

Plan 1  
Hearing

# COMMERCIAL AND MAPLE STREET MIXED USE DEVELOPMENT

321 COMMERCIAL STREET  
PORTLAND, MAINE

PREPARED BY:



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220  
PHONE (603) 527-9090 FAX (603) 527-9191

OCTOBER 22, 2012

OWNER/APPLICANT:

J B BROWN & SONS  
P.O. BOX 207  
PORTLAND, ME 04112

AGENT:

OPECHEE CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE  
BELMONT, NH 03220

SHEET INDEX:

LAST REVISED

C01	BOUNDARY SURVEY.....	01-02-13
C02	EXISTING CONDITIONS.....	01-02-13
C03	DEMOLITION PLAN.....	01-15-13
C04	SITE PLAN.....	01-15-13
C05	UTILITY PLAN.....	01-15-13
C06	GRADING PLAN.....	01-15-13
C07	TEMPORARY EROSION & SEDIMENT CONTROL PLAN.....	01-15-13
C08	LANDSCAPING PLAN.....	01-15-13
C09	PHOTOMETRICS PLAN.....	01-15-13
C10	CONSTRUCTION DETAILS.....	01-15-13
C11	CONSTRUCTION DETAILS.....	01-15-13
C12	SANITARY SEWER & STORM DRAIN DETAILS.....	01-15-13
C13	EXTERIOR BUILDING ELEVATIONS.....	01-02-13
C14	EXTERIOR BUILDING ELEVATIONS.....	01-02-13
CMTC	CONST. MGMT. AND TRAFFIC CONTROL.....	01-02-13
S01	SUBDIVISION PLAN.....	01-02-13
CP01	CONDOMINIUM PLAN-FLOOR 1 VERTICAL BOUNDARIES.....	01-02-13
CP02	CONDOMINIUM PLAN-FLOOR 2-5 VERTICAL BOUNDARIES.....	01-02-13
CP03	CONDOMINIUM PLAN-FLOOR 6 VERTICAL BOUNDARIES.....	01-02-13
CP04	CONDOMINIUM PLAN-HORIZONTAL BOUNDARIES.....	01-02-13

1/15/13

**GENERAL NOTES**

1. RECORD OWNER:  
J. B. BROWN & SONS  
P.O. BOX 207  
PORTLAND, MAINE 04112
2. REFERENCE DEEDS:  
A. JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP G. BROWN TO J. B. BROWN & SONS DATED MAY 16, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 710 PAGE 43.  
B. POULTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN COCD BOOK 4488 PAGE 56.  
C. POULTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN COCD BOOK 4488 PAGE 50.
3. REFERENCE PLANS:  
A. "ALIGNMENT & GRADING - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE J. B. BROWN & SONS" DATED APRIL 29, 1998 AND SURVEYED BY HERBERT P. GRAY.  
B. "LAND OF BAXTER PLACE ASSOCIATES AND DISPOSITION OF FOUNDRY LANE" DATED MAY 16, 1995, SURVEYED BY HERBERT P. GRAY AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 155 PAGE 127.  
C. "PLAN OF LAND IN PORTLAND, MAINE FOR J. B. BROWN & SONS" DATED MARCH 27, 1978, SURVEYED BY OWEN & HASKELL, INC. AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 110 PAGE 98.  
D. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP FOR LAND, CUMBERLAND COUNTY FEDERAL AID PROJECT NO. M-0585(4) DATED JUNE, 1991 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 193 PAGE 311.  
E. "CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS COMMERCIAL STREET CROSS TO HIGH" DATED APRIL 27, 1943, SHEET 624/3.
4. PARCEL IS DEPICTED AS CITY OF PORTLAND PLAN 40, BLOCK E PARCEL 7.
5. BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE STATE COORDINATE SYSTEM, WEST ZONE.
6. THIS PLAN IS BASED ON A TOTAL STATION SURVEY COMPLETED ON SEPTEMBER 18, 2012 WITH A RAW PRECISION OF 1:50,300.
7. BASIS OF BEARINGS WAS DETERMINED WITH STATIC GPS OBSERVATIONS. HORIZONTAL DATUM IS STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD 83.
8. VERTICAL DATUM: CITY OF PORTLAND VERTICAL DATUM OF 1929. NEAREST CITY BENCHMARK IS A 1/2-INCH DRILL HOLE LOCATED ON THE STEPS OF U.S. CUSTOM HOUSE, COMMERCIAL STREET, WITH AN ELEVATION OF 14.072. ELEVATIONS OF THE TEMPORARY BENCHMARKS SHOWN HEREON WERE VERIFIED AGAINST THIS CITY BENCH MARK.
9. PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRN COMMUNITY PANEL NUMBER 23051 0013 B DATED JULY 17, 1986.



**LEGEND**

- — IRON ROD OR PIPE FOUND, DIMENSIONS LABELED ON PLAN
- △ — SPIKE FOUND
- — CORNER, NOTHING FOUND OR SET
- — 3/8-INCH ROD WITH IDENTIFICATION CAP (TO BE SET)
- — GRID COORDINATE, MAINE WEST ZONE, NAD 83, 115 SURVEY FEET

**CERTIFICATION**

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY CONFORMS WITH THE MAINE BOARD OF LAND SURVEYORS RULES, CHAPTER 98: STANDARDS OF PRACTICE.

*Andrew J. Nadeau* 1-2-13  
ANDREW J. NADEAU, PLS 2326

**horizons**  
Engineering

34 School Street  
Littleton, NH 03561  
Phone 603.444.4111 - Fax 603.444.1343

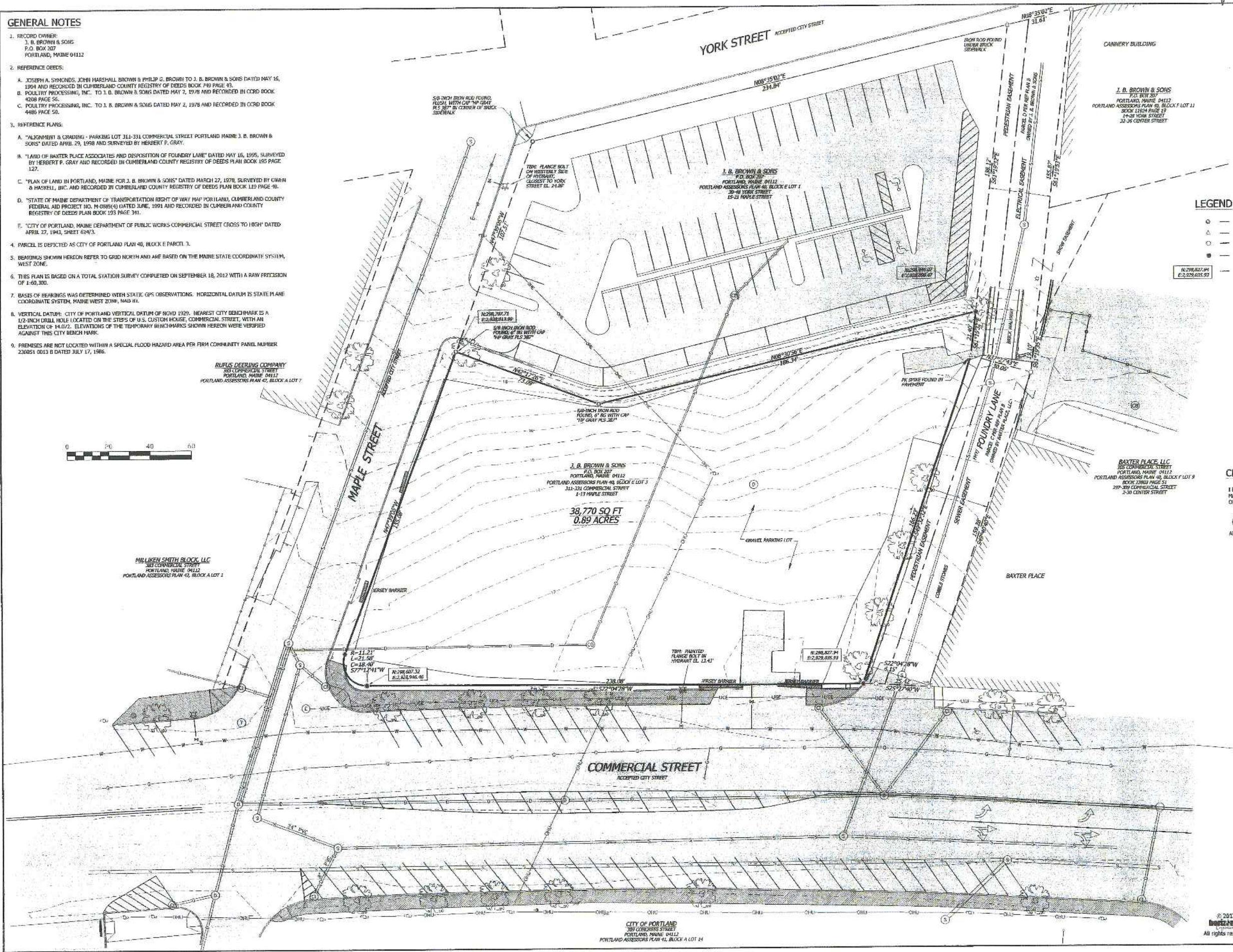
STANDARD BOUNDARY SURVEY OF LAND OF  
**J. B. BROWN & SONS**  
P.O. BOX 207  
PORTLAND, MAINE 04112  
LOCATED ON  
COMMERCIAL STREET &  
MAPLE STREET - PORTLAND, MAINE  
MADE FOR  
**OPECHEE CONSTRUCTION CORPORATION**  
11 CORPORATE DRIVE, BELMONT, NH 03220

NO.	DATE	REVISION DESCRIPTION	ENG.	DWG.
1.	1-2-13	REVISED PER CITY COMMENTS	---	AJM

DATE: 10-22-2012  
SURV'D BY: AJM/JDN  
CHECK'D BY: AJN

PROJECT #:  
12204  
DRAWN BY:  
AJN  
ARCHIVE #:  
H-9039

SHEET 1

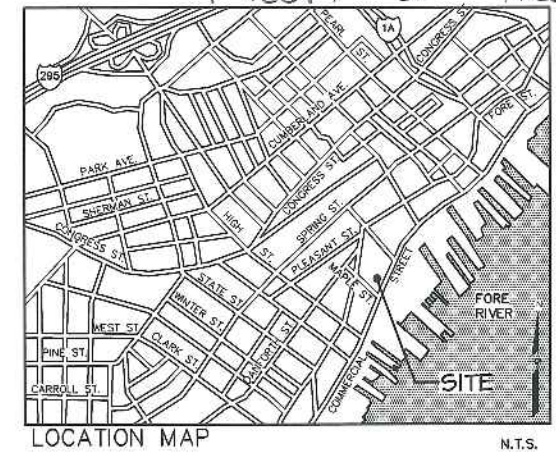
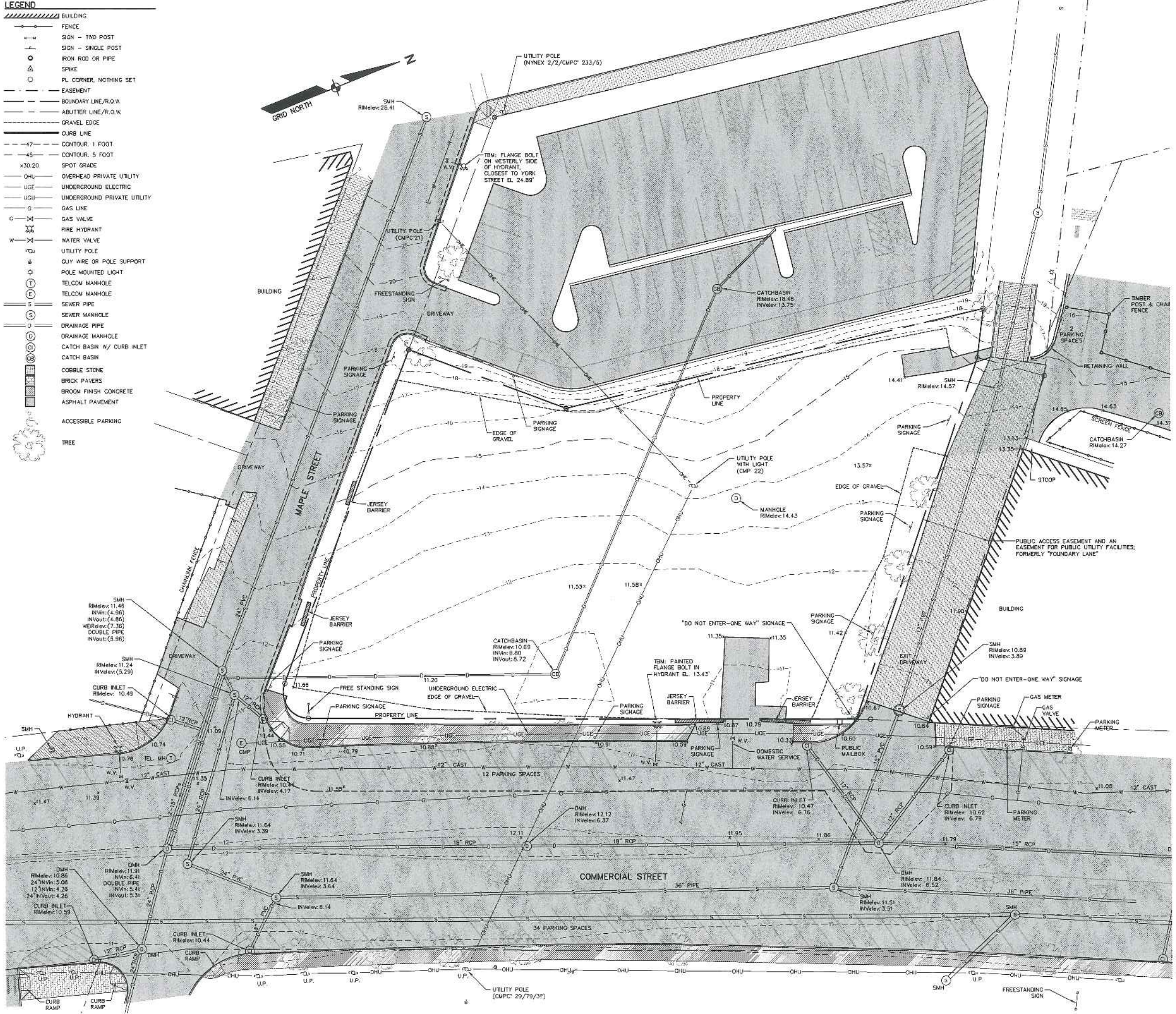


CITY OF PORTLAND  
300 CONGRESS STREET  
PORTLAND, MAINE 04112  
PORTLAND ASSESSORS PLAN 41, BLOCK A LOT 14

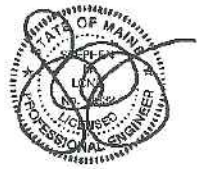
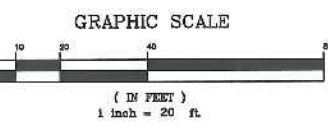
© 2012  
horizons  
All rights reserved

**LEGEND**

- BUILDING
- FENCE
- SIGN - TWO POST
- SIGN - SINGLE POST
- IRON ROD OR PIPE
- SPIKE
- PL. CORNER, NOTHING SET
- EASEMENT
- BOUNDARY LINE/R.O.W
- ABUTTER LINE/R.O.W
- GRAVEL EDGE
- CURB LINE
- CONTOUR, 1 FOOT
- CONTOUR, 5 FOOT
- x30.20 SPOT GRADE
- OVERHEAD PRIVATE UTILITY
- UNDERGROUND ELECTRIC
- UNDERGROUND PRIVATE UTILITY
- GAS LINE
- GAS VALVE
- FIRE HYDRANT
- WATER VALVE
- UTILITY POLE
- CUY WIRE OR POLE SUPPORT
- POLE MOUNTED LIGHT
- TELCOM MANHOLE
- TELCOM MANHOLE
- SEWER PIPE
- SEWER MANHOLE
- DRAINAGE PIPE
- DRAINAGE MANHOLE
- CATCH BASIN W/ CURB INLET
- CATCH BASIN
- COBBLE STONE
- BRICK PAVERS
- BROOM FINISH CONCRETE
- ASPHALT PAVEMENT
- ACCESSIBLE PARKING
- TREE



- GENERAL NOTES**
1. THE RECORD OWNER OF THE SUBJECT PROPERTY IS THE APPLICANT, J.B. BROWN & SONS. DEEDS GRANTING THE SUBJECT PROPERTY TO THE APPLICANT ARE THE FOLLOWING: A DEED FROM JOSEPH A. SYMONDS, JOHN MARSHALL BROWN AND PHILIP C. BROWN, DATED MAY 15, 1904 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 745, PAGE 43; A DEED FROM POLITYRY PROCESSING, INC., DATED MAY 2, 1978 AND RECORDED IN SAID REGISTRY IN BOOK 4208, PAGE 56; AND A DEED FROM POLITYRY PROCESSING, INC., DATED AUGUST 29, 1979 AND RECORDED IN SAID REGISTRY IN BOOK 4486, PAGE 50.
  2. THE PROPERTY IS SHOWN AS LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
  3. TOTAL AREA OF PARCEL IS 38,770 SQ.FT. OR 0.89 ACRES
  4. LAND BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON-THE-GROUND SURVEY TITLED "STANDARD BOUNDARY SURVEY OF LAND OF J. B. BROWN & SONS" BY HORIZONS ENGINEERING, INC. DATED OCTOBER 22, 2012.
  5. THE PROPERTY IS LOCATED WITHIN THE CITY OF PORTLAND 65th URBAN COMMERCIAL MIXED USE DISTRICT.
  6. REFERENCE DEEDS:
    - A. JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP C. BROWN TO J. B. BROWN & SONS DATED MAY 15, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 745 PAGE 43.
    - B. POLITYRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CCRD BOOK 4208 PAGE 56.
    - C. POLITYRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CCRD BOOK 4486 PAGE 50.
  7. REFERENCE PLANS:
    - A. "ALIGNMENT & GRADING - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE - J. B. BROWN & SONS" DATED APRIL 29, 1998 AND SURVEYED BY HERBERT P. GRAY.
    - B. "LAND OF BAXTER PLACE ASSOCIATES AND DISPOSITION OF FOUNDRY LANE" DATED MAY 16, 1955, SURVEYED BY HERBERT P. GRAY AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 195 PAGE 127.
    - C. "PLAN OF LAND IN PORTLAND, MAINE FOR J. B. BROWN & SONS" DATED MARCH 27, 1978, SURVEYED BY OWEN & HASKELL, INC. AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 119 PAGE 40.
    - D. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP PORTLAND, CUMBERLAND COUNTY FEDERAL AID PROJECT NO. M-0685(4) DATED JUNE, 1991 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 193 PAGE 341.
    - E. "CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS COMMERCIAL STREET CROSS TO HIGH" DATED APRIL 27, 1943, SHEET 624/3.
  8. VERTICAL DATUM: CITY OF PORTLAND VERTICAL DATUM OF NOV. 1928. NEAREST CITY BENCHMARK IS A 1/2 INCH DRILL HOLE LOCATED ON THE STEPS OF U.S. CUSTOM HOUSE COMMERCIAL STREET, WITH AN ELEVATION OF 14.072. ELEVATIONS OF THE TEMPORARY BENCHMARKS SHOWN HEREON WERE VERIFIED AGAINST THIS CITY BENCHMARK.
  9. PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM-COMMUNITY PANEL NUMBER 230010013-B DATED JULY 17, 1986.

