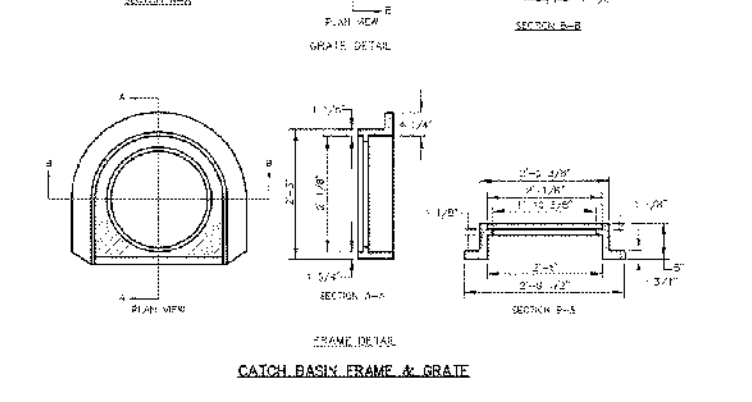
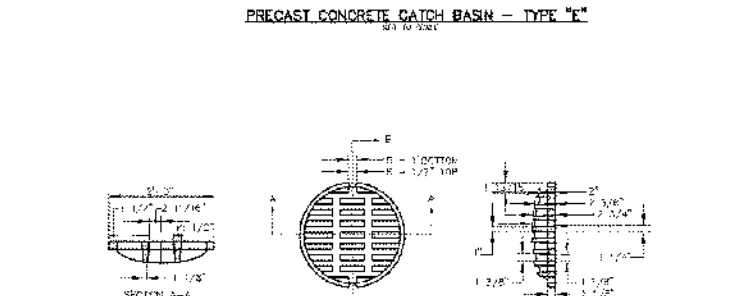
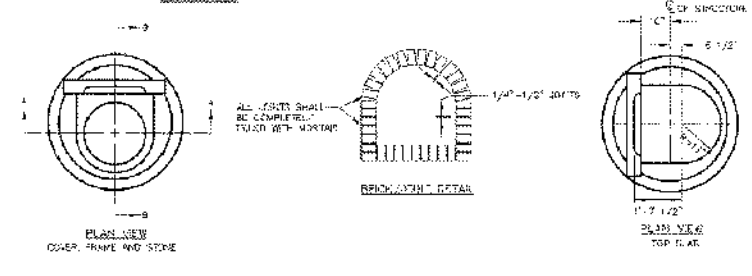
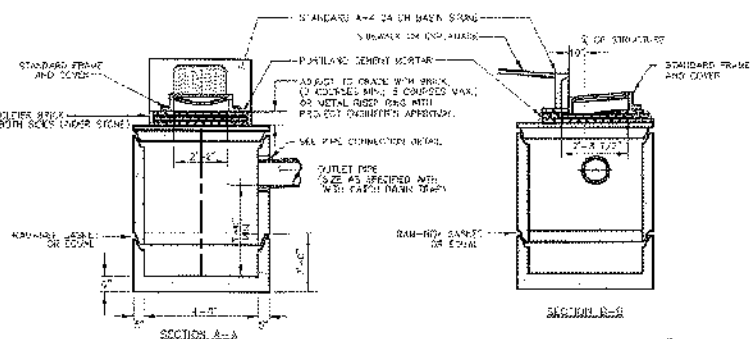
TREE GRATE DETAIL
NOT TO SCALE



PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
 DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: EJS
 SHEET: 10 OF 13
 PORTLAND, ME
 CONSTRUCTION CORPORATION
 11 CORNBANK DRIVE, BILLYMONT NH 03228
 PHONE (603) 227-9599 FAX (603) 227-9391
 COPYRIGHT 2013 BY O.C.C.



- GENERAL NOTES FOR MANHOLES AND CATCH BASINS**
1. ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 28 DAYS AT THE END OF 28 DAYS UNLESS OTHERWISE NOTED.
 2. MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE OR CAST-IN-PLACE.
 3. PRECAST REINFORCED CONCRETE MANHOLE MANUFACTURES PER ASTM SPEC. C 478.
 4. ALL TOP AND RISE MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE THE 1/8" DIAMETER DRILLED HOLE LOCATED 8" FROM THE CENTER OF THE COVER.
 5. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER. ALL STORMWATER/RAIN MANHOLE COVERS SHALL HAVE "RAIN" CAST INTO THE COVER.
 6. ALL MANHOLE RISERS SHALL BE EITHER 24" OR APPROXIMATELY EQUAL.
 7. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATION C-32-22, GRADE 1A AND 5A.
 8. ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.
 9. CATCH BASIN FRAMES FOR TYPE "A" CATCH BASIN COVER MODELS SHALL BE EITHER 24" OR APPROXIMATELY EQUAL.
 10. CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 20.
 11. EXISTING MANHOLES, CATCH BASIN FRAMES, AND COVERS SHALL BE SURVEYED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
 12. ALL CATCH BASIN OUTLETS SHALL BE INSTALLED WITH A 1/4" CLEARANCE FROM THE TOP OF THE COVER.