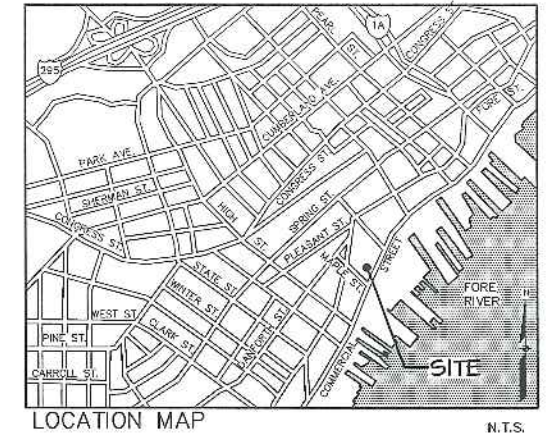


<p>REVISION SCHEDULE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> <tr> <td>01-02-18</td> <td>BJS</td> <td>REVISED BENCHMARKS &amp; NOTES PER CITY STAFF COMMENTS</td> </tr> </table>	DATE	BY	REVISIONS	01-02-18	BJS	REVISED BENCHMARKS & NOTES PER CITY STAFF COMMENTS	<p><b>COPECHEE</b> CONSTRUCTION CORPORATION 11 CORPORATE DRIVE, BELMONT NH 03229 PHONE (603) 227-3195 FAX (603) 227-9131</p> <p><b>EXISTING CONDITIONS</b></p> <p>PROJECT: COMMERCIAL &amp; MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME</p> <p>DATE: 10-22-12 SCALE: 1"=20' DRAWN BY: BJS</p> <p><b>C02</b> SHEET: 2 OF 14</p>
DATE	BY	REVISIONS					
01-02-18	BJS	REVISED BENCHMARKS & NOTES PER CITY STAFF COMMENTS					

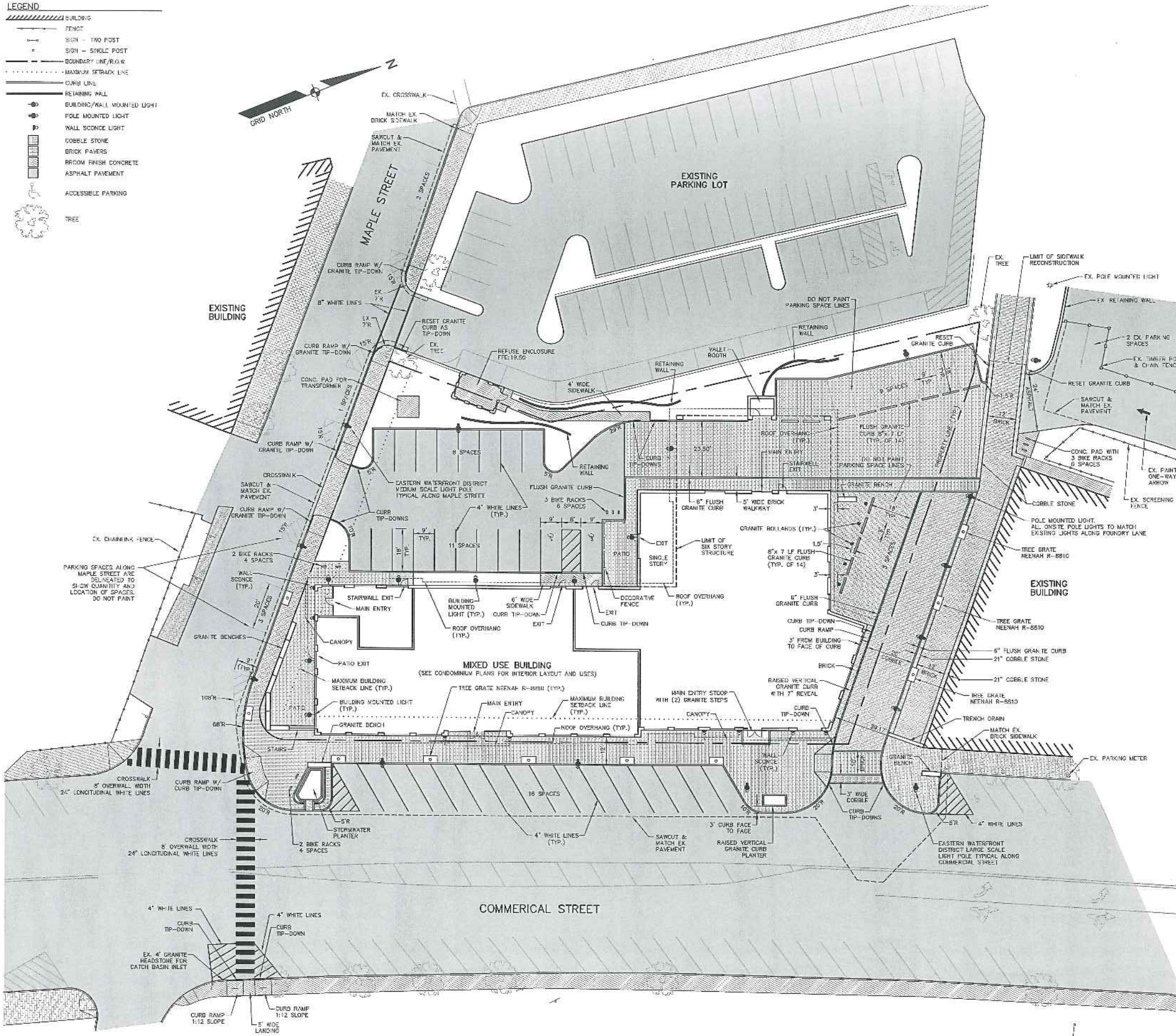


**LEGEND**

- ▨ BUILDING
- FENCE
- SIGN - TWO POST
- SIGN - SINGLE POST
- BOUNDARY LINE/R.O.W
- MAXIMUM SETBACK LINE
- CURB LINE
- RETAINING WALL
- BUILDING/WALL MOUNTED LIGHT
- POLE MOUNTED LIGHT
- WALL SCONCE LIGHT
- COBBLE STONE
- BRICK PAVERS
- BRDM FINISH CONCRETE
- ASPHALT PAVEMENT
- ACCESSIBLE PARKING
- TREE



DATE	REVISION	SCHEDULE
01-02-15	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	B.15
01-05-15	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	B.15



**GENERAL NOTES:**

1. SNOW MAY BE STORED ONLY ON THE GRASSED/LANDSCAPED AREAS ON SITE AND NO PARKING SPACES SHALL BE LOST TO SNOW STORAGE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR.
3. ALL WORK WITHIN THE STREET FRONT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
4. ALL PROPOSED SIDEWALK ADA RAMP AND CROSSWALK LAYOUT AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES.
5. ALL PROPOSED CURBS SHALL BE GRANITE. ALL GRANITE CURBS TO BE INSTALLED FLUSH AT GRADE AND THE RAISED CURBS AROUND THE PLANTERS SHALL BE 6 INCHES WIDE UNLESS OTHERWISE SPECIFIED. ALL OTHER GRANITE CURBS SHALL BE 5 INCHES.
6. DELIVERY TRUCKS WILL UTILIZE THE COMMERCIAL STREET MEDIAN WHEN MAKING DELIVERIES TO THE PROPOSED BUILDING. COORDINATION OF DELIVERIES SHALL BE SUCH THAT THE PROPOSED CROSSWALK IS NOT BLOCKED BY TRUCKS.

**ZONING SUMMARY:**

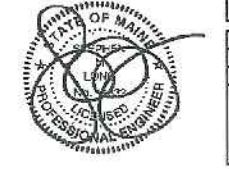
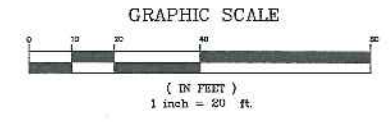
1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
3. BUILDING FOOTPRINT: 19,501 SQ.FT.
4. BUILDING FLOOR SPACE:
  - RESTAURANT: 7,185 SQ.FT.
  - HOTEL: 88,508 SQ.FT.
  - 14 RESIDENTIAL UNITS: 16,784 SQ.FT. PLUS 784 SQ.FT. LOBBY
  - TOTAL: 113,371 SQ.FT.
5. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN OSB URBAN COMMERCIAL MIXED USE DISTRICT.
6. SPACE AND BULK CRITERIA FOR THE OSB URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
  - (a) MINIMUM LOT SIZE: NONE
  - (b) MINIMUM STREET FRONTAGE: NONE
  - (c) YARD DIMENSIONS:
    1. MINIMUM YARDS IN THE R-5 AND R-5b ZONES:
      - FRONT SETBACK: NONE
      - SIDE SETBACK: NONE
      - REAR SETBACK: NONE
    2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET; PROVIDED: 2.01' COMMERCIAL ST., 3.59' MAPLE ST.
  - (d) MAXIMUM STREET SETBACK: NOT APPLICABLE
  - (e) MAXIMUM LOT COVERAGE: 100 PERCENT; PROVIDED: 92 PERCENT
  - (f) MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS PER ACRE; 53 ALLOWED; PROVIDED: 14 UNITS
  - (g) MAXIMUM BUILDING HEIGHT: 65 FEET; PROVIDED: 64'-10"
  - (h) MINIMUM BUILDING HEIGHT: NOT APPLICABLE

**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORCORAN DRIVE, BELMONT NH 03218  
 PHONE (603) 271-5088 FAX (603) 271-5181

**SITE PLAN**

PROJECT:  
**COMMERCIAL & MAPLE STREET  
 MIXED USE DEVELOPMENT**  
 PORTLAND, ME

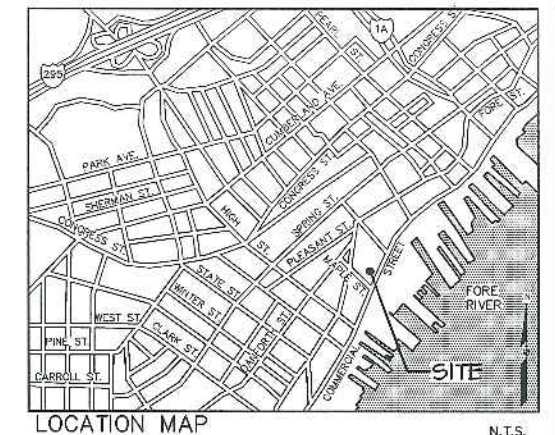
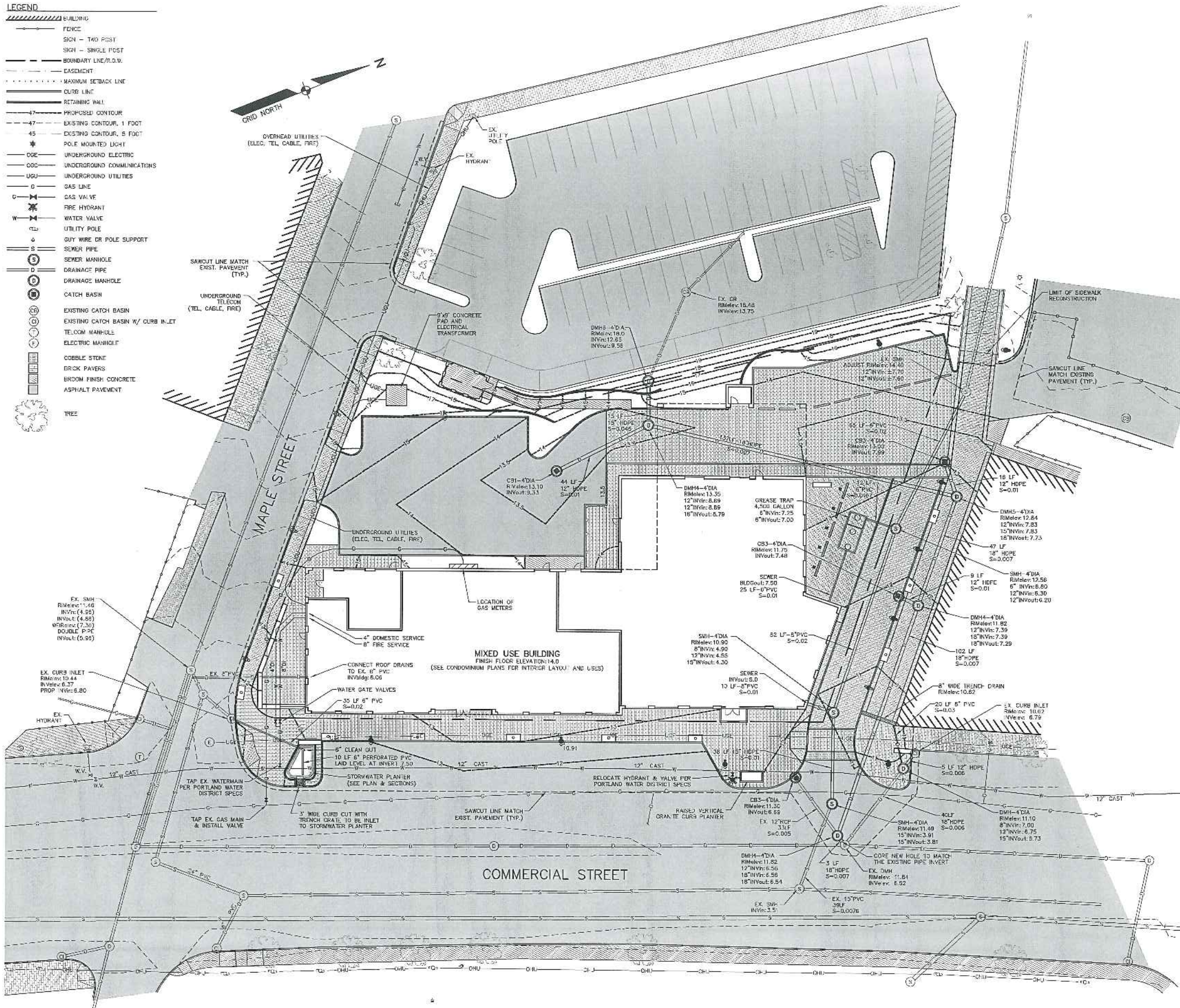
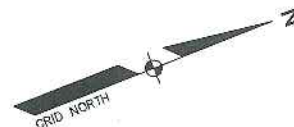
DATE: 10-22-12  
 SCALE: 1"=20'  
 DRAWN BY: B.15  
**C04**  
 SHEET: 4 OF 14



1-16-13

Plan to Hearing

- LEGEND**
- ▨ BUILDING
  - FENCE
  - SIGN - TWO POST
  - SIGN - SINGLE POST
  - BOUNDARY LINE/R.O.W.
  - EASEMENT
  - MAXIMUM SETBACK LINE
  - CURB LINE
  - RETAINING WALL
  - PROPOSED CONTOUR
  - EXISTING CONTOUR, 1 FOOT
  - EXISTING CONTOUR, 5 FOOT
  - ★ POLE MOUNTED LIGHT
  - UGE UNDERGROUND ELECTRIC
  - UGC UNDERGROUND COMMUNICATIONS
  - UGU UNDERGROUND UTILITIES
  - GAS LINE
  - GAS VALVE
  - FIRE HYDRANT
  - WATER VALVE
  - UTILITY POLE
  - GUY WIRE OR POLE SUPPORT
  - SEWER PIPE
  - SEWER MANHOLE
  - DRAINAGE PIPE
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - EXISTING CATCH BASIN
  - EXISTING CATCH BASIN W/ CURB INLET
  - TEL.COM MANHOLE
  - ELECTRIC MANHOLE
  - COBBLE STONE
  - BRICK PAVERS
  - BROOM FINISH CONCRETE
  - ASPHALT PAVEMENT
  - TREE



**GENERAL NOTES:**

- ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
- GREASE TRAP CALCULATIONS:  
THE STATE OF MAINE SUBSURFACE WASTEWATER DISPOSAL RULES ARE LIMITED TO CALCULATE THE AVERAGE DAILY PROCESS FLOW FROM THE FACILITY WITH NO SANITARY OR OTHER EXTRANEOUS WASTES FLOWING THROUGH THE TRAP.  
**PROCESS FLOW CALCULATION:**  
EQUATION BE:  $Q = (M)(C)(S)(LF)$ ; WHERE  
Q IS THE LIQUID CAPACITY OF EXTERNAL GREASE INTERCEPTOR IN GALLONS  
M IS THE TOTAL NUMBER OF MEALS SERVED PER DAY  
C IS THE GALLONS OF WASTEWATER PER MEAL, TYP. 2.0 GALLONS  
S IS THE STORAGE CAPACITY, TYP. 2  
LF IS A LOADING FACTOR DEPENDING ON TYPE OF FACILITIES PRESENT  
LF IS 1.0 WITH DISH WASHING  
LF IS 0.3 WITHOUT DISH WASHING.  
MEALS PER DAY:  
HOTEL: 50 SEATS AT 2 MEALS PER DAY = 100 MEALS  
RESTAURANT LUNGE: 78 SEATS AT 2 MEALS PER DAY = 156 MEALS  
RESTAURANT DINING: 108 SEATS AT 3 MEALS PER DAY = 474 MEALS  
TOTAL MEALS PER DAY = 730 MEALS  
PROCESS FLOW  $Q = (730)(2.0)(2)(1.0) = 2,920$  GALLONS  
**GREASE TRAP SIZING:**  
CHAMBER "A" (3 OF TANK VOLUME) MUST BE EQUIVALENT TO THE AVERAGE DAILY PROCESS FLOW  
TANK VOLUME = 4,500 GALLONS  
CHAMBER A = 2,250 GALLONS  
CHAMBER B = 1,470 GALLONS

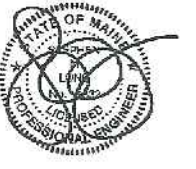
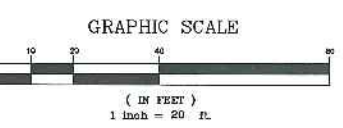
DATE	REVISION	DESCRIPTION
01-02-15	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	
01-15-15	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	

**COPECHEE**  
CONSTRUCTION CORPORATION  
11 CORNHILL DRIVE, BELMONT, NH 03319  
PHONE (603) 227-8999 FAX (603) 227-0331

**UTILITY PLAN**

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
PORTLAND, ME

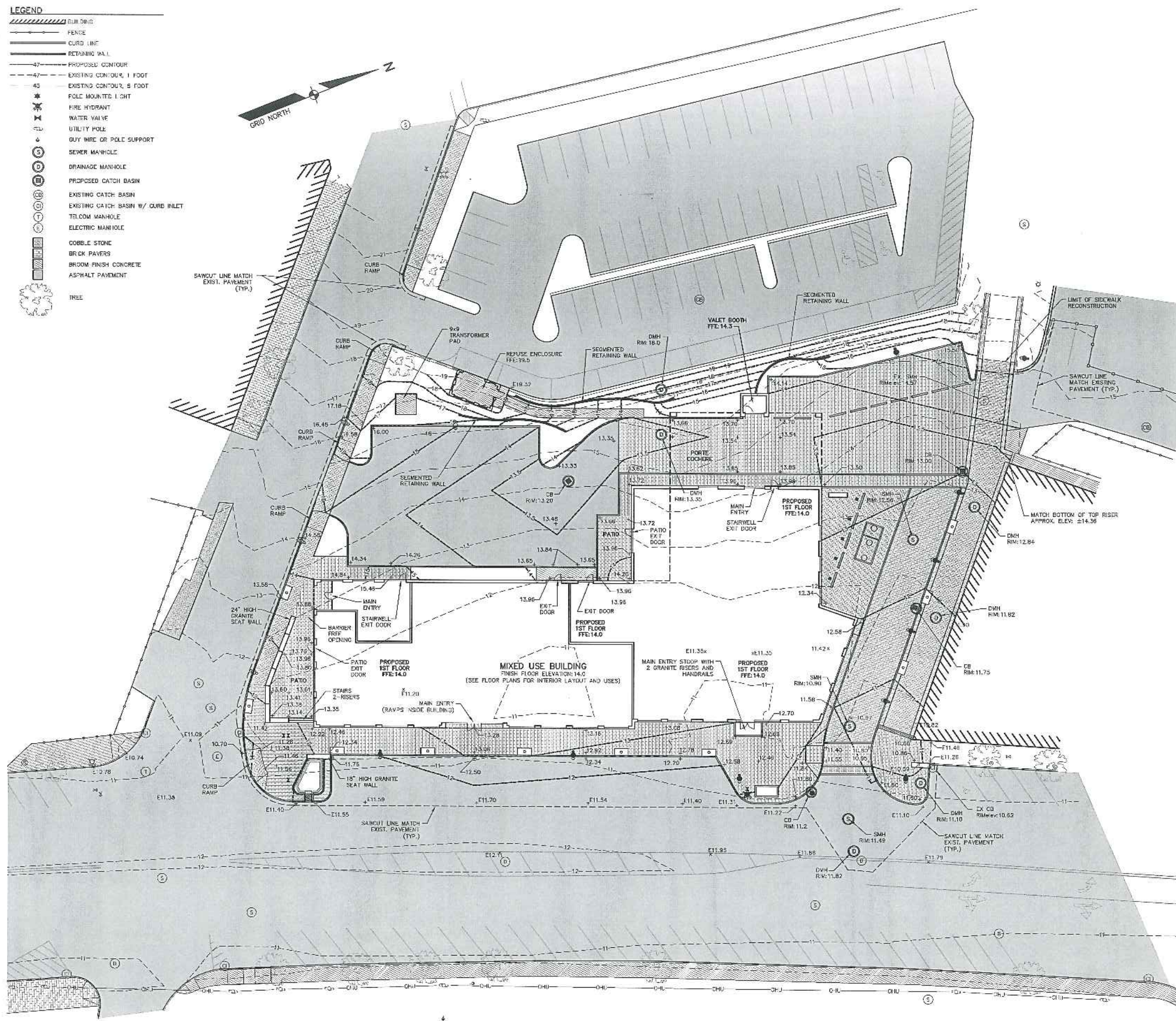
DATE: 0-22-12  
SCALE: 1"=20'  
DRAWN BY: BJS  
**C05**  
SHEET: 5 OF 14



1.15.13

**LEGEND**

	CURB RAMP
	FENCE
	CURB LINE
	RETAINING WALL
	PROPOSED CONTOUR
	EXISTING CONTOUR, 1 FOOT
	EXISTING CONTOUR, 5 FOOT
	POLE MOUNTED LIGHT
	FIRE HYDRANT
	WATER VALVE
	UTILITY POLE
	GUY WIRE OR POLE SUPPORT
	SEWER MANHOLE
	DRAINAGE MANHOLE
	PROPOSED CATCH BASIN
	EXISTING CATCH BASIN
	EXISTING CATCH BASIN W/ CURB INLET
	TELECOM MANHOLE
	ELECTRIC MANHOLE
	COBBLE STONE
	BRICK PAVERS
	BROOM FINISH CONCRETE
	ASPHALT PAVEMENT
	TREE



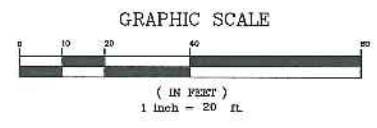
DATE	REVISION SCHEDULE	REASON
01-02-18	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	
01-15-18	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	

**COPECHED**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03316  
 PHONE (603) 221-9996 FAX (603) 221-9101

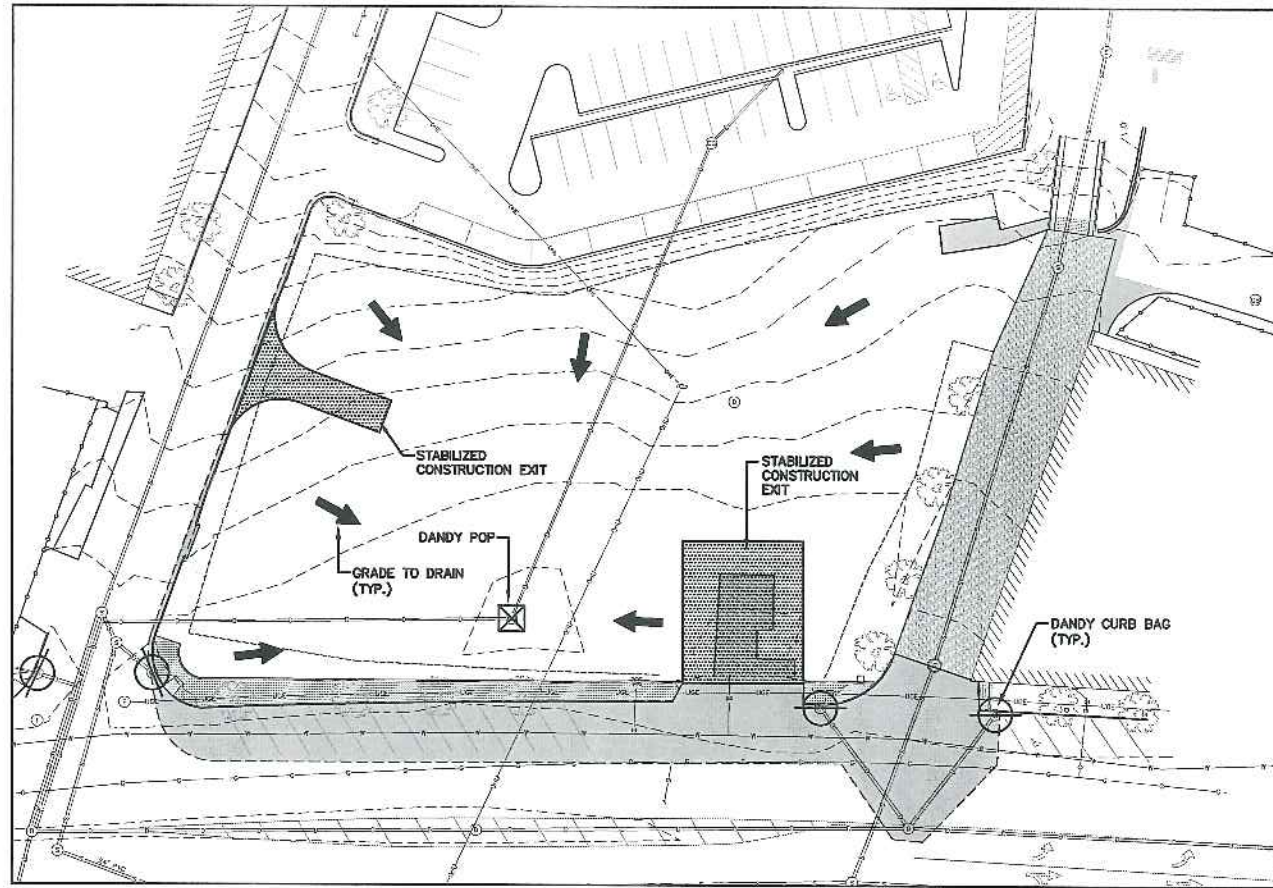
**GRADING PLAN**

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
 PORTLAND, ME

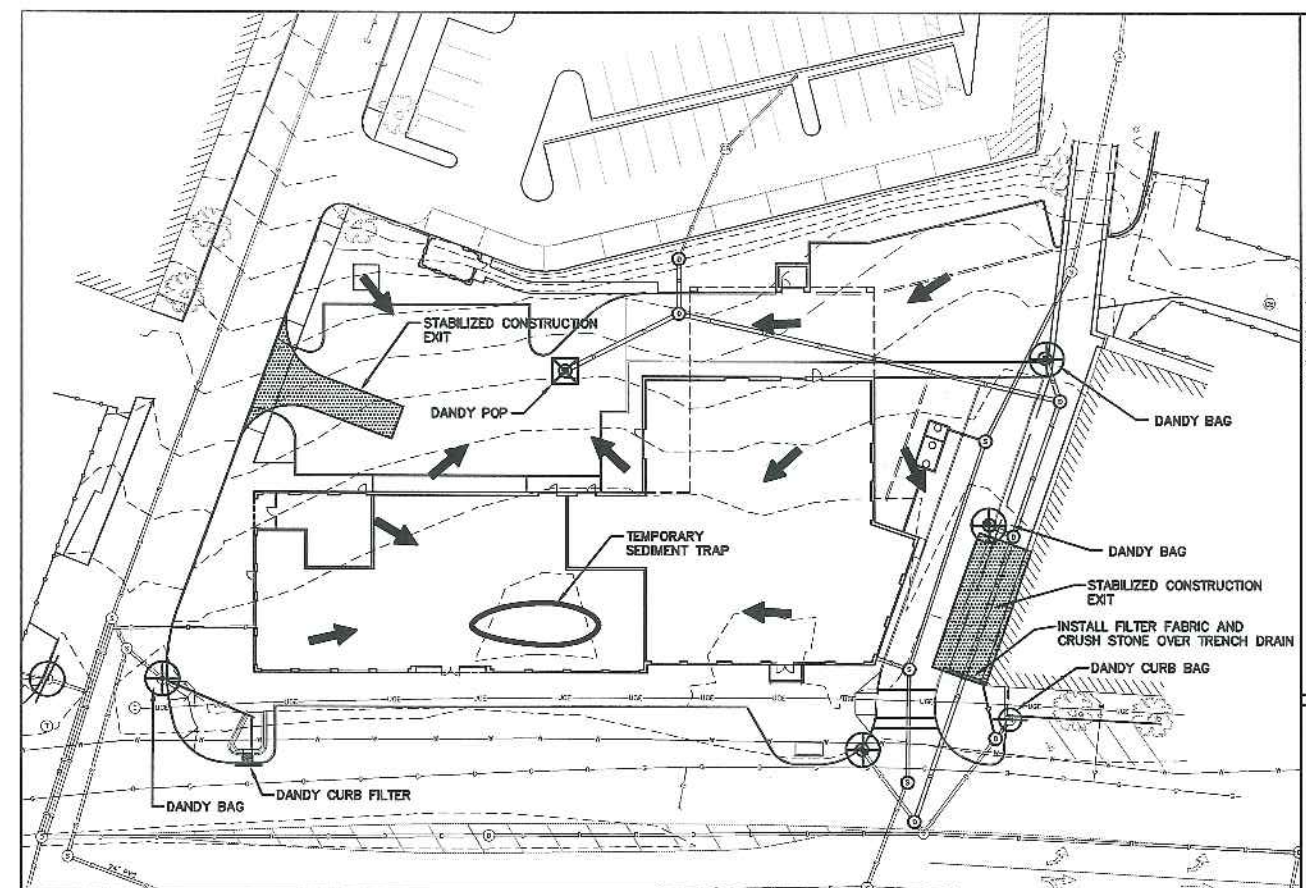
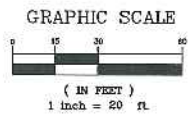
DATE:	10-22-12
SCALE:	1"=20'
DRAWN BY:	BJS
<b>C06</b>	
SHEET:	6 OF 11



1.15.13



PHASE I SEDIMENT CONTROL PLAN  
PRIOR TO AND DURING FOUNDATION CONSTRUCTION  
SCALE: 1"=30'



PHASE II SEDIMENT CONTROL PLAN  
DURING & AFTER FOUNDATION CONSTRUCTION  
SCALE: 1"=30'

LEGEND

- STABILIZED CONSTRUCTION EXIT
- GRADE TO DRAIN
- DANDY BAG
- DANDY CURB BAG
- DANDY POP
- DANDY CURB FILTER

EROSION AND SEDIMENT CONTROL NOTES:

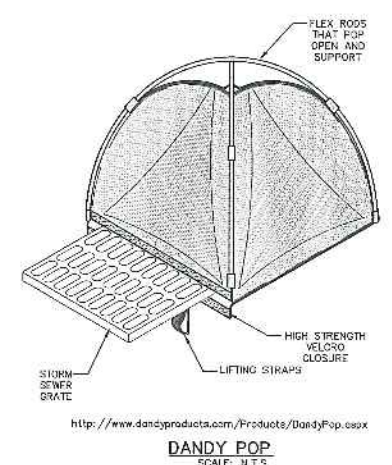
- THE EROSION PLAN DEPICTS THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES THAT THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING DURING DEMOLITION/CONSTRUCTION IN SUCH A MANNER THAT:
  - SOIL EROSION IS KEPT TO A MINIMUM.
  - NO SEDIMENT LEAVES THE CONSTRUCTION SITE PROPERTY.
  - ALL POSSIBLE MEASURES ARE EMPLOYED TO PREVENT SEDIMENT FROM ENTERING DRAINAGE COURSES EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.
- SOIL DISTURBING ACTIVITIES WILL INCLUDE MINIMAL CLEARING & GRUBBING, DEMOLITION, EXCAVATION FOR SEWER, STORM DRAINAGE, UNDERGROUND UTILITIES, BUILDING FOUNDATIONS, AND RETAINING WALLS.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OR MORE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - A MINIMUM OF 3" ON NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED, OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER ANY STORM EVENT WITH GREATER THAN 0.5 INCHES OF RAINFALL.
- ALL NECESSARY REPAIRS TO EROSION CONTROL MEASURES MUST BE MADE AS SOON AS POSSIBLE.
- ALL AREAS SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION PREVENTION OR STABILIZATION, BUT THAT SHOW SIGNS OF EROSION. NOTIFY ENGINEER OF ANY SIGNIFICANT EROSION PROBLEMS. INSTALL EROSION CONTROL BLANKETS WITHIN 7 DAYS IF ANY AREA WILL BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS. SDC ANY AREA AS SOON AS POSSIBLE WHICH HAS BEEN LOANED.
- WINTER NOTES:
  - ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 2:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
  - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
  - AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION AND SEDIMENT CONTROL NOTES (CONT.):

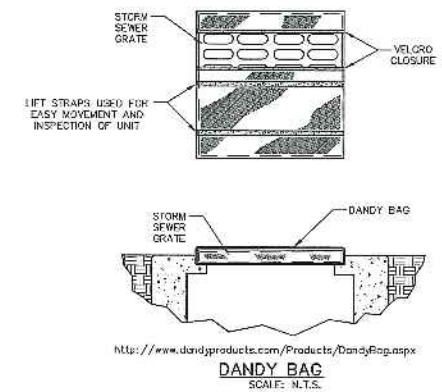
- DANDY BAGS ARE SEDIMENT TRAP DEVICES TO BE USED WITH CATCH BASIN GRATES TO FILTER OUT ALL THE SEDIMENT-LADEN STORMWATER. THE SUSPENDED SOLIDS ARE ALLOWED TO SETTLE OUT OF THE SLOWED FLOW AND ARE CAPTURED BY THE BAG AFTER ENTERING THE CATCH BASIN INLET. FOLLOW THE DANDY BAG SEDIMENT TRAP MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF THE DANDY BAG. THE BAG SHALL BE EMPTIED WHEN THE CONTAINMENT AREA IS 3/4 FULL. SEE THE DETAIL.
- SILT SOCKS CONTROL EROSION BY TRAPPING SEDIMENT AND SLOWING WATER THAT FILTERS THROUGH THE SILT SOCK. THIS WILL CREATE TEMPORARY PONDING DURING HEAVY RAINS. THE SILT SOCKS SHOULD BE INSPECTED REGULARLY TO MAKE SURE THEY HOLD THEIR SHAPE AND ARE PRODUCING ADEQUATE FLOW THROUGH. IF PONDING BECOMES EXCESSIVE AND SEDIMENT REACHES THE TOP OF THE SILT SOCK ADDITIONAL SILT SOCKS SHOULD BE PLACED ON TOP OF THE EXISTING SILT SOCK WITHOUT DISTURBANCE OF THE SOIL OR COLLECTED SEDIMENT.
- THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR ALL SILTATION RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES OR WATER BODIES AS A RESULT OF THIS PROJECT.

GOOD HOUSEKEEPING NOTES:

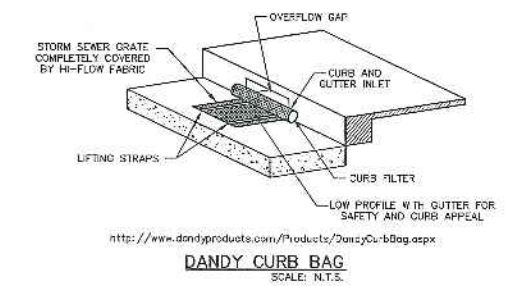
- THE PAVED STREET INTO AND FROM THE SITE WILL BE SWEEP AS NECESSARY (COULD BE AS FREQUENT AS DAILY DURING HEAVY EARTH HAULING OPERATIONS) TO REMOVE ANY EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP.
- ALL WASTE MATERIALS WILL BE COLLECTED AND STORED SECURELY IN A METAL DUMPSTER RENTED FROM A LOCAL SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NECESSARY AND THE TRASH WILL BE HAULED TO THE LOCAL DUMP OR TRANSFER CENTER. NO WASTE MATERIALS GENERATED BY CONSTRUCTION WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER AND THE SITE SUPERINTENDENT MANAGING THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.
- A LOCAL LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR WILL COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS.



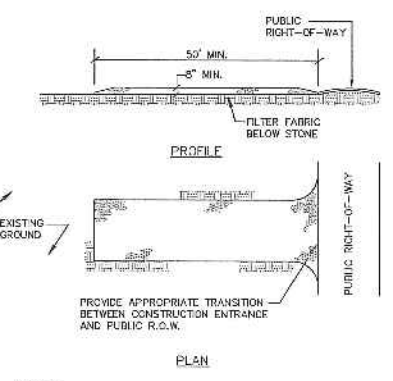
DANDY POP  
SCALE: N.T.S.



DANDY BAG  
SCALE: N.T.S.



DANDY CURB BAG  
SCALE: N.T.S.



- NOTES:
- STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
  - LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
  - THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
  - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC 10° DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION EXIT  
NOT TO SCALE.

DATE	REVISION	SCHEDULE
01-02-13	REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS	DUS
01-05-13	REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS	DUS

**COPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NH 03320  
PHONE (603) 527-8898 FAX (603) 527-1571

TEMPORARY  
EROSION & SEDIMENT  
CONTROL PLAN

PROJECT:  
COMMERCIAL & MAPLE STREET  
MIXED USE DEVELOPMENT  
PORTLAND, ME

DATE: 10-22-12  
SCALE: 1"=20'  
DRAWN BY: R.B.

**C07**  
SHEET: 7 OF 11

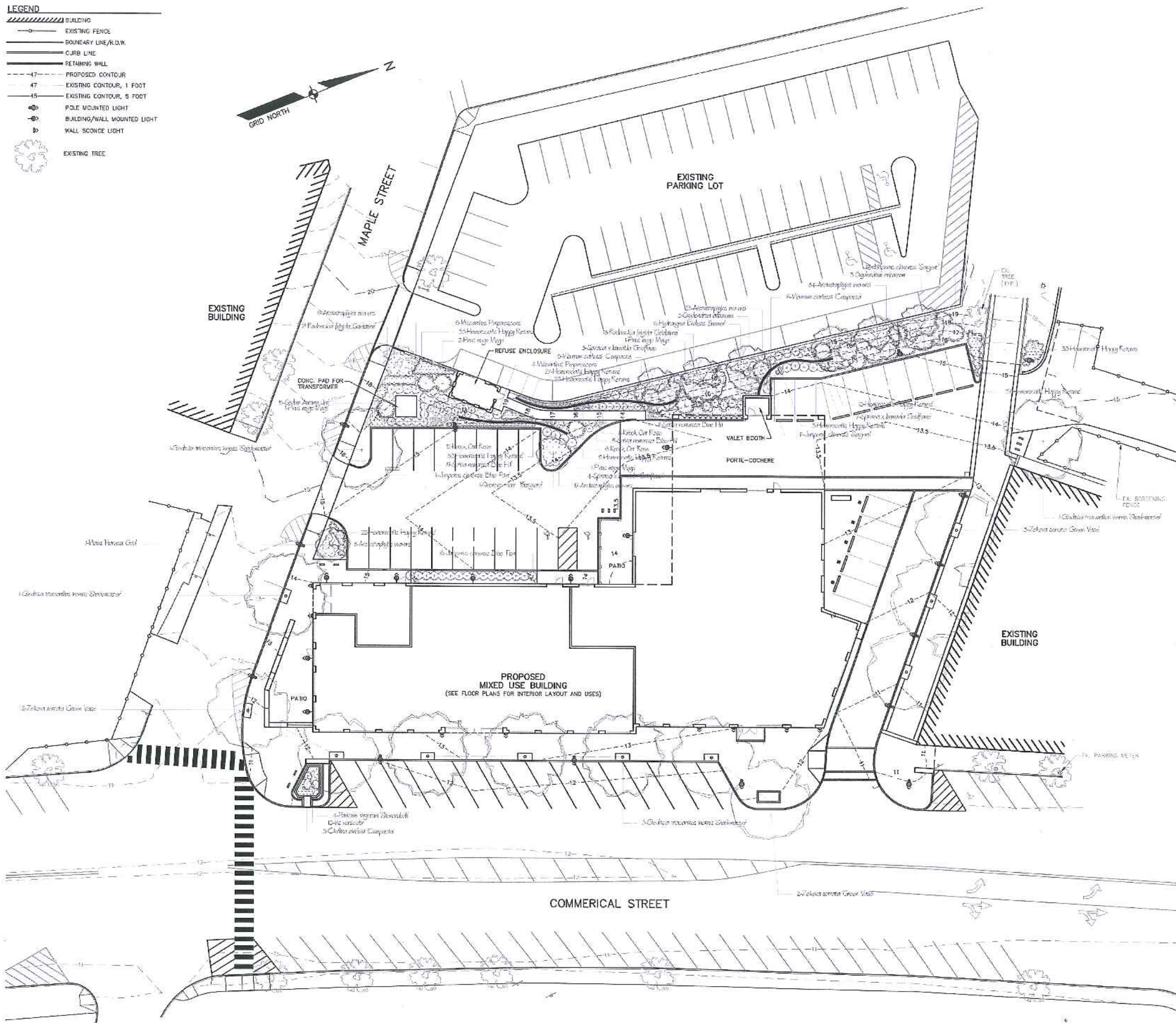


1.15.13



**LEGEND**

	BUILDING
	EXISTING FENCE
	BOUNDARY LINE/R.O.W.
	CURB LINE
	RETAINING WALL
	PROPOSED CONTOUR
	EXISTING CONTOUR, 1 FOOT
	EXISTING CONTOUR, 5 FOOT
	POLE MOUNTED LIGHT
	BUILDING/WALL MOUNTED LIGHT
	WALL SCONCE LIGHT
	EXISTING TREE



**PLANT SCHEDULE**

Quantity	Latin Name	Common Name	Scheduled Size
8	Quercus macrocarpa	White Oak	2-3" Cal.
2	Malus domestica	Domestic Apple	2-3" Cal.
6	Quercus prinus	Prinus Oak	2-3" Cal.
1	Abies balsamea	White Pine	2-3" Cal.
7	Thuja occidentalis	Green Tree	2-3" Cal.