PECHEE
 CONSTRUCTION CORPORATION
 11 COSTA MESA DRIVE, BELLEVUE, WA 98005
 (206) 835-7300 FAX (206) 835-7301

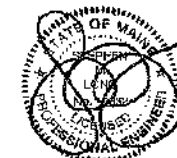
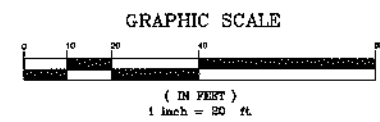
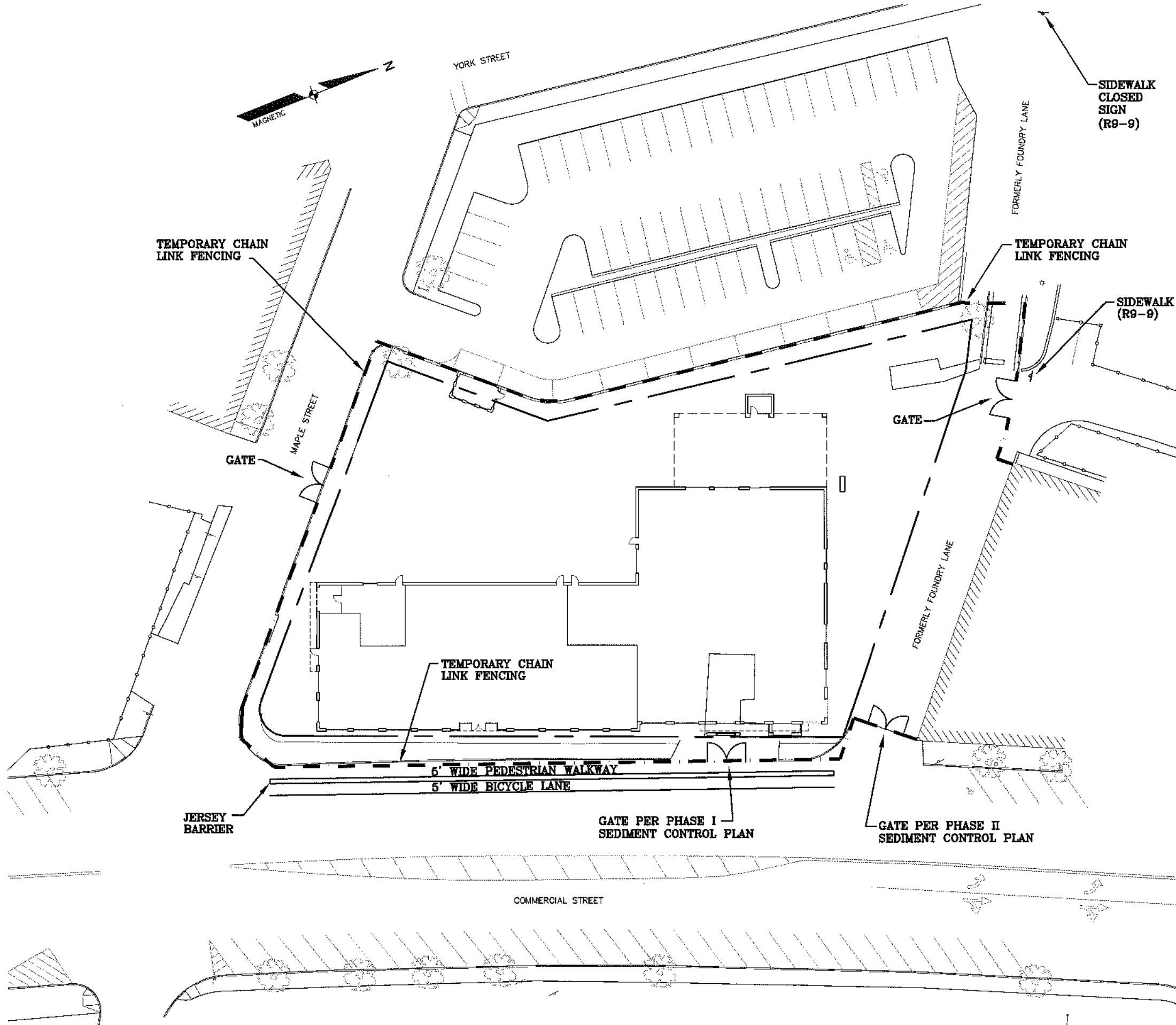
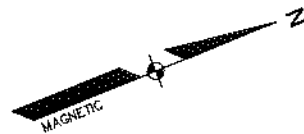
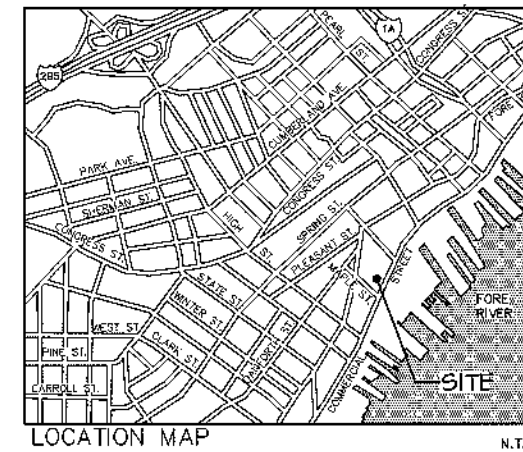
SANITARY SEWER & STORM DRAIN DETAILS

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
 PORTLAND, ME

DATE: 10-22-12
 SCALE: 1"=20"
 DRAWN BY: B.S.