Quantity	Latin Name	Common Name	Scheduled Size
3	Quercus alba	White Oak	4-5"
12	Hydrangea arborescens	Hydrangea	4-5"
29	Juniperus horizontalis	Blue Juniper	4-5" DBD
25	Juniperus chinensis	Chinese Juniper	4-5"
8	Pinus strobus	White Pine	2-3" DBD
1	Prunella americana	Black Cherry	4-5"
26	Prunella americana	Black Cherry	4-5"
11	Quercus prinus	Prinus Oak	4-5"
11	Viburnum acerifolium	Black Viburnum	3-4" DBD

Quantity	Latin Name	Common Name	Scheduled Size
13	Aspidistra filix	Aspidistra	4"
6	Asplenium platyneuron	Rock Fern	2-3"
7	Asplenium platyneuron	Rock Fern	2-3"
250	Hesperis matronalis	Matronella	2-3"
10	Hesperis matronalis	Matronella	4"
15	Hosta plantainifolia	Hosta	1-2"
13	Hosta plantainifolia	Hosta	2-3"
9	Hosta plantainifolia	Hosta	1-2"
4	Hosta plantainifolia	Hosta	2-3"
25	Hosta plantainifolia	Hosta	2-3"
20	Hosta plantainifolia	Hosta	1-2"
26	Hosta plantainifolia	Hosta	2-3"
64	Hosta plantainifolia	Hosta	2-3"

LANDSCAPE ARCHITECT  
**Elm Grove**  
 Property Solutions  
 440 Hanover St. Manchester, NH 03102  
 PH: 603-252-0428

**REVISION SCHEDULE**

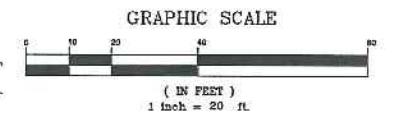
DATE	BY	REVISION DESCRIPTION
01-02-18	EJS	REVISED LANDSCAPING PER SITE PLAN CHANGES
01-05-18	EJS	REVISED LANDSCAPING PER SITE PLAN CHANGES

**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03220  
 PHONE (603) 537-9898 FAX (603) 537-9391

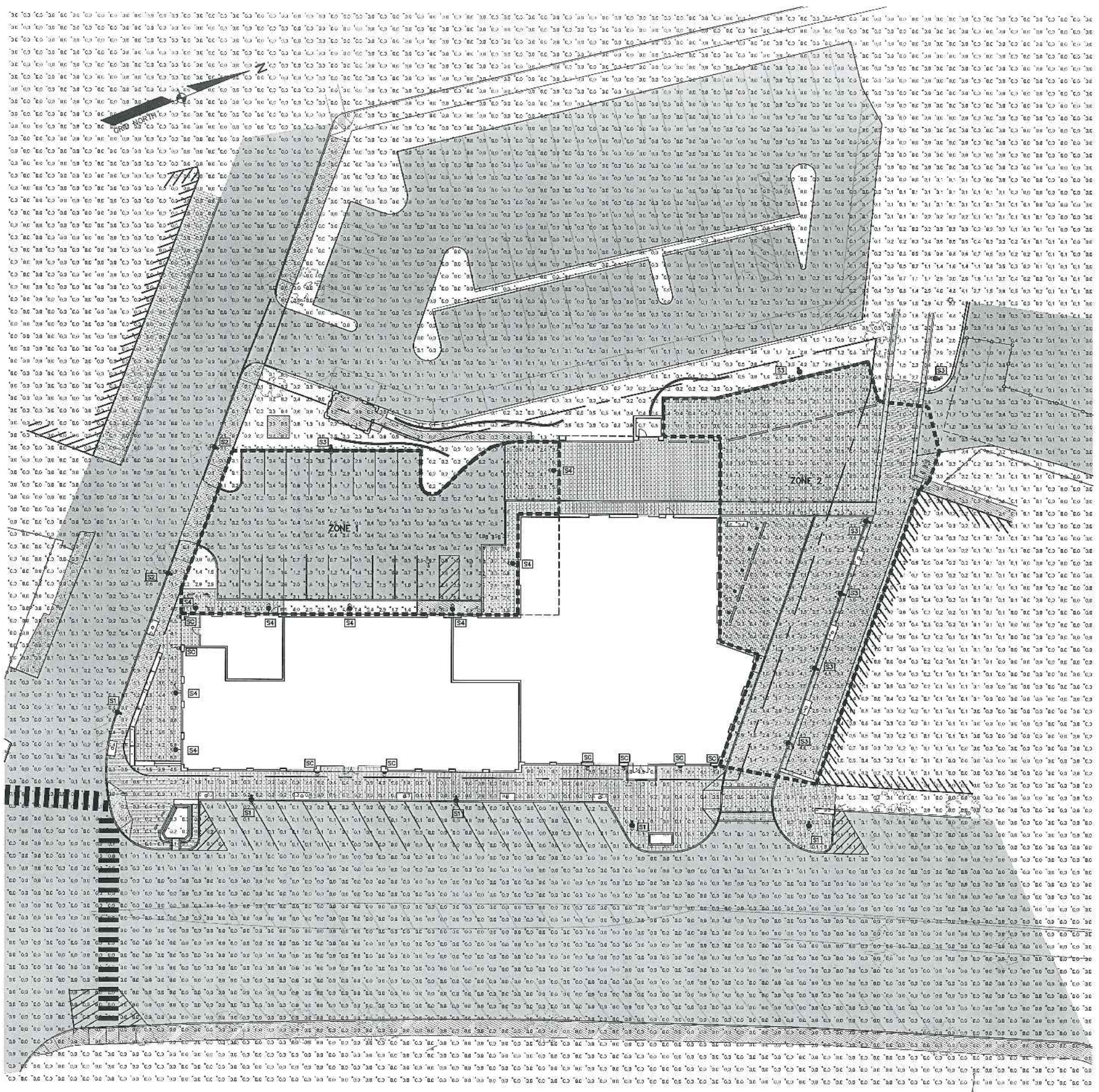
**LANDSCAPING PLAN**

**PROJECT:** COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
 PORTLAND, ME

**DATE:** 10-22-12  
**SCALE:** 1"=20'  
**DRAWN BY:** EJS  
**C08**  
 SHEET 8 OF 14



1.15.13



LIGHT FIXTURE SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER/CATALOG NO.	LAMPS	MOUNTING
S1	CITY OF PORTLAND EASTERN WATERFRONT DISTRICT LARGE POLE MOUNTED LIGHT	HOLOPHANE LIGHTING ESU 175PM MA CMC 40-84319	ONE 175-WATT CLEAR METAL HALIDE LAMP, VERTICAL MOUNTED.	POLE MOUNTED 20' HEIGHT
S2	CITY OF PORTLAND EASTERN WATERFRONT DISTRICT MEDIUM POLE MOUNTED LIGHT	HOLOPHANE LIGHTING ESU 175PM MA CMC 40-84319	ONE 175-WATT CLEAR METAL HALIDE LAMP, VERTICAL MOUNTED.	POLE MOUNTED 15' HEIGHT
S3	UNIVERSE MEDIUM HOUSING SCALE WITH 4 LUMINOUS WINDOWS AND FLARED HOOD	ARCHITECTURAL AREA LIGHTING UCM-WND-FLR-CAL-100MH	ONE 100 WATT MEDIUM BASE CLEAR ED-17 MH LAMP LUMENS=9300	POLE MOUNTED 15' HEIGHT
S4	UNIVERSE MEDIUM HOUSING SCALE WITH 4 LUMINOUS WINDOWS AND FLARED HOOD	ARCHITECTURAL AREA LIGHTING UCM-WND-FLR-CAL-100MH	ONE 100 WATT MEDIUM BASE CLEAR ED-17 MH LAMP LUMENS=9300	BUILDING MOUNTED 12' HEIGHT
SC	CAMBER WALL SCIENCE	U.S. ARCHITECTURAL LIGHTING CBRS-100MH-CP	100W ED17 CLR METAL HALIDE	BUILDING MOUNTED 7' HEIGHT

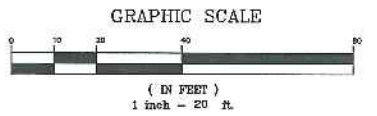
NOTES:  
 1. LIGHTING CALCULATIONS REPRESENT HORIZONTAL MAINTAINED ILLUMINANCE LEVELS (FOOT-CANDLES) MEASURED AT GRADE ON A 5'x5' GRID. CITY STREET LIGHTS ARE NOT INCLUDED IN THE LIGHTING CALCULATIONS.  
 2. CALCULATED GRID STATISTICS FOR ZONE 1 ARE AS FOLLOWS:  
 AVG: 1.6fc MIN: 0.2fc MAX: 6.4fc MAX/MIN: 42:1 AVG/MIN: 8:1  
 3. CALCULATED GRID STATISTICS FOR ZONE 2 ARE AS FOLLOWS:  
 AVG: 1.5fc MIN: 0.2fc MAX: 5.4fc MAX/MIN: 27:1 AVG/MIN: 7.5:1  
 4. STATISTICAL CALCULATION POINTS ARE DELINEATED WITH X.  
 5. MAINTAINED ILLUMINANCE LEVELS ARE BASED UPON THE FOLLOWING LIGHT LOSS FACTORS:  
 0.60 - TYPES S3, S4, SC

DATE	REVISION DESCRIPTION
01-03-10	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS
01-15-10	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS

**LOPECHE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT, NH 03320  
 PHONE: (603) 527-9910 FAX: (603) 527-1151

**PHOTOMETRIC PLAN**

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME  
 DATE: 10-22-12  
 SCALE: 1"=20'  
 DRAWN BY: BUS  
**C09**  
 SHEET: 4 OF 14



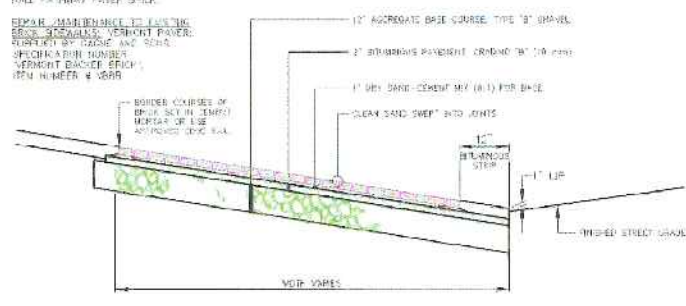
*Submitted after  
 waiver requests  
 Submitted.*

1.15.13

BRICKS TO BE USED:

NEW CONSTRUCTION:  
4" x 8" PINE HALL PATHWAY PAVEMENT BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #13623, PINE HALL PATHWAY PAVEMENT BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #13623, PINE HALL PATHWAY PAVEMENT BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #13623.

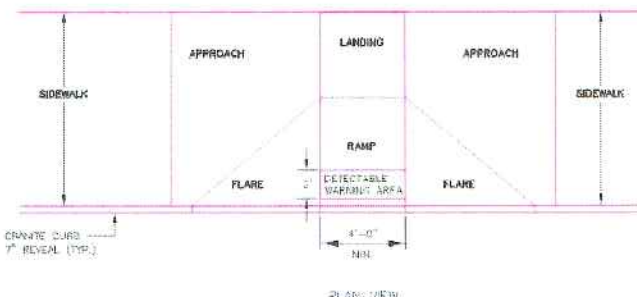
REPAIR/MAINTENANCE TO EXISTING BRICK SIDEWALKS:  
VERMONT PAVEMENT BRICK, SUPPLIED BY GAGNE AND SONS, SPEC. NO. "VERMONT BACKER BRICK", ITEM #VBB8.



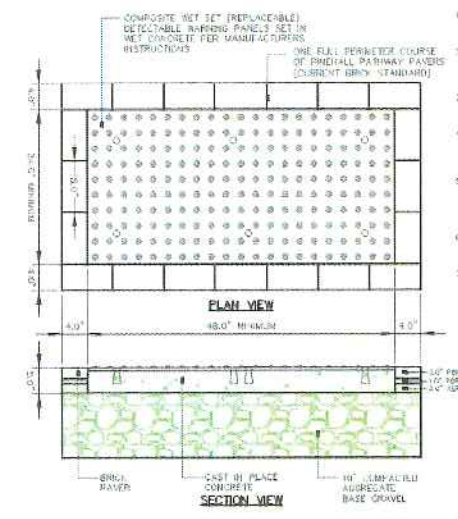
BRICK DRIVEWAY APRON WITH BITUMINOUS BASE  
NOT TO SCALE

NOTE:  
ALL RAMP SLOPES SHALL COMPLY WITH ADA STANDARDS.  
GRANITE CURB ADJACENT TO RAMP SHALL BE FLUSH WITH STREET.

DESIGN ELEMENT	SLOPE	MINIMUM SLOPE
APPROACH	1:12	1:12
RAMP	1:12	1:12
FLARE	1:12	1:12
SIDEWALK	1:50	1:50



PERPENDICULAR ADA RAMP LAYOUT FOR WIDE SIDEWALK WITH NO ESPLANADE  
NOT TO SCALE

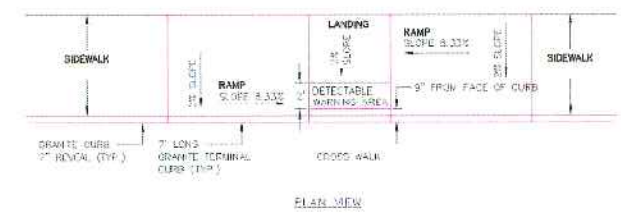


SIDEWALK RAMP DETECTABLE WARNING PANEL (HISTORIC DISTRICTS AND LANDSCAPES)  
NOT TO SCALE

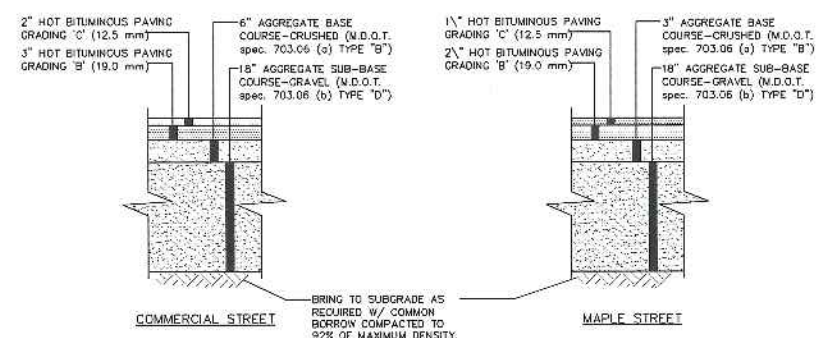
- COMPOSITE METAL DETECTABLE WARNING PANELS SHALL BE AS MANUFACTURED BY BIA SOLUTIONS INC. (WWW.BIASOLUTIONS.COM) OR APPROVED EQUAL.
- SET IN PLACE CONCRETE SHALL HAVE SPECIFICATION FOR MAKE 30.17-0.05 & STRUCTURAL CONCRETE MINIMUM COMPRESSIVE STRENGTH 4000 PSI. THE CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS.
- FINISHED JOINTS SHALL BE FINISHED BY FINISH PARALLEL AND PERPENDICULAR TO THE DIRECTION OF TRAVEL. NO OTHER DETECTABLE WARNING DEVICES OR CONDUITS ARE ALLOWED.
- FOR ALL DETECTABLE WARNING PANELS, MINIMUM OF 48 INCHES HISTORIC DISTRICTS AND HISTORIC LANDSCAPES: DARK GRAY COLORED (H0111) PANELS SHALL BE USED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
- THE DETECTABLE WARNING PANEL SHALL HAVE ONE FULL COURSE OF PERIMETER WARNING PANELS. THE CURB AND THE FULL PERIMETER OF THE PANEL. THE FORMER COURSE SHALL BE SET USING PORTLAND MORTAR (MORTAR) TO CREATE A 3/16 INCH SURFACE BETWEEN THE CURB AND THE PANEL.
- SIZE: THE DETECTABLE WARNING PANELS SHALL EXTEND 24 INCHES MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB FROM LANDING OR WALKER. INTERFERE BY THE STREET.
- ORIENTATION: THE DETECTABLE WARNING PANEL SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS A MINIMUM 48 INCHES MINIMUM FROM THE CURB LINE. THE PANEL SHALL BE ORIENTED TO THE DIRECTION OF TRAVEL AS INDICATED BY THE POINT OF VIEW.

NOTES:

- ALL RAMP SLOPES SHALL COMPLY WITH ADA STANDARDS.
- GRANITE CURB ADJACENT TO RAMP SHALL BE FLUSH WITH STREET.
- SIDEWALK MATERIAL PER CITY SIDEWALK MATERIAL POLICY.