C11
 SHEET 11 OF 13

REGISTERED PROFESSIONAL ENGINEER
 STATE OF MAINE
 LICENSE NO. 10000

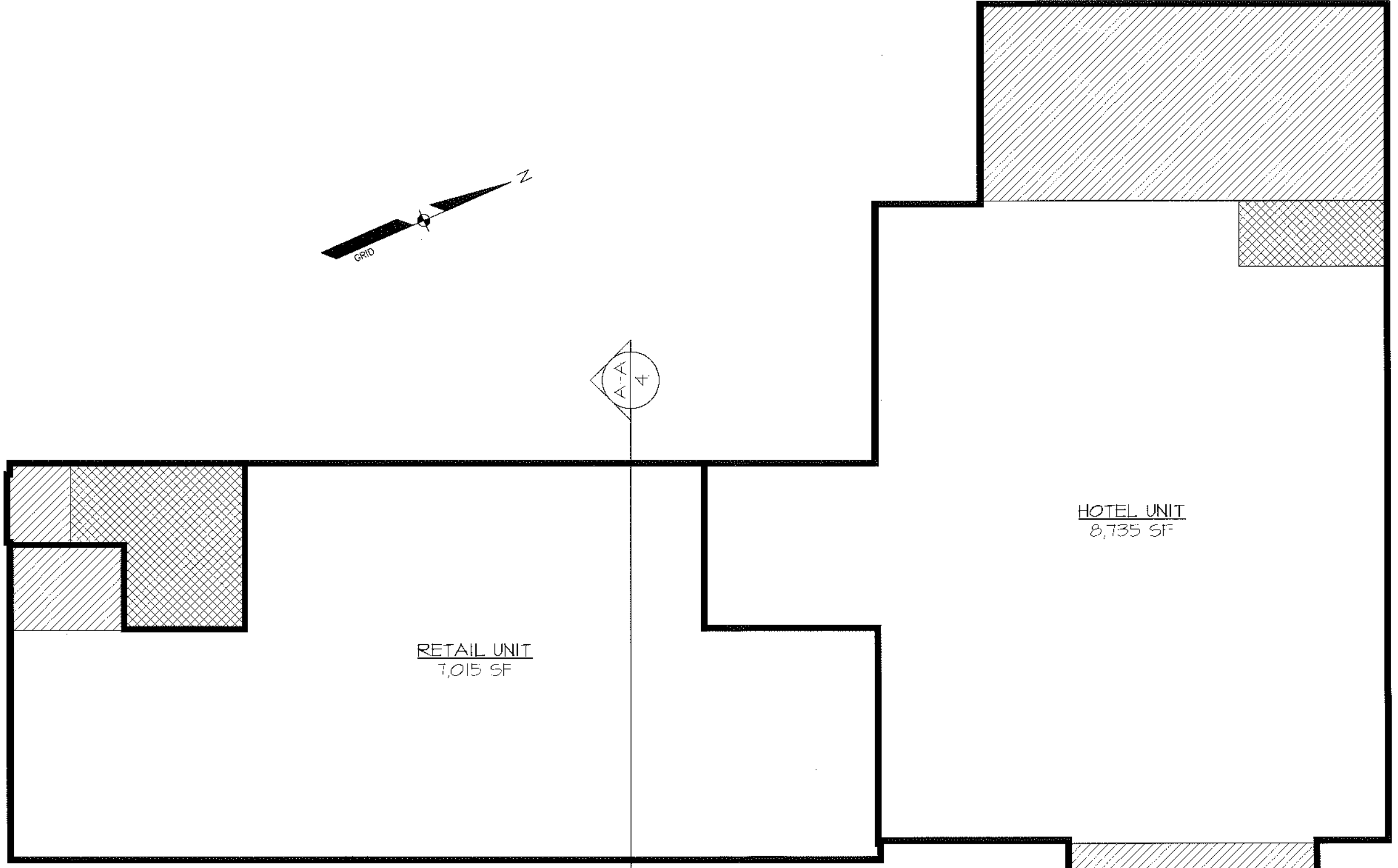
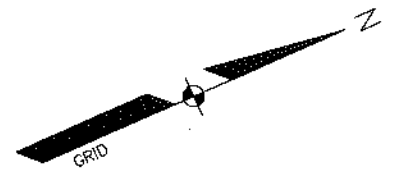





REVISION	DATE	BY

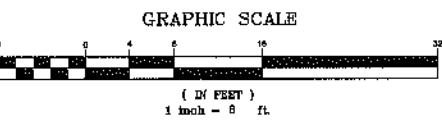
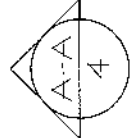
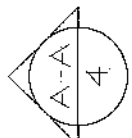
COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BILMONT NH 03120
 PHONE (603) 877-9099 FAX (603) 877-9191