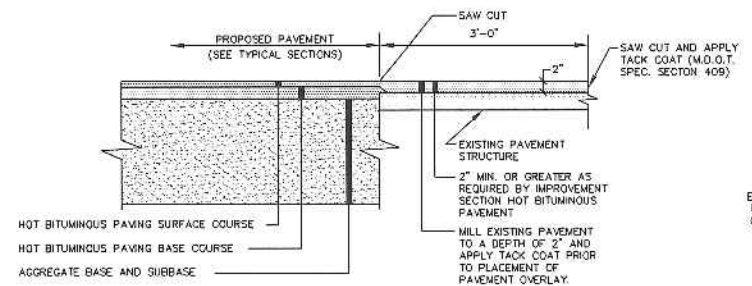


PARALLEL SIDEWALK RAMP LAYOUT FOR NARROW SIDEWALK WITH NO ESPLANADE  
NOT TO SCALE

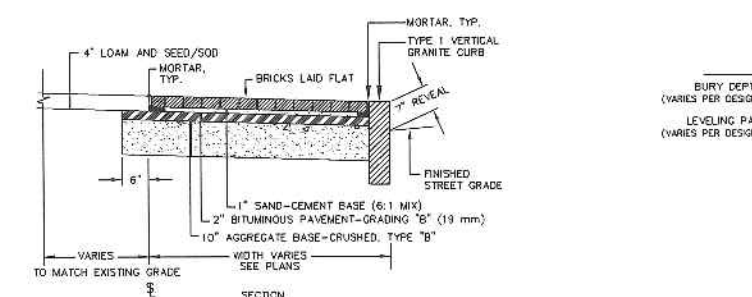


- NOTE:  
1. COMPACT GRAVEL SUB-BASE, BASE COURSE TO 95% OF MAXIMUM DENSITY USING HEAVY ROLLER. COMPACTION SPEC. 703.06 (a) TYPE "B".  
2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

TYPICAL PAVEMENT REPAIR SECTION FOR PUBLIC STREETS  
NOT TO SCALE

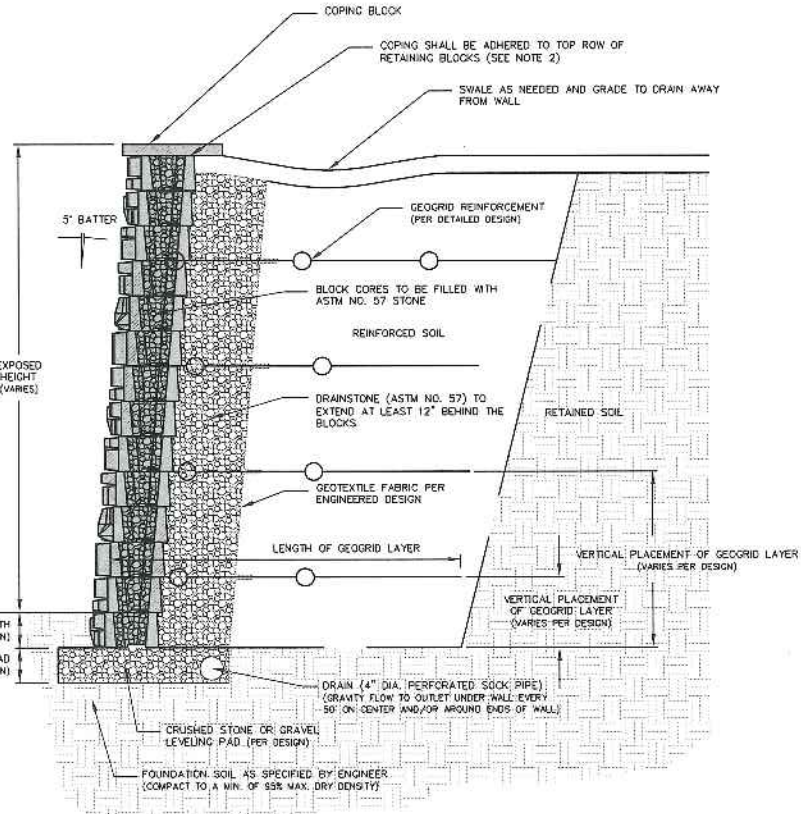


PAVEMENT SAW CUT DETAIL  
NOT TO SCALE



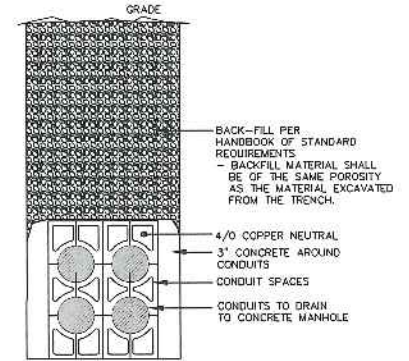
- NOTES:  
1. BORDER COURSE OF BRICK SHALL BE MORTARED TO PAVEMENT BASE. REMAINING BRICKS TO HAVE CLEAN SAND SWEEP INTO JOINTS.  
2. BRICKS TO BE USED:  
(a) NEW CONSTRUCTION: 4" x 8" PINE HALL PATHWAY PAVEMENT BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #13623, PINE HALL PATHWAY PAVEMENT BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #13623, PINE HALL PATHWAY PAVEMENT BRICK, MFG. BY PINE HALL BRICK CO., MADISON, NC, LACHANCE ITEM #13623.  
(b) REPAIR/MAINTENANCE TO EXISTING BRICK SIDEWALKS: VERMONT PAVEMENT BRICK, SUPPLIED BY GAGNE AND SONS, SPEC. NO. "VERMONT BACKER BRICK", ITEM #VBB8.

BRICK SIDEWALK WITH GRANITE CURB  
NOT TO SCALE

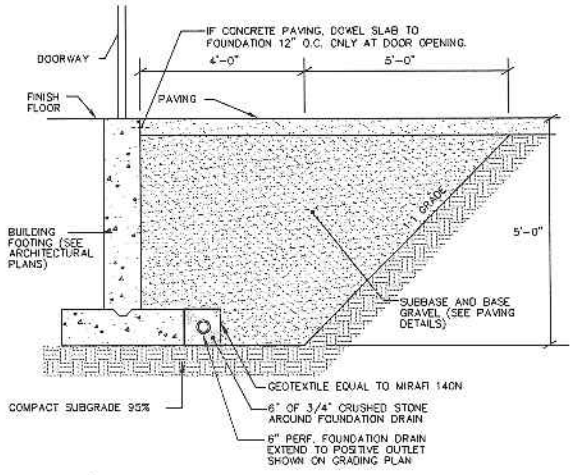


- NOTES:  
1. BLOCK SETBACK = 5" PER COURSE = 5" BATTER.  
2. CONSTRUCTION ADHESIVES SHALL BE SPECIFICALLY FORMULATED FOR SEGMENTAL BLOCK WALL CONSTRUCTION AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.  
3. THIS DRAWING IS FOR REFERENCE ONLY.  
4. FINAL DESIGNS FOR CONSTRUCTION MUST BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE.  
5. FINAL WALL DESIGN MUST ADDRESS BOTH INTERNAL AND EXTERNAL DRAINAGE AND SHALL BE EVALUATED BY THE PROFESSIONAL ENGINEER WHO IS RESPONSIBLE FOR THE WALL DESIGN.  
6. BLOCKS ARE PRODUCED WITH DIFFERENT FACE TEXTURES. EXPOSED BLOCK FACES WILL VARY THROUGHOUT THE WALL DEPENDING ON INSTALLATION PATTERN.

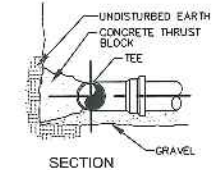
RETAINING WALL DETAIL  
NOT TO SCALE



2x2 5" CONDUIT BANK  
NOT TO SCALE

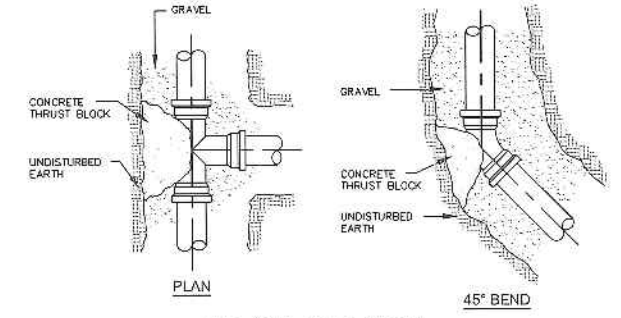


5' GRANULAR BASE @ DOOR THRESHOLD  
NOT TO SCALE



TEE AND BEND DETAIL  
NOT TO SCALE

FITTINGS	SQ. FT. OF BEARING ON UNDISTURBED SOIL		
	90° BENDS	45° BENDS	TEES AND PLUGS
PIPE SIZE			
6"	4.0	2.0	3.0
8"	8.0	4.0	6.0
12"	15	10	10



TEE AND BEND DETAIL  
NOT TO SCALE

DATE	REVISION	SCHEDULE
01-02-13 <td>REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS <td>B.6</td> </td>	REVISED PER CITY STAFF AND HISTORICAL/PLANNING BOARD COMMENTS <td>B.6</td>	B.6

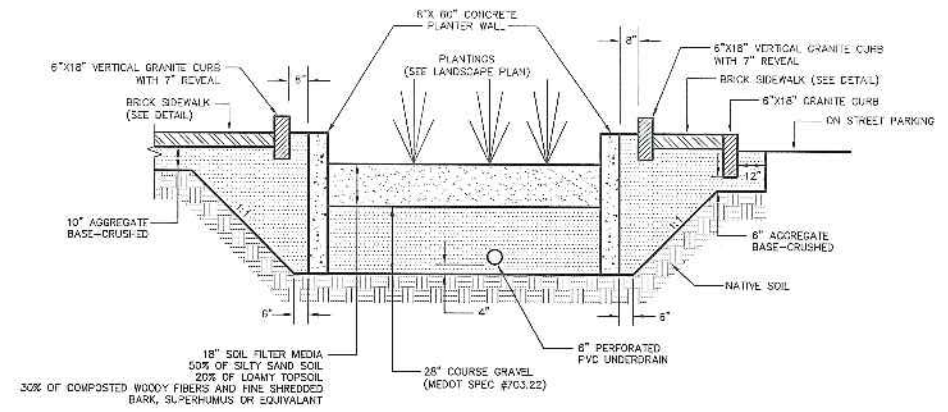
**COPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NH 03316  
PHONE (603) 251-9494 FAX (603) 251-9111

CONSTRUCTION DETAILS

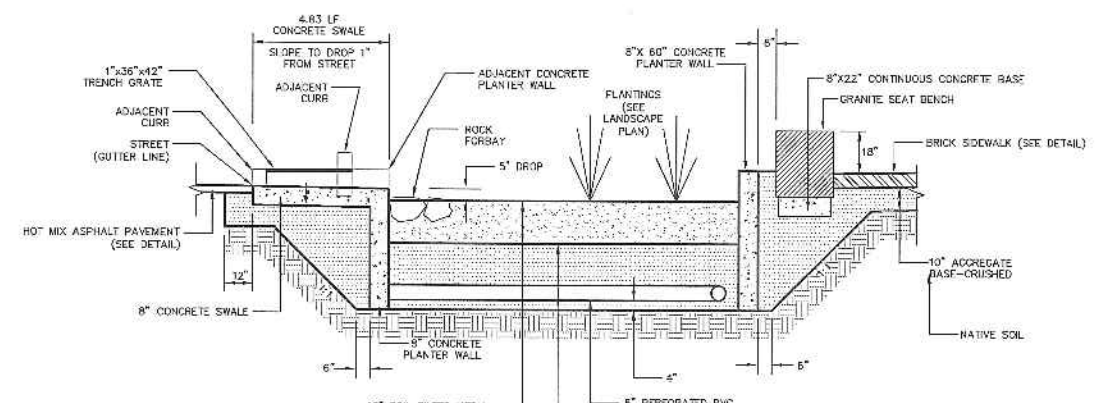
COMMERCIAL & MAPLE STREET  
MIXED USE DEVELOPMENT  
PORTLAND, ME



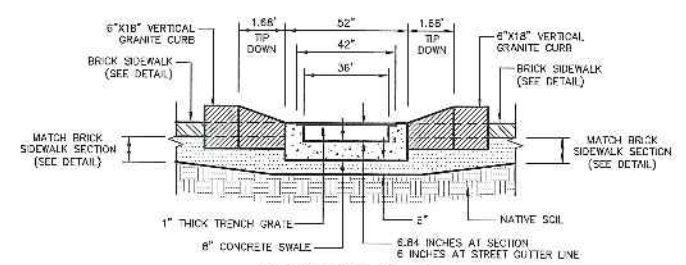
DATE:	10-22-12
SCALE:	1"=20'
DRAWN BY:	BJS
<b>C10</b>	
SHEET:	10 OF 14



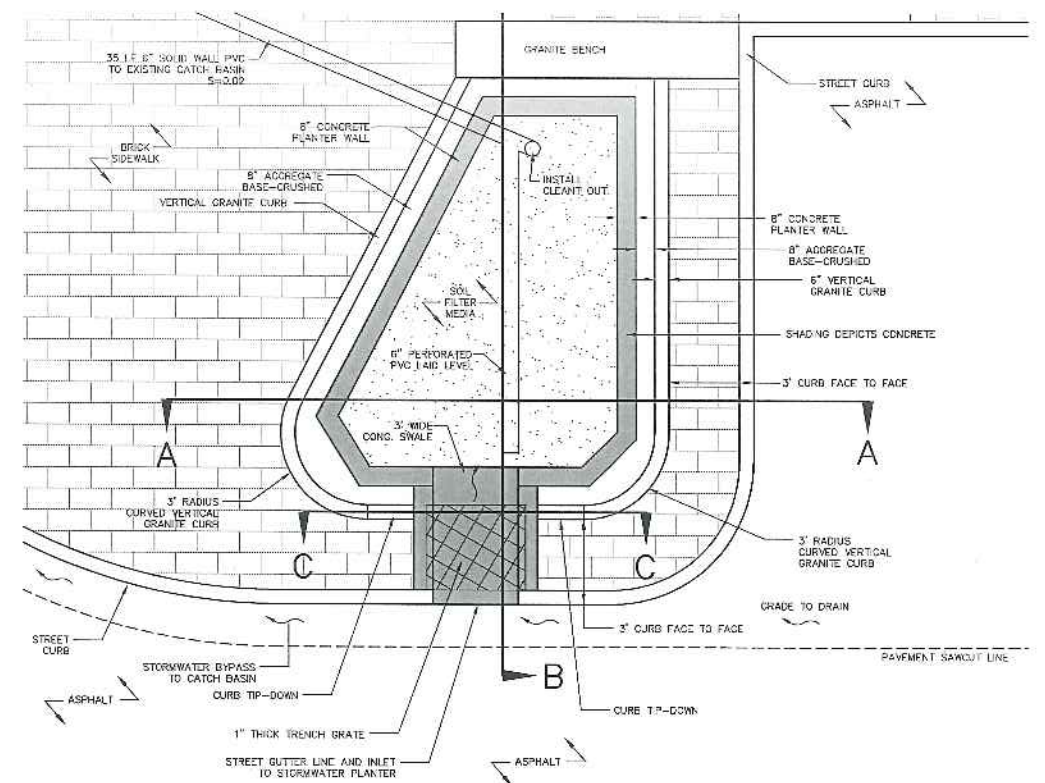
SECTION A-A  
SCALE: 1 INCH = 3 FEET



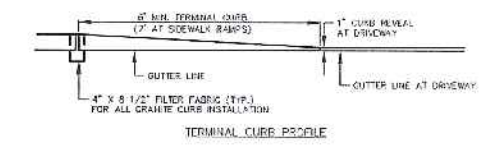
SECTION B-B  
SCALE: 1 INCH = 3 FEET



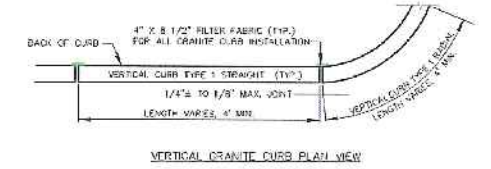
SECTION C-C  
SCALE: 1 INCH = 3 FEET



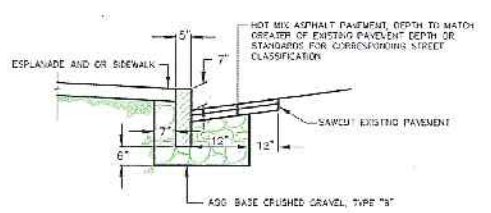
STORMWATER PLANTER PLAN  
SCALE: 1 INCH = 3 FEET



TERMINAL CURB PROFILE

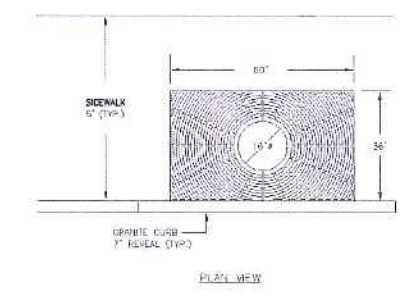


VERTICAL GRANITE CURB PLAN VIEW

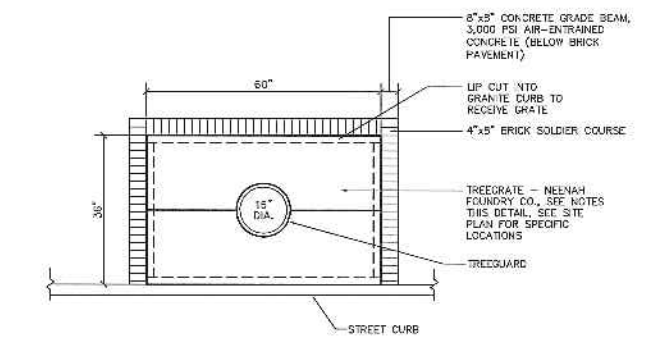


VERTICAL GRANITE CURB CROSS SECTION  
INSTALLATION IN EXISTING STREETS  
NOT TO SCALE

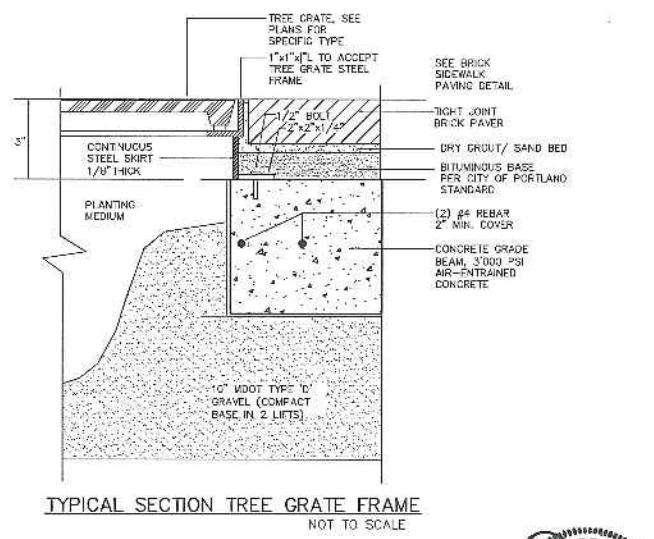
NOTES:  
16" EXPANDABLE TREE OPENING (20" SLOT OPENINGS)  
SIDEWALK MATERIAL PER CITY SIDEWALK MATERIAL POLICY  
WHEN THE TREE GRATE IS INSTALLED IN A CONCRETE SIDEWALK, A NOTCH MUST BE INSTALLED ALONG THE SOLE TO HOLD THE GRATE, WHICH MUST BE INSTALLED BY A FRAMER. SIDEWALKS THAT REQUIRE A FRAME MUST BE INSTALLED TO HOLD THE GRATE IN PLACE.