CONSTRUCTION MANAGEMENT
 AND TRAFFIC CONTROL PLAN

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
 DATE: 10-22-12
 SCALE: 1"=20'
 DRAWN BY: BJS
CMTC
 SHEET: 1 OF 1



-  COMMON ELEMENT
-  LIMITED COMMON ELEMENT (LCE)
-  UNIT BOUNDARY



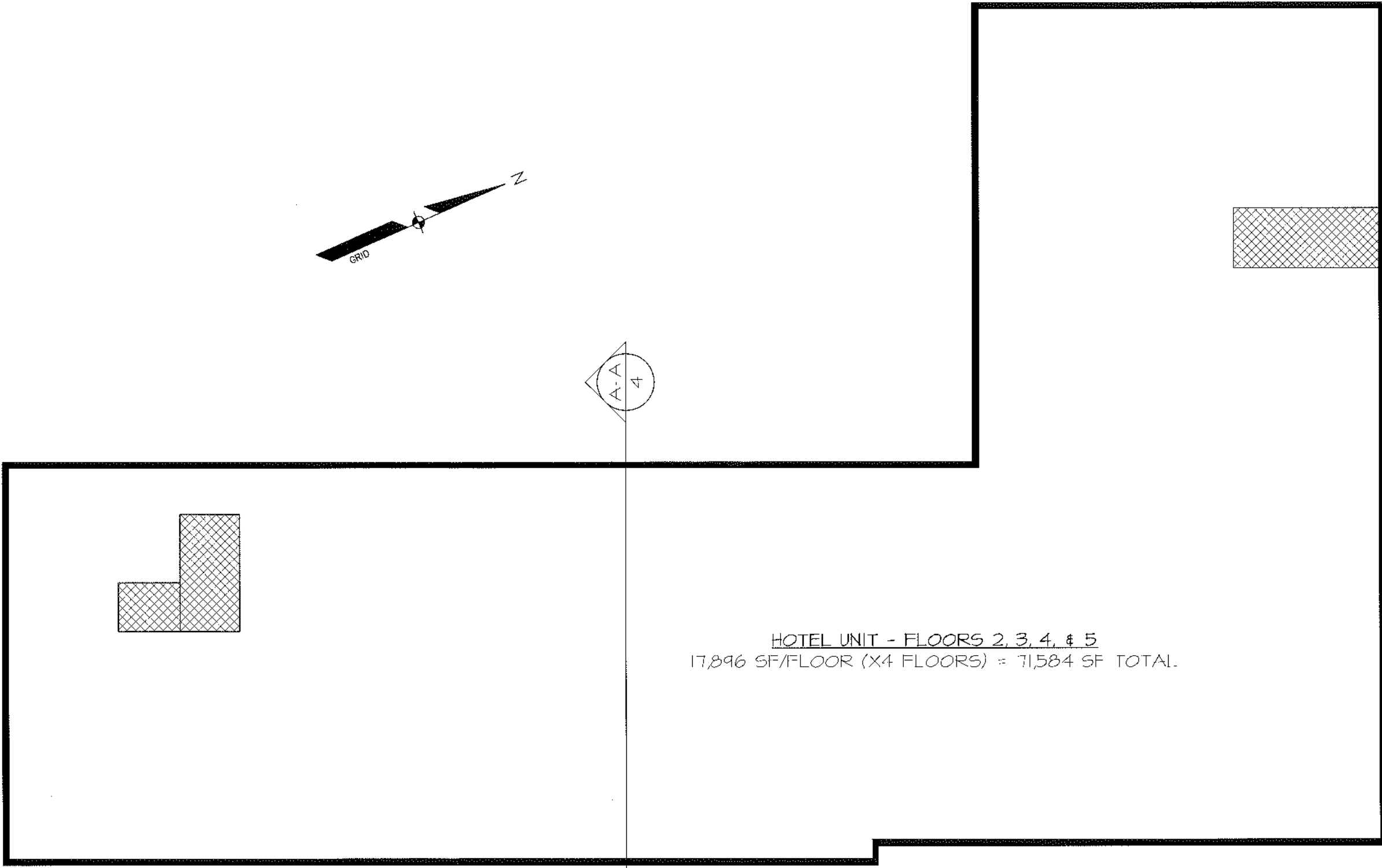
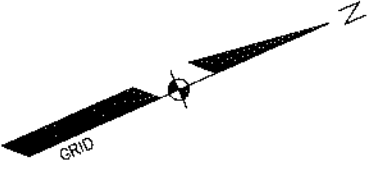
REV.	BY:	DATE:	STATUS:

PREPARED BY: STEPHEN M. LUNG, P.E.
COPECHED
 CONSTRUCTION CORPORATION
 1 COOPER PATH, SUITE 203, BALMORON, NE 03110
 TEL: (603) 257-9946 FAX: (603) 257-9171




CONDOMINIUM PLAN - FLOOR 1
 OF
 VERTICAL BOUNDARIES
 OF
 MIXED USE DEVELOPMENT
 LOCATED ON MAPLE AND CUMBERLAND STREETS, PORTLAND, MAINE
 ARCHITECT: JB BROWN & SONS
 36 DANFORTH STREET, PORTLAND, ME 04101

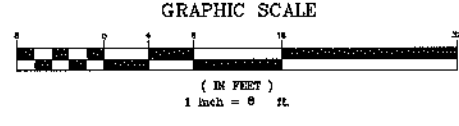
DATE	SCALE
10-22-12	1"=8'

PLAN 16



HOTEL UNIT - FLOORS 2, 3, 4, & 5
17,896 SF/FLOOR (X4 FLOORS) = 71,584 SF TOTAL.

-  COMMON ELEMENT
-  LIMITED COMMON ELEMENT (LCE)
-  UNIT BOUNDARY



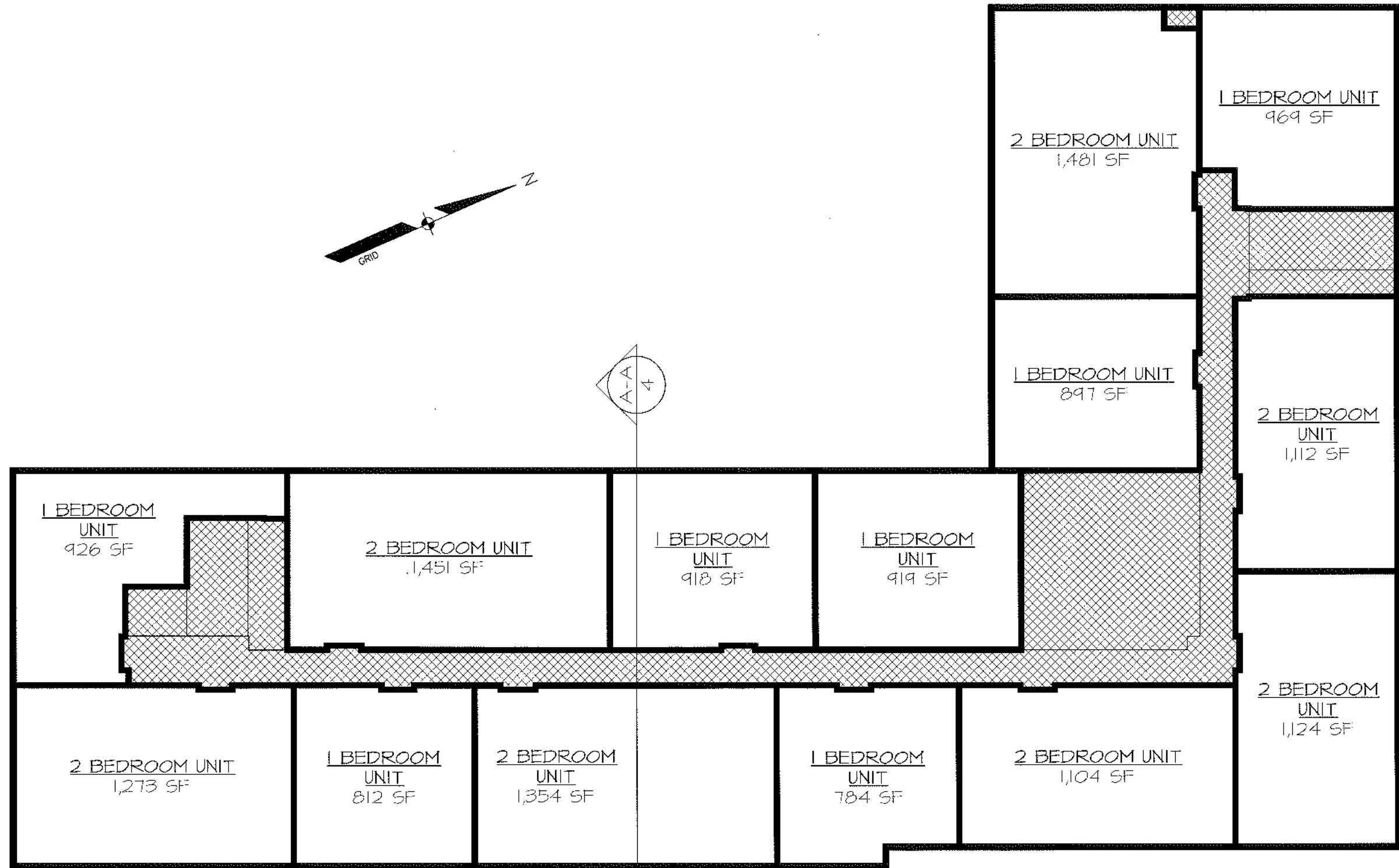
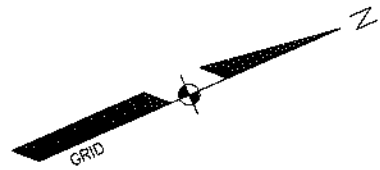
REV.	BY	DATE	STATUS




PREPARED BY: STEPHEN M. LONG, P.E.
COPECHED
CONSTRUCTION CORPORATION
31 CORPORATE DRIVE, BELMONT NH 03324
PHONE (603) 447-3338 FAX (603) 447-4171