EXPANDABLE TREE GRATE  
NEENAH MODEL R-6810  
NOT TO SCALE



TREE GRATE DETAIL  
NOT TO SCALE



TYPICAL SECTION TREE GRATE FRAME  
NOT TO SCALE

DATE	REVISION	SCHEDULE
01-02-13	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	EJB
01-15-13	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	EJB

**COPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NE 03219  
PHONE (603) 237-3999 FAX (603) 237-4111

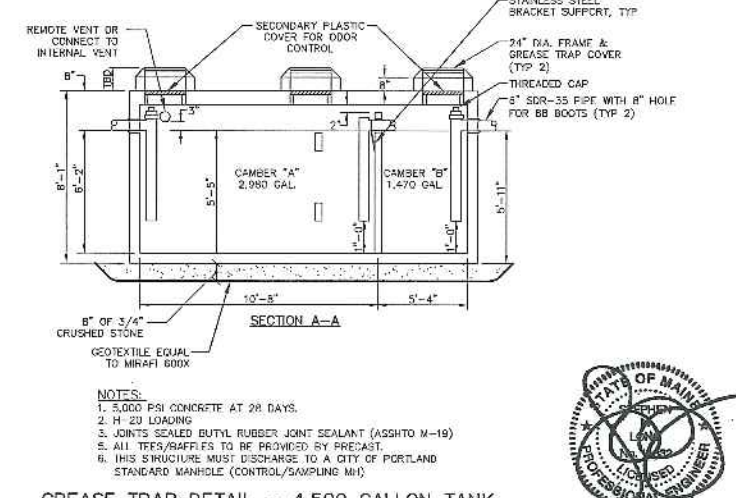
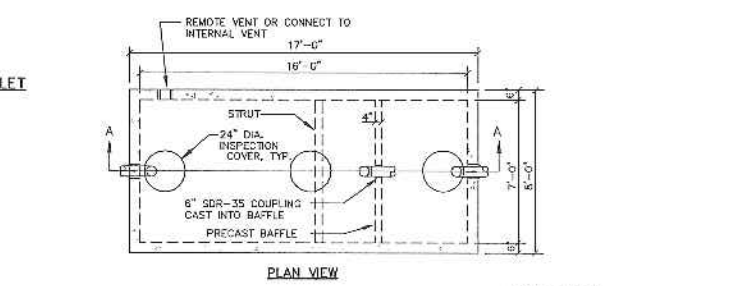
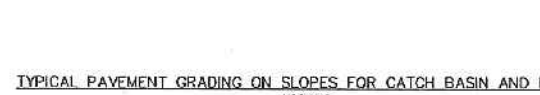
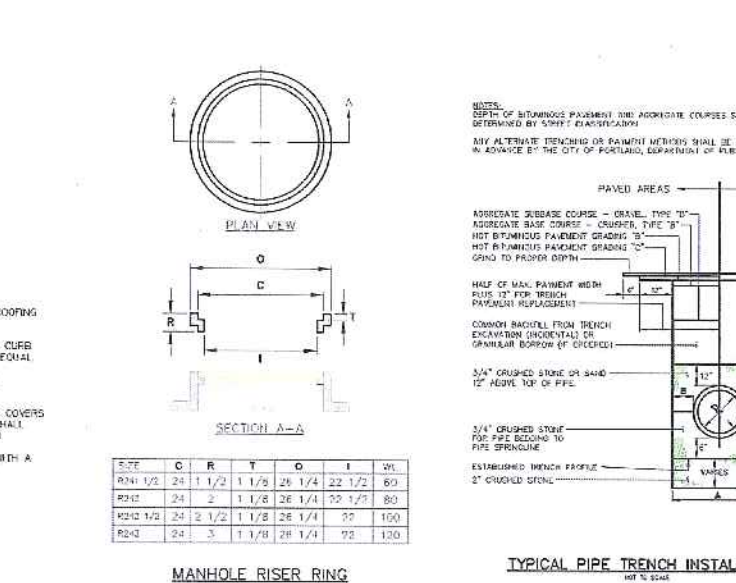
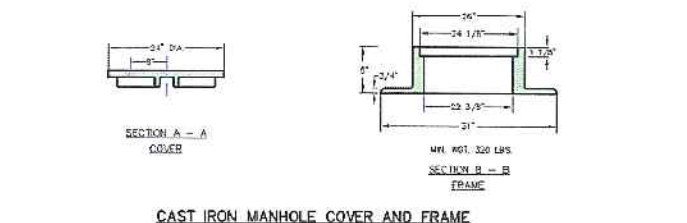
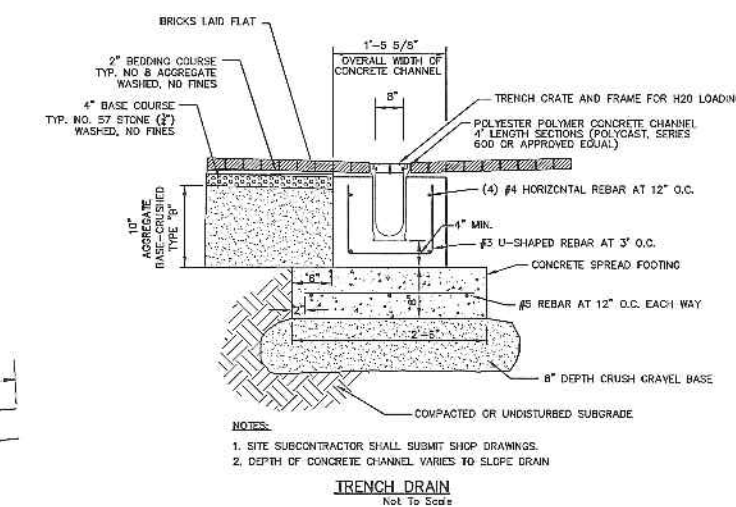
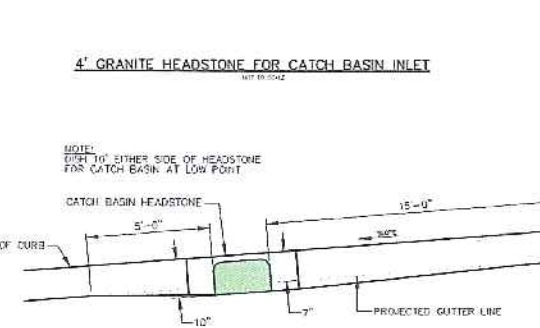
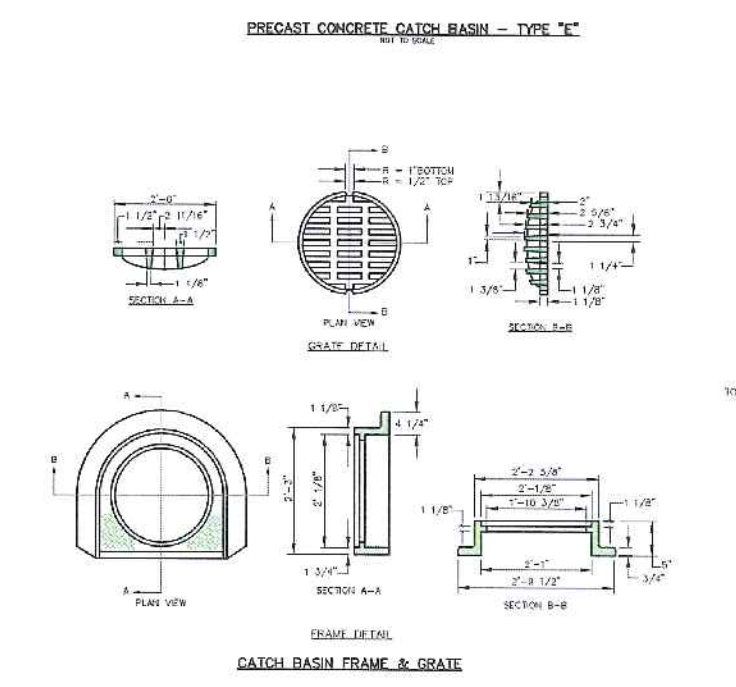
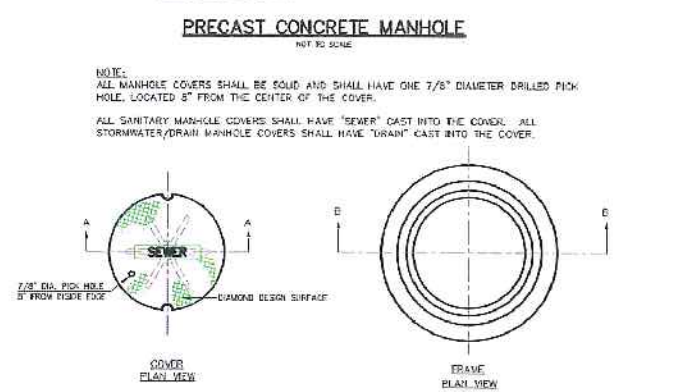
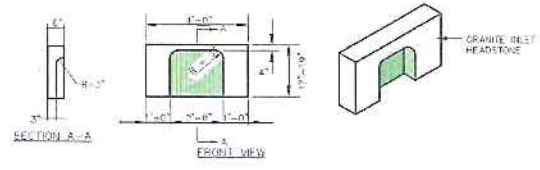
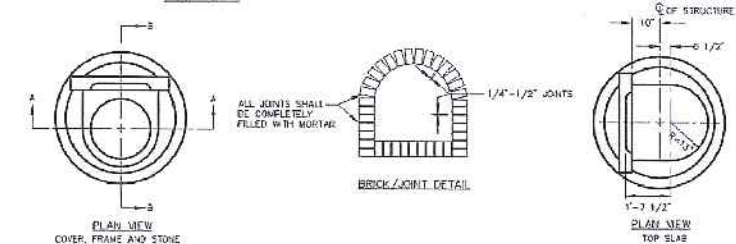
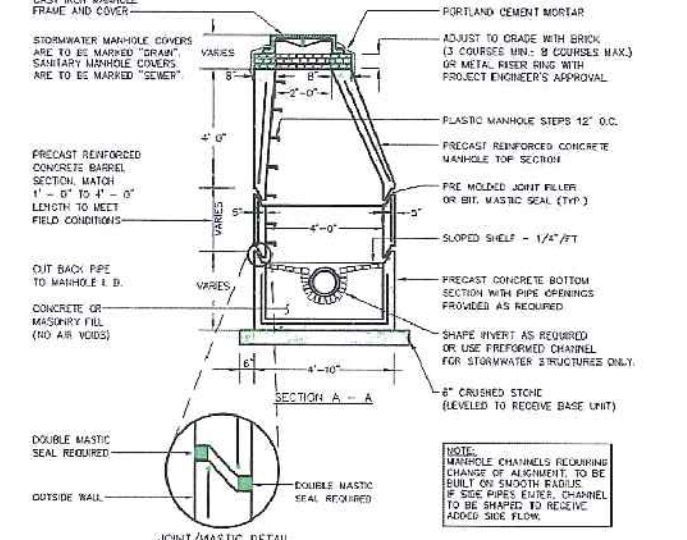
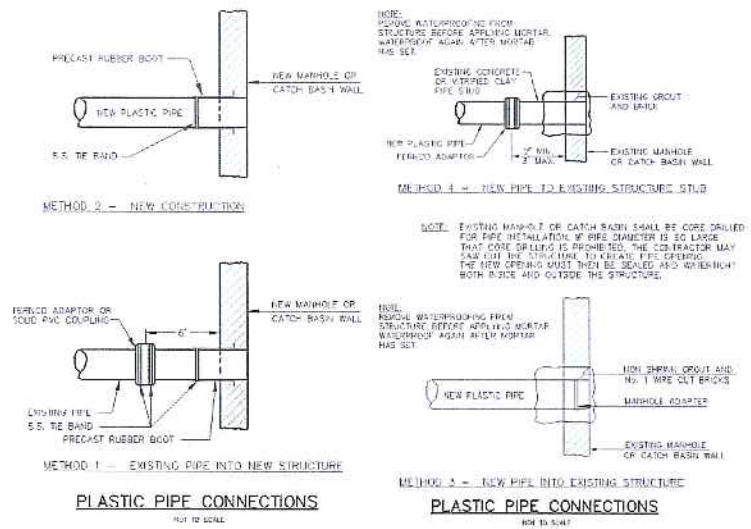
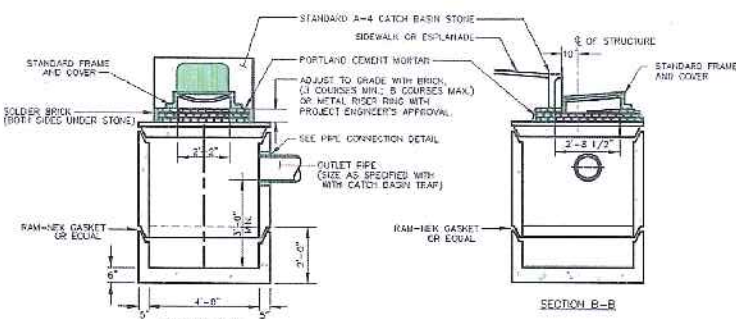
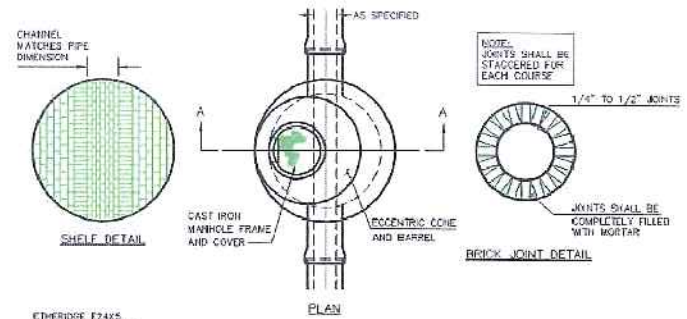
CONSTRUCTION DETAILS

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
PORTLAND, ME

DATE: 10-22-12  
SCALE: 1"=20"  
DRAWN BY: B.J.S.  
**C11**  
SHEET: 11 OF 14



1.15.13



**GENERAL NOTES FOR MANHOLES AND CATCH BASINS**

1. ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI. FOR 28 DAYS, UNLESS OTHERWISE NOTED.
2. MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
3. PRECAST REINFORCED CONE BARREL MANUFACTURED PER ASTM SPEC. C-478.
4. ALL STORM AND SEWER MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE LOCATED 8" FROM THE CENTER OF THE COVER.
5. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER. ALL STORMWATER/DRAIN MANHOLE COVERS SHALL HAVE "DRAIN" CAST INTO THE COVER.
6. ALL MANHOLE RISERS SHALL BE EITHERIDGE 24" OR APPROVED EQUAL.
7. SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE GV 10-32-63, GRADE MA AND SA.
8. ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.
9. CATCH BASIN FRAMES FOR TYPE A4 CATCH BASIN CURB INLETS SHALL BE EITHERIDGE ORSA OR APPROVED EQUAL.
10. CASINGS SHALL CONFORM TO ASTM DESIGNATION A46-CLASS 25.
11. EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
12. ALL CATCH BASIN OUTLETS SHALL BE INSTALLED WITH A CASCO TRAP. SEE FIGURE H-20.

**MANHOLE RISER RING**

SIZE	C	R	T	O	I	WT.
R20	1/2	24	1 1/2	1 1/8	26 1/4	22 1/2
R24	24	2	1 1/8	26 1/4	22 1/2	80
R24 1/2	24	2 1/2	1 1/8	26 1/4	22	100
R24 2	24	3	1 1/8	26 1/4	22	120

**TYPICAL PIPE TRENCH INSTALLATION**

**TYPICAL PIPE INSTALLATION - NOTES**

NOTE: DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY 51997-7 CLASSIFICATION. ALL ALTERNATE TRENCHING OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.

AGGREGATE BASE COURSE - GRAVEL, TYPE "B" OR EQUIVALENT SHALL BE PLACED AND COMPACTED UNDER HOT BITUMINOUS PAVEMENT GRADING TO NOT BE FURNISHED TO PROPER DEPTH.

HALF OF MAX. PAYMENT WIDTH PLUS 12" FOR TRENCH PAYMENT REPLACEMENT.

CONCRETE BRACKET FROM TRENCH EXCAVATION (INCIDENTAL) OR GRANULAR BOTTOM (CHECKED).

3/4" CRUSHED STONE OR SAND 12" ABOVE TOP OF PIPE.

3/4" CRUSHED STONE FOR PIPE BEDDING TO PIPE SPRINGLINE.

ESTABLISHED TRENCH PROFILE.

2" CRUSHED STONE.

PIPE DIAMETER, D (FEET)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	4.0
15	4.0
18	4.0
21	4.0
24	4.0
27	4.0
30	4.0
36	4.0
42	4.0

**REVISION SCHEDULE**

DATE	REVISION
01-02-19	REVISED PER CITY COMMENTS
01-15-19	REVISED PER CITY COMMENTS

**COPEHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NE 05118  
PHONE (603) 227-3990 FAX (603) 227-9191

**SANITARY SEWER & STORM DRAIN DETAILS**

**PROJECT:** COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
**DATE:** 10-22-17  
**SCALE:** 1"=20'  
**DRAWN BY:** BJS  
**C12**  
SHEET: 11 OF 14



11/5/13

Civil

Plan 14 Hearing



1 MAPLE STREET ELEVATION  
C13 3/32" = 1'-0"



2 COMMERCIAL STREET ELEVATION  
C13 3/32" = 1'-0"

REVISION SCHEDULE	REVISION DESCRIPTION
DATE: 01-02-13	REVISED ELEVATIONS

**LOPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT, NH 03220  
PHONE (603) 327-9096 FAX (603) 527-8181

EXTERIOR BUILDING ELEVATIONS

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
PORTLAND, ME

DATE: 12-10-12  
SCALE: SEE PLAN  
DRAWN BY:  
**C13**  
SHEET:

Plan 15 Hearing



DATE	REVISION SCHEDULE	REVISION DESCRIPTION
01-02-13		REVISED ELEVATIONS

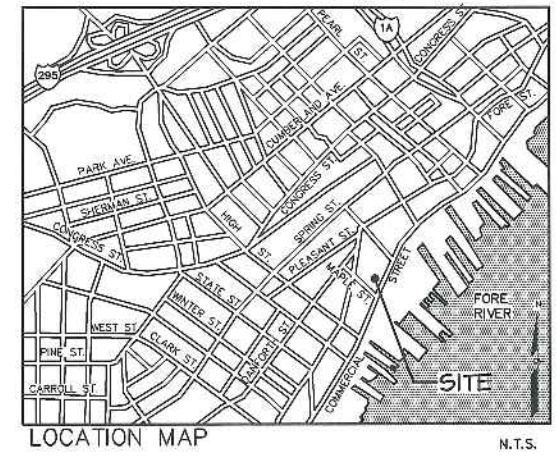
**LOPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT, NH 03210  
 PHONE (603) 327-8989 FAX (603) 327-9191

EXTERIOR BUILDING ELEVATIONS

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT PORTLAND, ME

DATE: 12-10-12  
 SCALE: SEE PLAN  
 DRAWN BY:

C14 SHEET



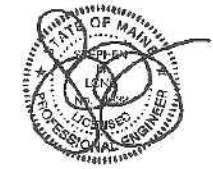
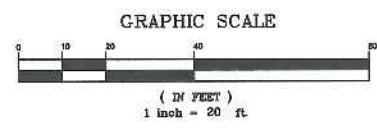
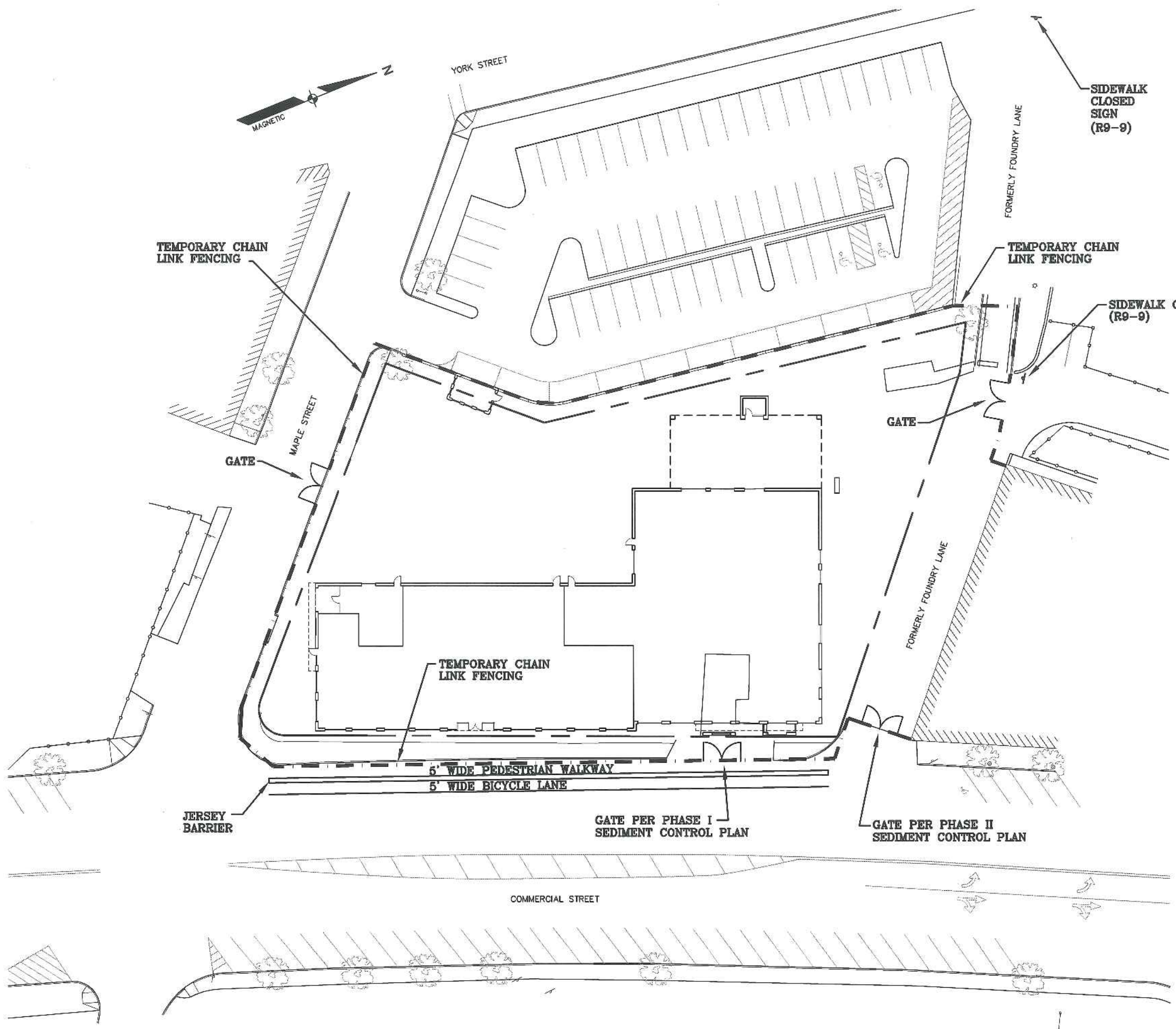
REVISION SCHEDULE	REVISION DESCRIPTION
DATE	

**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03220  
 PHONE (603) 227-9999 FAX (603) 227-9331

CONSTRUCTION MANAGEMENT  
 AND TRAFFIC CONTROL PLAN

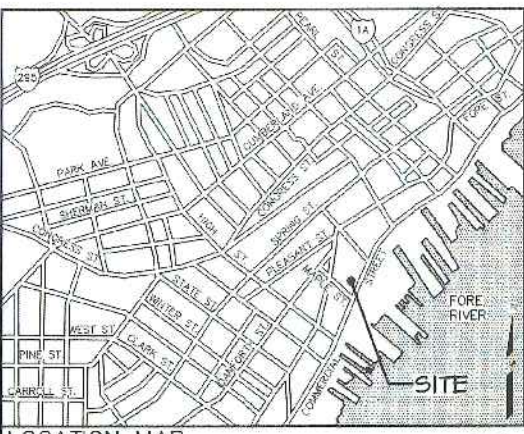
PROJECT:  
 COMMERCIAL & MAPLE STREET  
 MIXED USE DEVELOPMENT  
 PORTLAND, ME

DATE: 10-22-12  
 SCALE: 1"=20'  
 DRAWN BY: BJS  
**CMTC**  
 SHEET: 1 OF 1

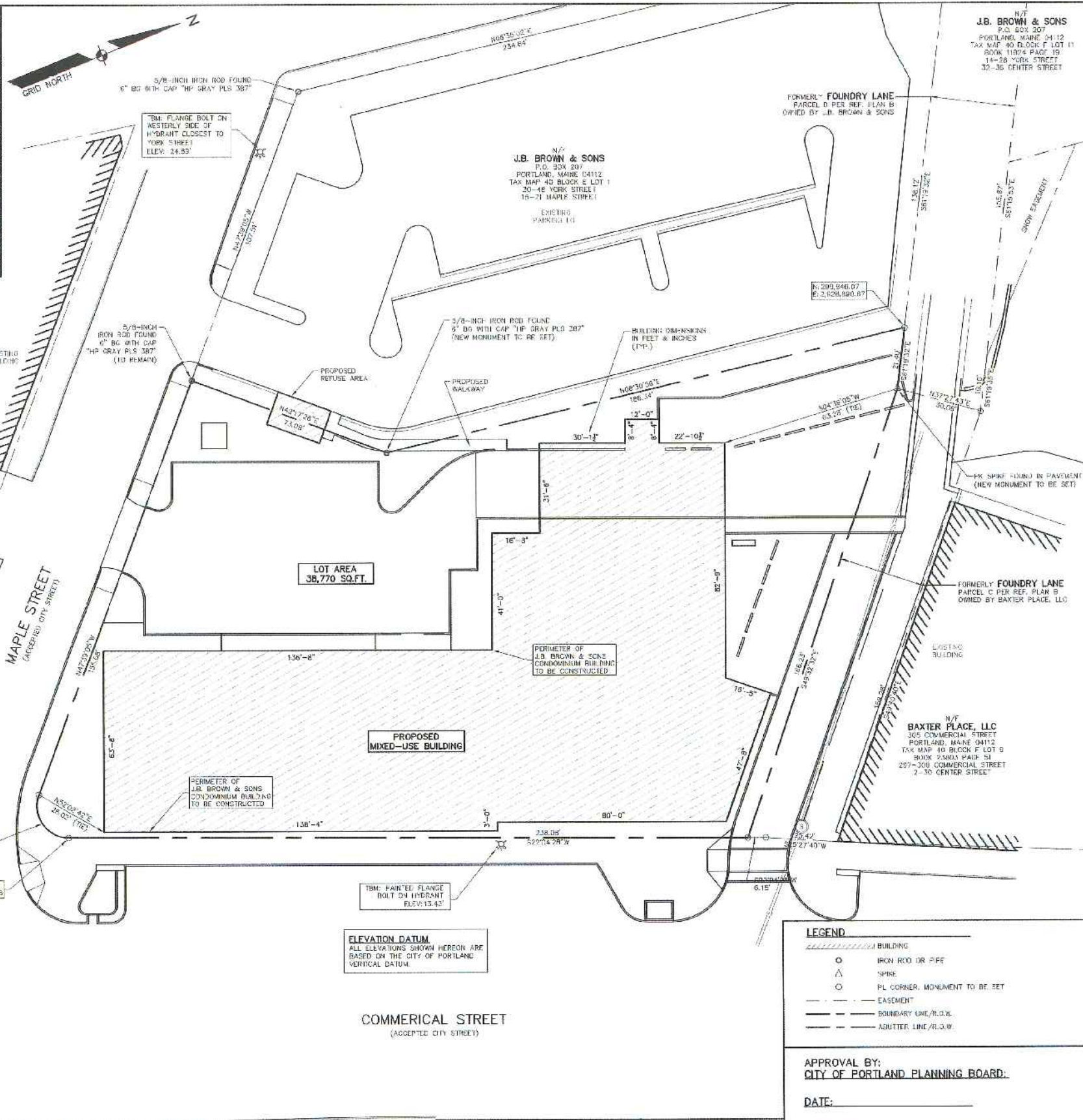




Plan 17 Hearing



LOCATION MAP



GENERAL NOTES:

- 1. THIS IS THE SUBDIVISION PLAN FOR THE CREATION OF 14 DWELLING UNITS IN A NEW MIXED-USE BUILDING TO BE CONSTRUCTED ON THE SUBJECT PROPERTY...
2. THE RECORD OWNER OF THE SUBJECT PROPERTY IS THE APPLICANT, J.B. BROWN & SONS...
3. SUBJECT PROPERTY IS LOT 3 OF BLOCK 2 ON THE CITY OF PORTLAND TAX MAP 43...
4. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 36,770 SQ. FT.
5. LAND BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREIN IS BASED UPON AN ON-THE-GROUND SURVEY...
6. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN THE B-30 URBAN COMMERCIAL MIXED USE DISTRICT...
7. APPLICANT INTENDS TO DEVELOP SUBJECT PROPERTY AS MIXED USE BUILDING CONSISTING OF 14 RESIDENTIAL UNITS...
8. THE SIGNATURES OF THE CITY OF PORTLAND PLANNING BOARD ON THIS SUBDIVISION PLAN CONSTITUTE SUBDIVISION APPROVAL...
9. A "SUBDIVISION" IS DEFINED AS THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS...
10. CONSTRUCTION: (a) METHODS AND MATERIALS USED IN CONSTRUCTION OF IMPROVEMENTS WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO CURRENT CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS...
11. THE SITE PLAN PROVIDES FOR SIDEWALKS LOCATED PARTIALLY IN THE CITY RIGHT-OF-WAY AND PARTIALLY ON THE SUBJECT PROPERTY...
12. THE PROJECT APPROVED ON THE SUBJECT PROPERTY SHALL BE SUBJECT TO A TRAFFIC DEMAND MANAGEMENT (TDM) PLAN...
13. THE PLANNING BOARD GRANTED ( ) WARNERS OF APPLICABLE SUBDIVISION AND/OR LAND USE STANDARDS AS SET FORTH IN THE CERTIFICATE OF SUBDIVISION WAIVER APPROVAL RECORDED IN THE COBD AT BOOK PAGE.
14. REFERENCE DEEDS: A. JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP G. BROWN TO J. B. BROWN & SONS DATED MAY 16, 1904...
15. REFERENCE PLANS: A. "ALIGNMENT & LAYOUT - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE - J. B. BROWN & SONS" DATED APRIL 29, 1988...
16. BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE STATE COORDINATE SYSTEM, WEST ZONE.
17. THIS PLAN IS BASED ON A TOTAL STATION SURVEY COMPLETED ON SEPTEMBER 18, 2012, WITH A RAW PRECISION OF 1:60,300.
18. BASIS OF BEARINGS WAS DETERMINED WITH STATIC GPS OBSERVATIONS HORIZONTAL DATUM IS STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD 83.
19. VERTICAL DATUM: CITY OF PORTLAND VERTICAL DATUM OF 1929, NEAREST CITY BENCHMARK IS A 1/4 INCH DRILL HOLE LOCATED ON THE STEPS OF U.S. CUSTOM HOUSE, COMMERCIAL STREET, WITH AN ELEVATION OF 14.072. ELEVATIONS OF THE TEMPORARY BENCHMARKS SHOWN HEREON WERE VERIFIED AGAINST THIS CITY BENCHMARK.
20. PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA FOR FIRM - COMMUNITY PANEL NUMBER 230050013-B DATED JULY 17, 1998.

Table with columns: REVISION, DATE, DESCRIPTION. Includes revision 1 dated 01-02-13 regarding revised city staff and historical/planning board comments.



SUBDIVISION PLAN

LEGEND table defining symbols for IRON ROD OR PIPE, SPINE, PL CORNER, MONUMENT TO BE SET, EASEMENT, BOUNDARY LINE, R.O.W., and ADJUTER LINE, R.O.W.

APPROVAL BY: CITY OF PORTLAND PLANNING BOARD. DATE:

Information for GULF OF MAINE PROPERTIES INC and CITY OF PORTLAND, including addresses and contact details.

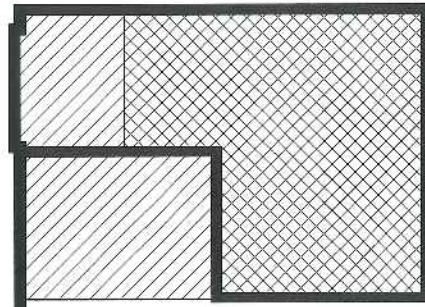
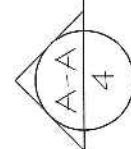
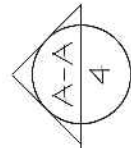
CITY OF PORTLAND information, including address, tax map details, and a GRAPHIC SCALE in feet (1 inch = 20 ft).

CERTIFICATION section with a signature and date (1-2-13) and contact information for Andrew J. Madieu.

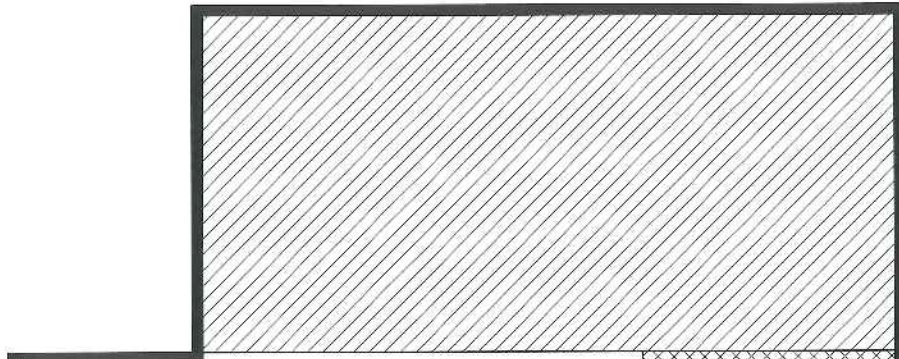
Professional seal for Andrew J. Madieu, Surveyor, and logo for Horizons Engineering, Inc.

PROJECT INFORMATION table including project name, location, date (10-22-12), scale (1"=20'), and sheet number (S01).




Plan 18 Hearing

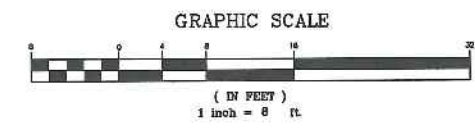


RETAIL UNIT  
7,015 SF



HOTEL UNIT  
9,125 SF

-  COMMON ELEMENT
-  LIMITED COMMON ELEMENT (LCE)
-  UNIT BOUNDARY

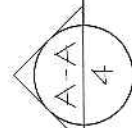
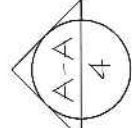


OUTLINE	REV.	BY:	DATE:	STATUS:
SL			01-02-12	

PREPARED BY: STEPHEN M. LONG, PE  
**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE PARK, BIRMINGHAM, NH 03570  
 PHONE (603) 227-5050 FAX (603) 227-5151

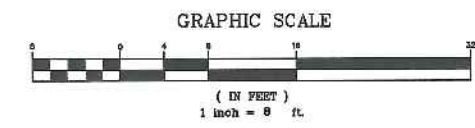
CONDOMINIUM PLAN - FLOOR 1  
 OR  
 VERTICAL BOUNDARIES  
 OF  
 MIXED USE DEVELOPMENT  
 LOCATED ON MAPLE AND COMMERCIAL STREETS, PORTLAND, MAINE  
 DECLARANT: JB BROWN & SONS  
 36 DAVENPORT STREET, PORTLAND, ME 04103

DATE	SCALE
10-22-12	1"=8'



HOTEL UNIT - FLOORS 2, 3, 4, & 5  
18,763 SF/FLOOR (X4 FLOORS) = 75,052 SF TOTAL

- COMMON ELEMENT
- LIMITED COMMON ELEMENT (LCE)
- UNIT BOUNDARY



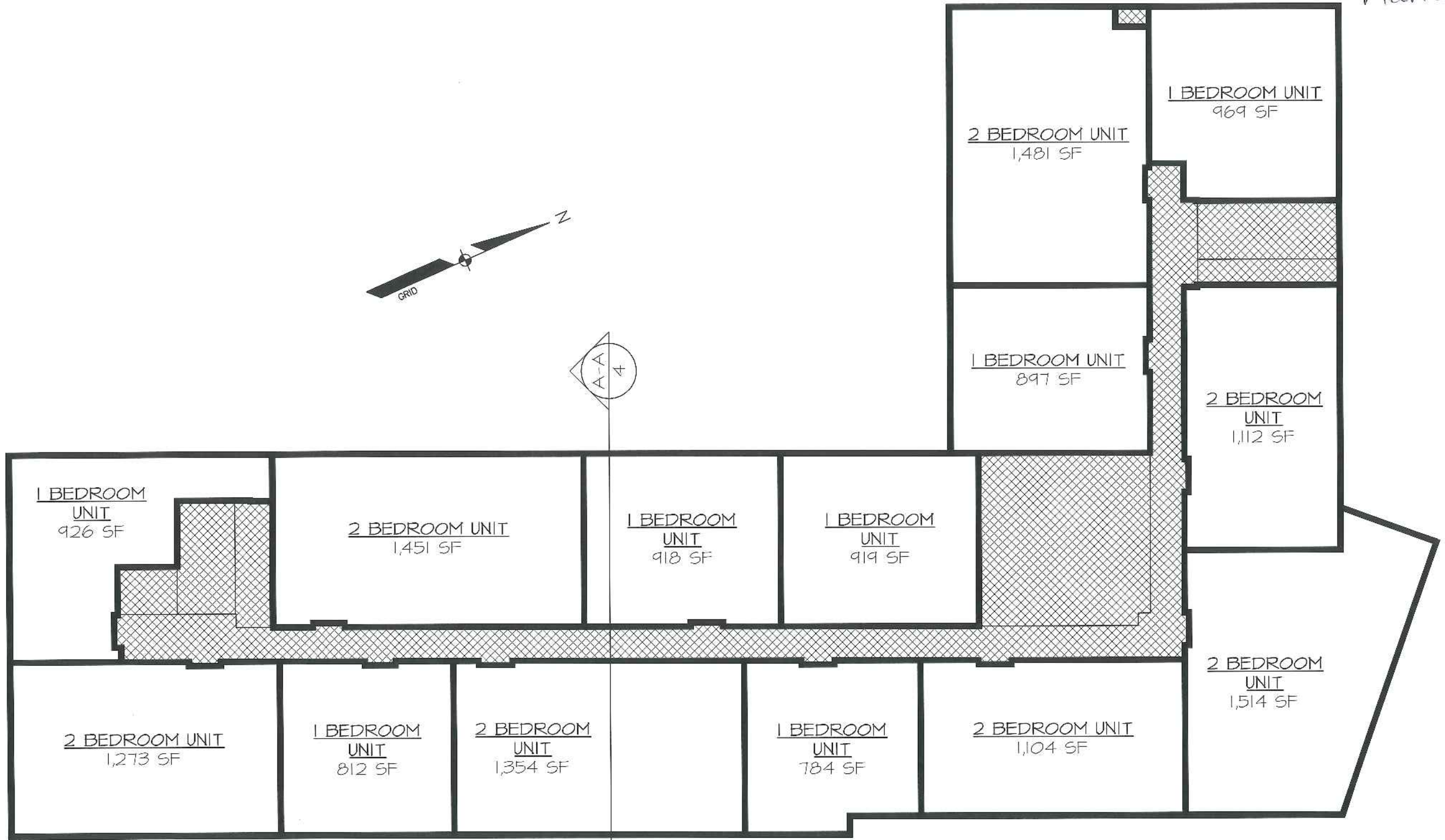
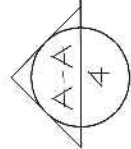
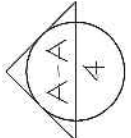
REV.	BY:	DATE:	STATUS:
OUTLINE	SL	01-02-13	




PREPARED BY: STEPHEN M. LONG, PE  
 COPECHED  
 CONSTRUCTION CORPORATION  
 31 CORPORATE DRIVE, BELMONT, NH 03216  
 PHONE (603) 257-7556 FAX (603) 257-7591

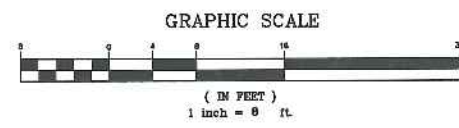
CONDOMINIUM PLAN - FLOORS 2-5  
 OF  
 VERTICAL BOUNDARIES  
 OF  
 MIXED USE DEVELOPMENT  
 LOCATED ON MAPLE AND COMMERCIAL STREETS, PORTLAND, MAINE  
 DECORANT, IR BROWN & SONS  
 36 DANFORTH STREET, PORTLAND, ME 04101