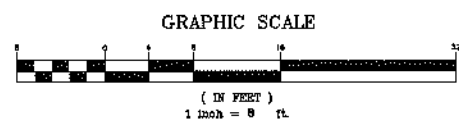
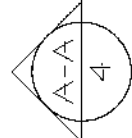
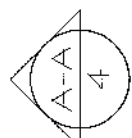
CONDOMINIUM PLAN - FLOORS 2-5
OF
VERTICAL BOUNDARIES
OF
MIXED USE DEVELOPMENT
LOCATED ON MAPLE AND COMMERCIAL STREETS, PORTLAND, MAINE
DECLARANT: JD BROWN & SONS
36 DANFORTH STREET, PORTLAND, ME 04101

DATE	SCALE
10-22-12	1"=8'

SHEET 2 OF 4



-  COMMON ELEMENT
-  LIMITED COMMON ELEMENT (LCE)
-  UNIT BOUNDARY



--

--

--

--

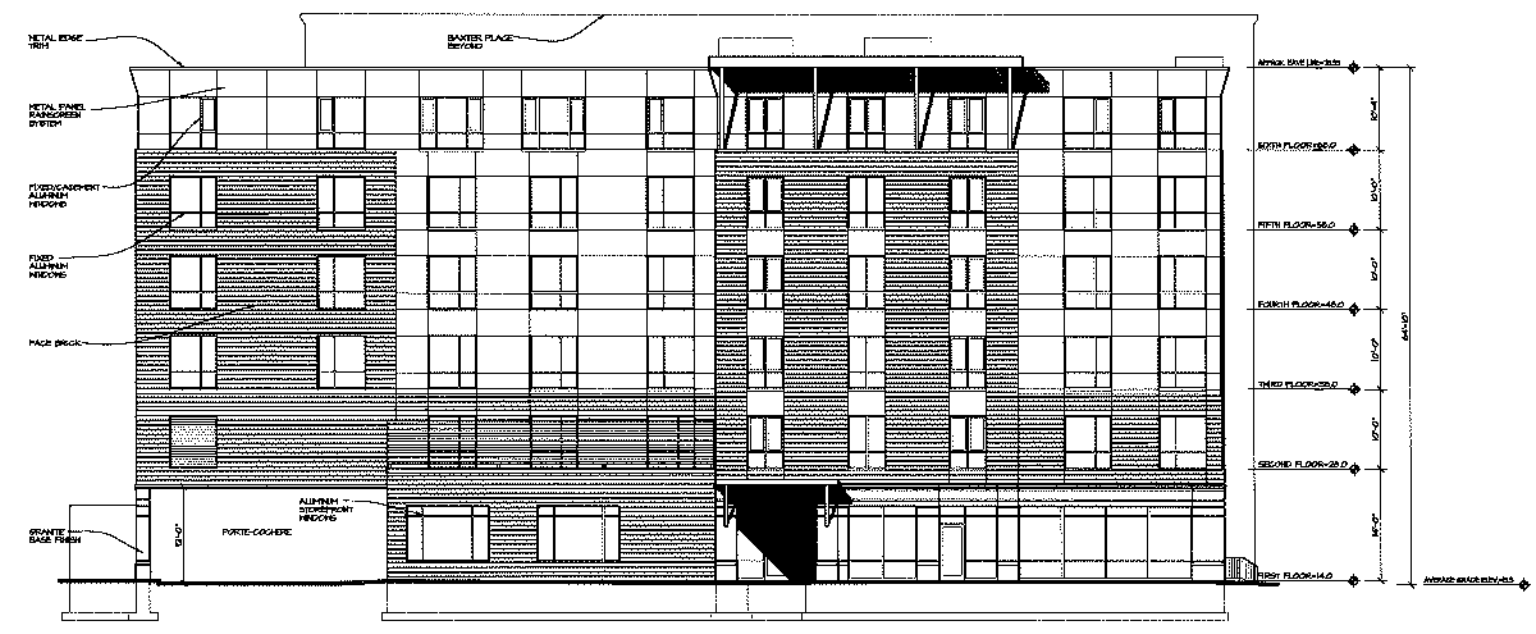
	STATUS:
	DATE:
	BY:
	REV:

PREPARED BY: STEPHEN M. LONG, PE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT NH 03320
 PHONE (603) 227-5900 FAX (603) 227-1514