- Plan 20

Hearing



-  COMMON ELEMENT
-  LIMITED COMMON ELEMENT (LCE)
-  UNIT BOUNDARY



OUTLINE	REV	BY	DATE	STATUS

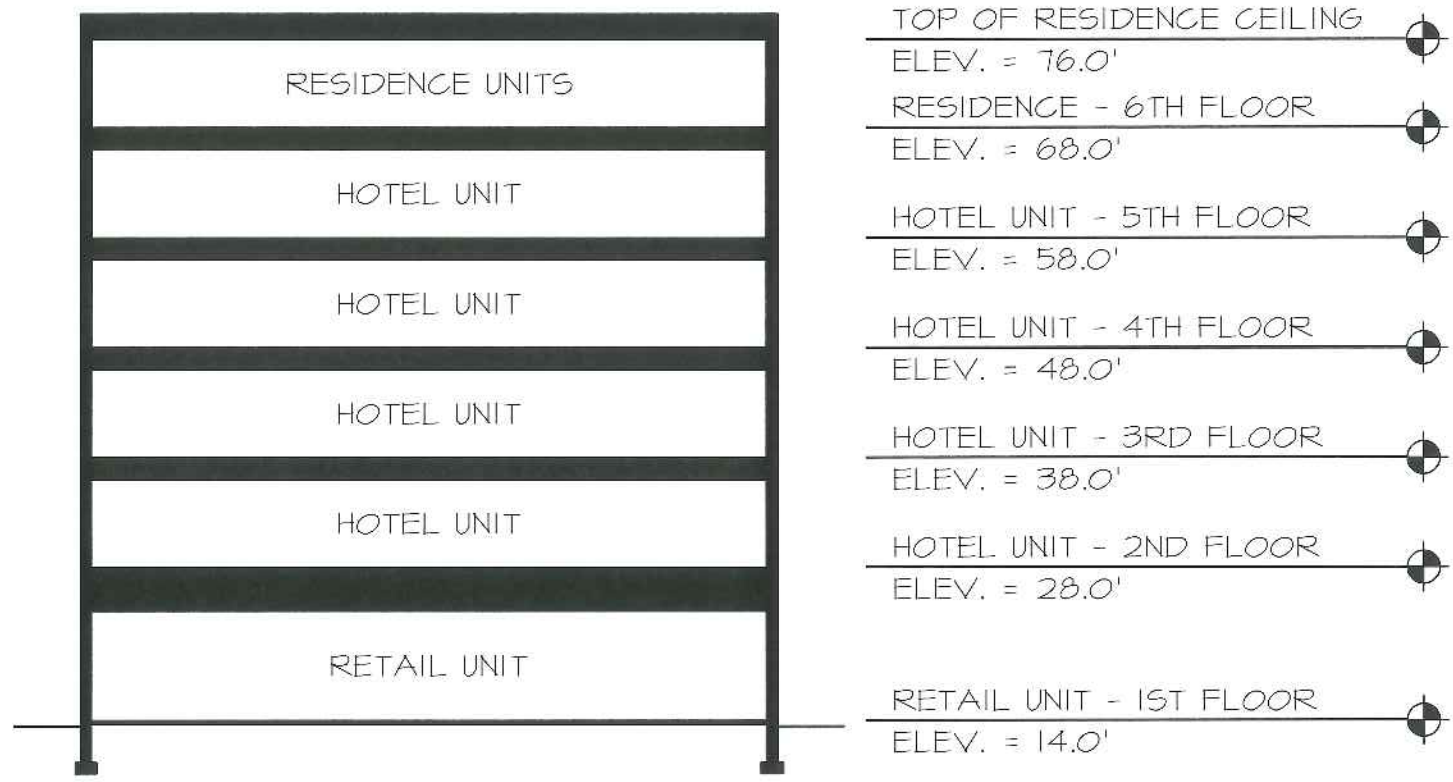
PREPARED BY: STEPHEN M. LONG, PE  
**COPECEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03228  
 PHONE (603) 527-5959 FAX (603) 527-5151

CONDOMINIUM PLAN - FLOOR 6  
 OF  
 VERTICAL BOUNDARIES  
 OF  
 MIXED USE DEVELOPMENT  
 LOCATED ON MAPLE AND COMMERCIAL STREETS, FORTLAND, MAINE  
 DECLARANT: JR. HROWN & SONS  
 36 DANFORTH STREET, FORTLAND, ME 04101

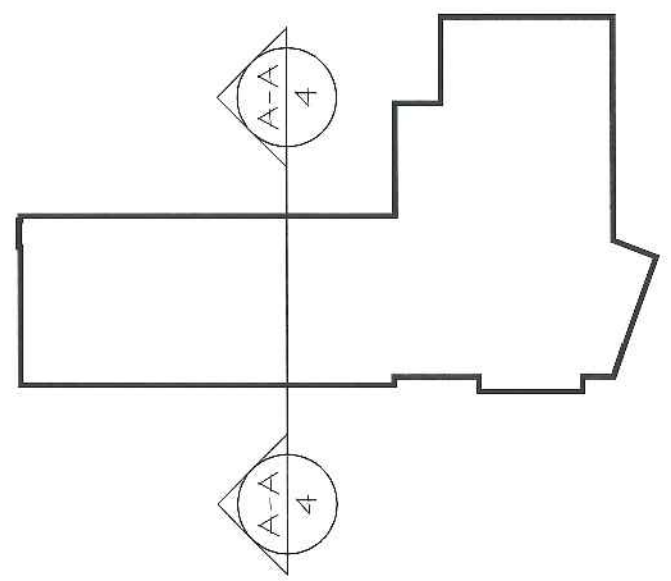
DATE	SCALE
10-22-12	1"=8'

Plan 21

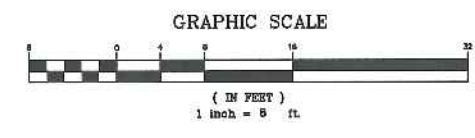
Hearing



SECTION A-A  
1" = 8'



KEY PLAN  
NOT TO SCALE



REV.	BY	DATE	STATUS

PREPARED BY: STEPHEN M. LONG, PE  
**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE BLVD., BELMONT, NJ 07004  
 TEL (609) 427-9800 FAX (609) 427-9331

CONDOMINIUM PLAN -  
 HORIZONTAL BOUNDARIES  
 OF  
 MIXED USE DEVELOPMENT  
 LOCATED ON MAPLE AND COMMERCIAL STREETS, PORTLAND, MAINE  
 DECLARANT: JR BROWN & SONS  
 36 DANFORTH STREET, PORTLAND, ME 04101

DATE	SCALE
10-22-12	1"=8'

Plan 22 Hearing



DATE	REVISION SCHEDULE	REVISION DESCRIPTION
01-02-13	REVISED ELEVATIONS	

**COPECHEE**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03228  
 PHONE (603) 527-8888 FAX (603) 527-9191

**EXTERIOR BUILDING ELEVATIONS**

PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT**  
 PORTLAND, ME

DATE: 12-10-12  
 SCALE: SEE PLAN  
 DRAWN BY: **C12**  
 SHEET:

*rendering materials*



**COMMERCIAL STREET ELEVATION**

Granite Band with Split Face Finish

Fiber Cement Panels- Fascia and Soffit Timber Bark

Face Brick-Slate Grey with Colored Mortar to Match  
 Face Brick-Red with Light Grey Mortar

Aluminum Window Frames-Medium Bronze

Sidewalk Uplight-Typical at Each Granite Pilaster

Sconce Lighting

Aluminum Sign Letters-Halo Lighting

Granite-Split Finish

Aluminum Storefront-Medium Bronze

Medium Bronze Metal Fascia at Canopy

Aluminum Sign Letters-Halo Lighting

Blade Sign with Aluminum Sign Letters-Halo Lighting

Plan 23 Hearing



YORK STREET ELEVATION



Sidewalk Uplight  
Typical of Each Granite  
Pilaster

FOUNDRY LANE ELEVATION

DATE	REVISION DESCRIPTION	BY
10-30-12	REVISED DRAWING LABELS.	
01-02-15	REVISED ELEVATIONS.	

**COPECHEE**  
CONSTRUCTION CORPORATION  
11 CORPORATE DRIVE, BELMONT NH 03228  
PHONE (603) 527-9888 FAX (603) 527-9151

EXTERIOR  
BUILDING  
ELEVATIONS

PROJECT:  
COMMERCIAL & MAPLE STREET  
MIXED USE DEVELOPMENT  
PORTLAND, ME

DATE: 12-10-12  
SCALE: SEE PLAN  
DRAWN BY:  
C13  
SHEET:

*rendering materials*

Plan 24  
Hearing



**View Toward Foundry Lane**

January 2, 2013

**Courtyard by Marriott**

PORTLAND, MAINE

**OPECHEE**  
CONSTRUCTION CORPORATION



Plan 25  
Hearing



**View From South**

January 2, 2013

**Courtyard by Marriott**

PORTLAND, MAINE

**OPECHEE**  
CONSTRUCTION CORPORATION

Plan 26 Hearing



View From East

January 2, 2013

**Courtyard by Marriott**

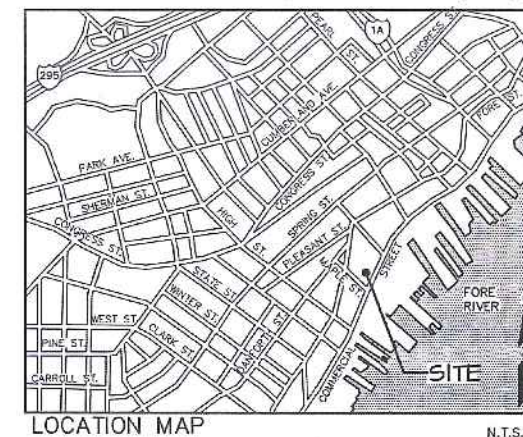
PORTLAND, MAINE



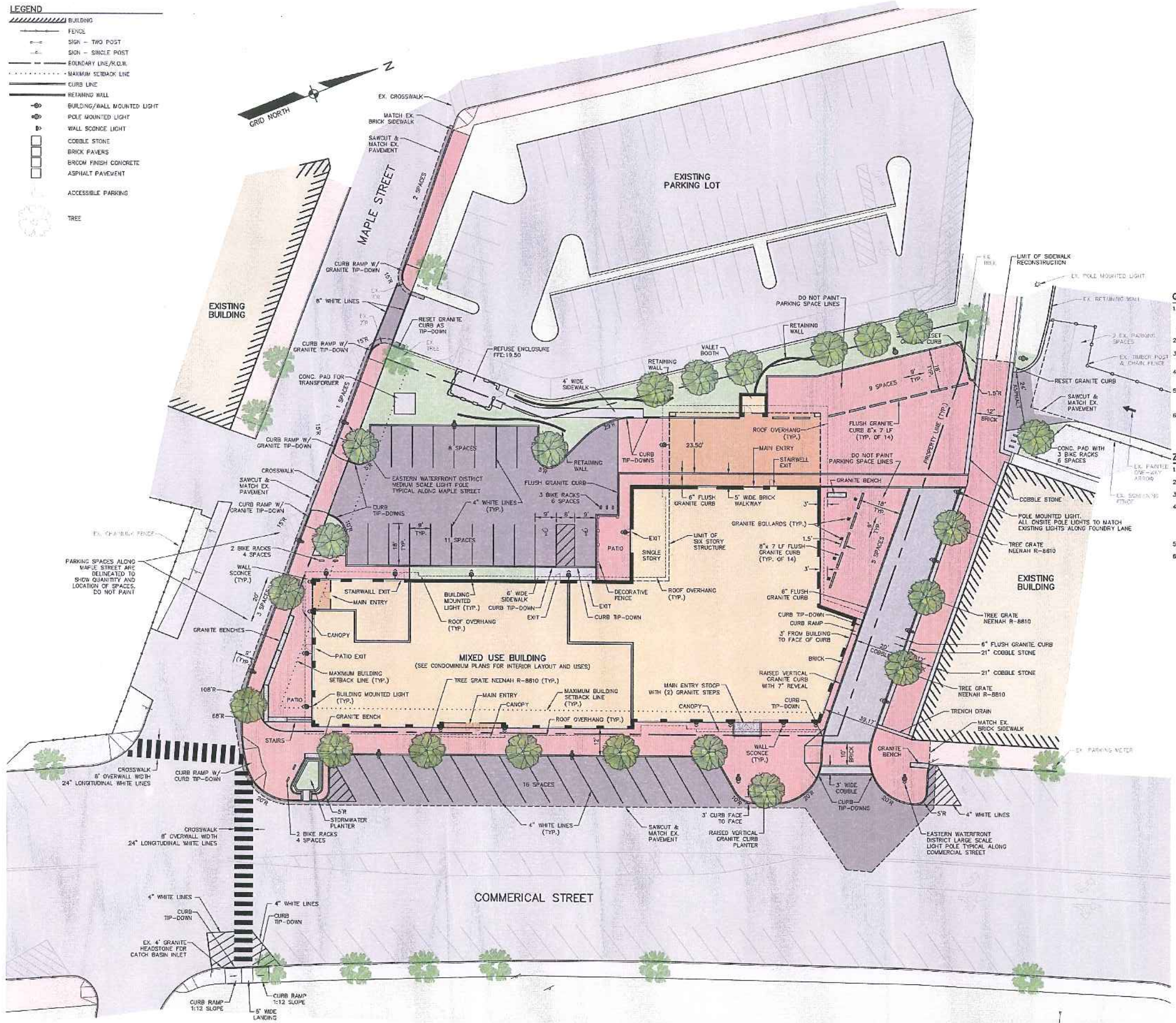
Plan 27 Hearing

**LEGEND**

	BUILDING
	FENCE
	SIGN - TWO POST
	SIGN - SINGLE POST
	BOUNDARY LINE/R.O.S.R.
	MAXIMUM SETBACK LINE
	CURB LINE
	RETAINING WALL
	BUILDING/WALL MOUNTED LIGHT
	POLE MOUNTED LIGHT
	WALL SCONCE LIGHT
	COBBLE STONE
	BRICK PAVERS
	BRONC FINISH CONCRETE
	ASPHALT PAVEMENT
	ACCESSIBLE PARKING
	TREE



REVISION SCHEDULE	DATE	BY	DESCRIPTION
	01-02-13	BJS	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS
	01-15-13	BJS	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS

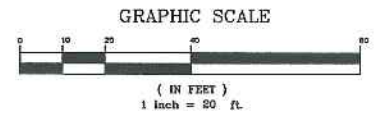


**GENERAL NOTES:**

1. SNOW MAY BE STORED ONLY ON THE GRASSED/LANDSCAPED AREAS ON SITE AND NO PARKING SPACES SHALL BE LOST TO SNOW STORAGE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR
3. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
4. ALL PROPOSED SIDEWALK ADA RAMPS AND CROSSWALK LAYOUTS AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE PLANNING AUTHORITY AND DEPARTMENT OF PUBLIC SERVICES.
5. ALL PROPOSED CURB SHALL BE GRANITE. ALL GRANITE CURBING TO BE INSTALLED FLUSH AT GRADE AND THE RAISED CURB AROUND THE PLANTERS SHALL BE 6 INCHES WIDE UNLESS OTHERWISE SPECIFIED. ALL OTHER GRANITE CURB SHALL BE 5 INCHES.
6. DELIVERY TRUCKS WILL UTILIZE THE COMMERCIAL STREET MEDIAN WHEN MAKING DELIVERIES TO THE PROPOSED BUILDING. COORDINATION OF DELIVERIES SHALL BE SUCH THAT THE PROPOSED CROSSWALK IS NOT BLOCKED BY TRUCKS.

**ZONING SUMMARY:**

1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
3. BUILDING FOOTPRINT: 19,501 SQ.FT.
4. BUILDING FLOOR SPACE:
  - RESTAURANT: 7,186 SQ.FT.
  - HOTEL: 80,008 SQ.FT.
  - 14 RESIDENTIAL UNITS: 18,784 SQ.FT. PLUS 764 SQ.FT. LOBBY
  - TOTAL: 113,321 SQ.FT.
5. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN B5b URBAN COMMERCIAL MIXED USE DISTRICT.
6. SPACE AND BULK CRITERIA FOR THE B5b URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
  - (a) MINIMUM LOT SIZE: NONE
  - (b) MINIMUM STREET FRONTAGE: NONE
  - (c) YARD DIMENSIONS:
    - 1. MINIMUM YARDS IN THE B-5 AND B-5b ZONES:
      - FRONT SETBACK: NONE
      - SIDE SETBACK: NONE
      - REAR SETBACK: NONE
    - 2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET; PROVIDED: 2.01' COMMERCIAL ST., 3.59' MAPLE ST.
    - 3. MAXIMUM STREET SETBACK: NOT APPLICABLE
    - (d) MAXIMUM LOT COVERAGE: 100 PERCENT; PROVIDED: 82 PERCENT
    - (e) MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS PER ACRE, 63 ALLOWED; PROVIDED: 14 UNITS
    - (f) MAXIMUM BUILDING HEIGHT: 65 FEET; PROVIDED: 64'-10"
    - (g) MINIMUM BUILDING HEIGHT: NOT APPLICABLE

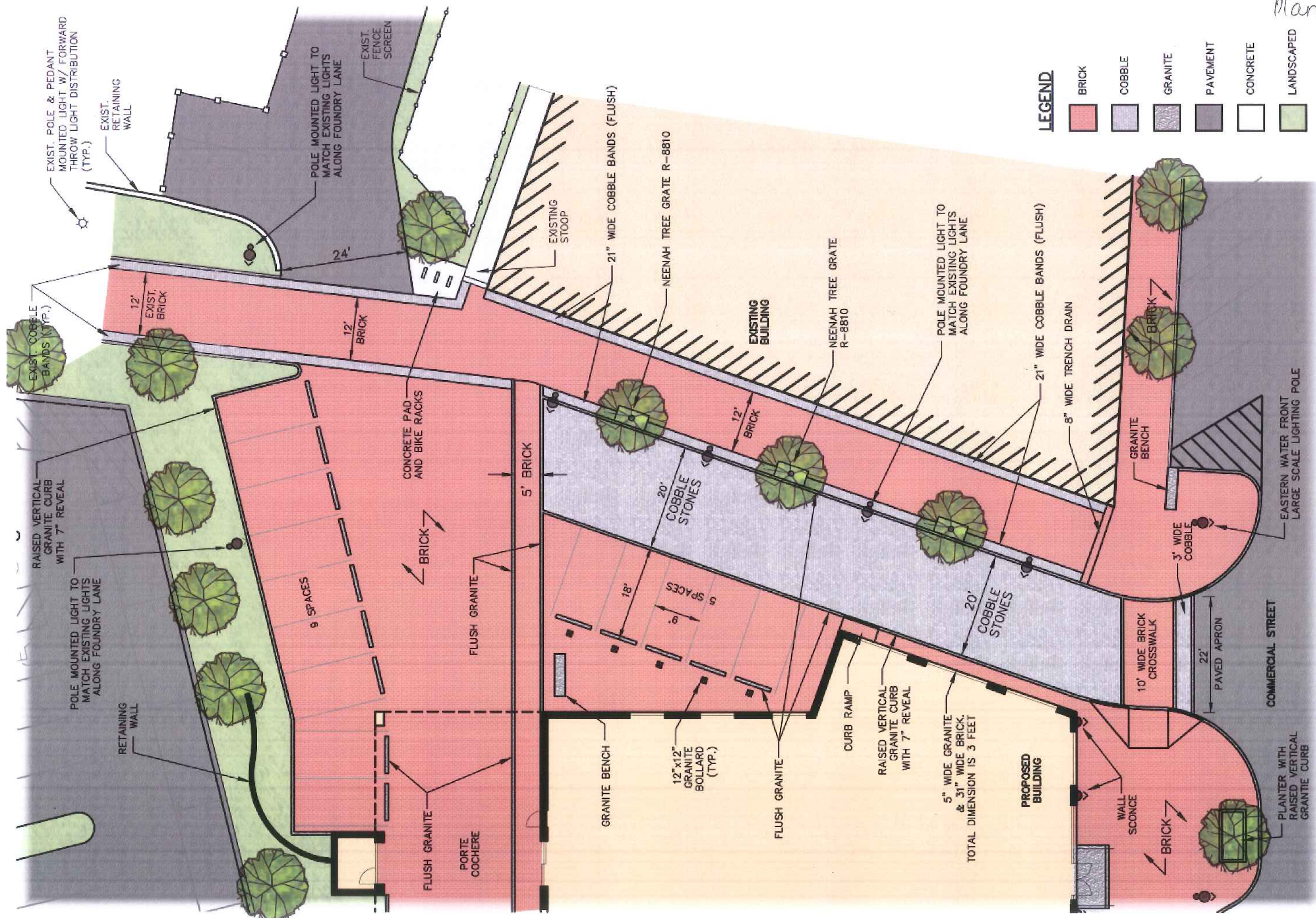


**SITE PLAN**

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
 PORTLAND, ME

DATE: 10-22-12  
 SCALE: 1"=20'  
 DRAWN BY: BJS  
**C04**  
 SHEET: 4 OF 14

© COPYRIGHT 2012 BY O.C.G.



**LEGEND**

- BRICK
- COBBLE
- GRANITE
- PAVEMENT
- CONCRETE
- LANDSCAPED

**CONCEPTUAL PLAN OF  
FOUNDRY LANE IMPROVEMENTS  
MIXED USE DEVELOPMENT - J.B. BROWN**

DATE: NOVEMBER 20, 2012  
 LAST REVISED: 01-15-2013  
 SCALE: 1 INCH = 16 FEET

**COPECHED**  
 CONSTRUCTION CORPORATION  
 11 CORPORATE DRIVE, BELMONT NH 03220  
 PHONE (603) 657-6666 FAX (603) 657-0181