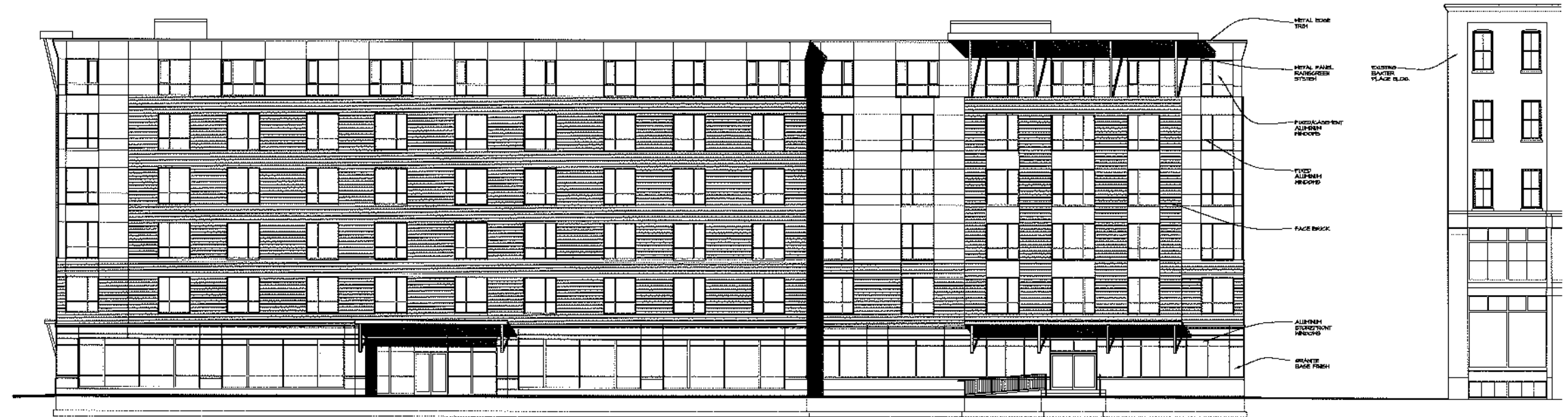
CONDOMINIUM PLAN - FLOOR 6
 OF
 VERTICAL BOUNDARIES
 OF
 MIXED USE DEVELOPMENT
 LOCATED ON MAPLE AND COMMERCIAL STREETS, PORTLAND, MAINE
 DECLARANT: J.B. BROWN & SONS
 30 DANFORTH STREET, PORTLAND, ME 04101

DATE	SCALE
10/22/17	1"=8'

PLAN 19



1 MAPLE STREET ELEVATION
3/32" = 1'-0"



2 COMMERCIAL STREET ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE	
DATE	REVISION DESCRIPTION
10-30-12	REVISED DRAWING LABELS.

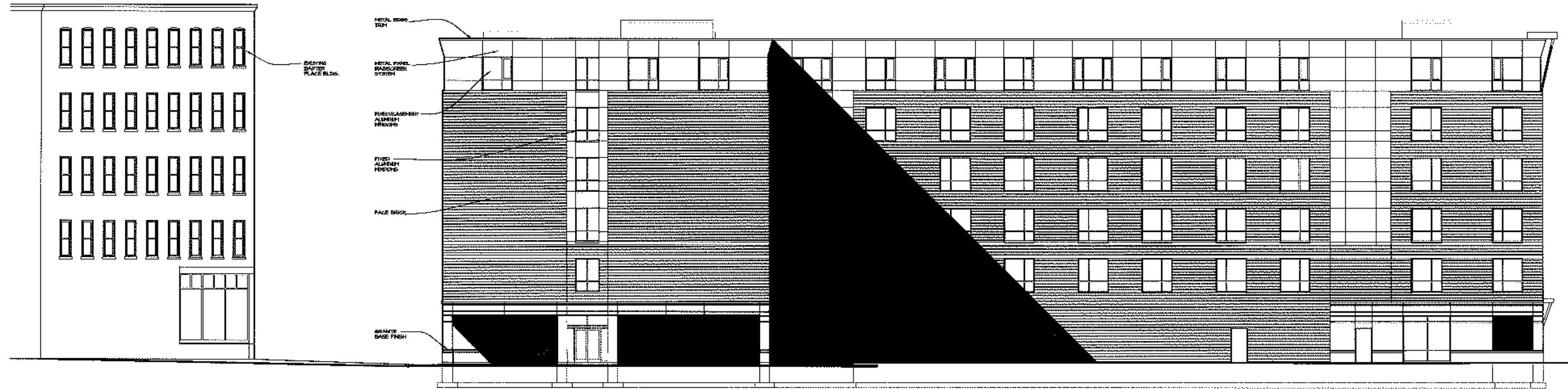
LOPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03320
PHONE (603) 327-3000 FAX (603) 327-9191

EXTERIOR BUILDING ELEVATIONS

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME

DATE: 10-22-12
SCALE: SEE PLAN
DRAWN BY:
C12
SHEET

PLAN 20



1 REAR ELEVATION
3/32" = 1'-0"



2 BAXTER PLACE ELEVATION
3/32" = 1'-0"

DATE	REVISION SCHEDULE	BY
10-30-12	REVISION DESCRIPTION	
	REVISED DRAWING LABELS.	

COPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03220
PHONE (603) 527-8886 FAX (603) 527-8191

EXTERIOR BUILDING ELEVATIONS

PROJECT: COMMERCIAL & MAPLE STREET
MIXED USE DEVELOPMENT
PORTLAND, ME

DATE:	10-22-12
SCALE:	SIDE PLAN
DRAWN BY:	
C13	
SHEET	



1 MAPLE STREET ELEVATION
3/8" = 1'-0"



2 COMMERCIAL STREET ELEVATION
3/8" = 1'-0"

REVISION SCHEDULE	
DATE	REVISION DESCRIPTION

COPECHEE
 CONSTRUCTION CORPORATION
 11 CORPORATE DRIVE, BELMONT, NH 03320
 PHONE (603) 257-9099 FAX (603) 257-9191

EXTERIOR BUILDING ELEVATIONS

PROJECT: COMMERCIAL & MAPLE STREET
 MIXED USE DEVELOPMENT
 PORTLAND, ME

DATE: 10-22-12
 SCALE: SEE PLAN
 DRAWN BY:

C12
 SHEET:



1 REAR ELEVATION
3/32" = 1'-0"



2 BAXTER PLACE ELEVATION
3/32" = 1'-0"

DATE	REVISION	SCHEDULE	BY
10-30-12	REVISED DRAWING LABELS.		

LOPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03320
PHONE (603) 227-9958 FAX (603) 227-9151

EXTERIOR BUILDING ELEVATIONS

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME

DATE: 10-22-12
SCALE: SEE PLAN
DRAWN BY:
C13
SHEET:

PLAN 23



View From East

November 2, 2012

Courtyard by Marriott
PORTLAND, MAINE

OPECHEE
CONSTRUCTION CORPORATION

PLAN 2A

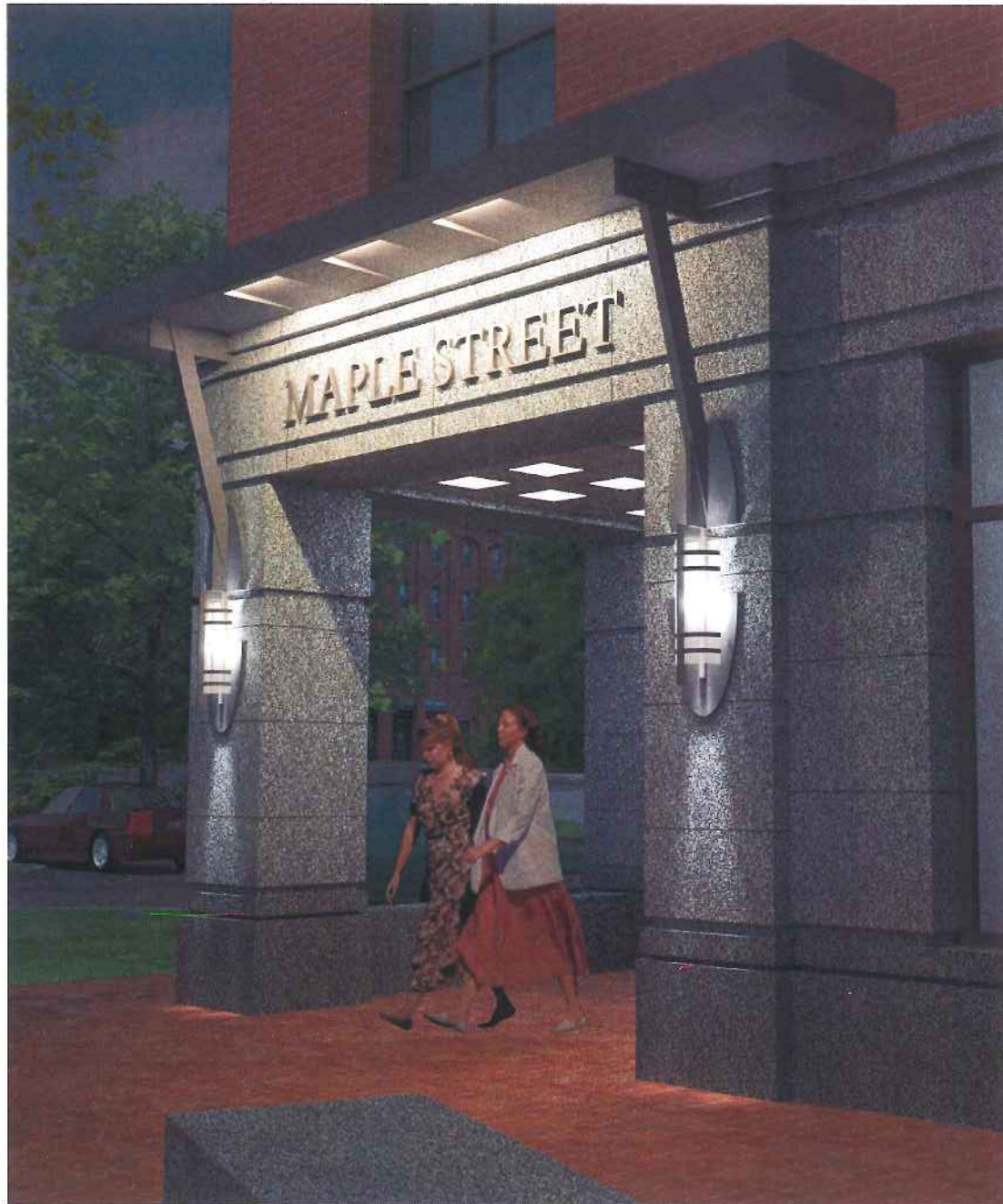


View From South

November 2, 2012

Courtyard by Marriott
PORTLAND, MAINE

OPECHEE
CONSTRUCTION CORPORATION



Residence Entrance

November 2, 2012