

COMMERCIAL AND MAPLE STREET MIXED USE DEVELOPMENT

321 COMMERCIAL STREET
PORTLAND, MAINE

PREPARED BY:



CONSTRUCTION CORPORATION

11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 527-9090 FAX (603) 527-9191

OCTOBER 22, 2012

OWNER/APPLICANT:

J B BROWN & SONS
P.O. BOX 207
PORTLAND, ME 04112

AGENT:

OPECHÉE CONSTRUCTION CORPORATION
11 CORPORATE DRIVE
BELMONT, NH 03220

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GENERAL NOTES

1. RECORD OWNER:
J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112
2. REFERENCE DEEDS:
A. JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP G. BROWN TO J. B. BROWN & SONS DATED MAY 16, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 749 PAGE 43.
B. POULTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CCRD BOOK 4208 PAGE 56.
C. POULTRY PROCESSING, INC. TO J. B. BROWN & SONS DATED MAY 2, 1978 AND RECORDED IN CCRD BOOK 4466 PAGE 50.
3. REFERENCE PLANS:
A. "ALIGNMENT & GRADING - PARKING LOT 311-331 COMMERCIAL STREET PORTLAND MAINE J. B. BROWN & SONS" DATED APRIL 29, 1998 AND SURVEYED BY HERBERT P. GRAY.
B. "LAND OF BAXTER PLACE ASSOCIATES AND DISPOSITION OF FOUNDRY LANE" DATED MAY 16, 1995, SURVEYED BY HERBERT P. GRAY AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 195 PAGE 127.
C. "PLAN OF LAND IN PORTLAND, MAINE FOR J. B. BROWN & SONS" DATED MARCH 27, 1978, SURVEYED BY OWEN & HASKELL, INC. AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 119 PAGE 40.
D. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP PORTLAND, CUMBERLAND COUNTY FEDERAL AID PROJECT NO. M-0685(4) DATED JUNE, 1991 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 193 PAGE 341.
E. "CITY OF PORTLAND, MAINE DEPARTMENT OF PUBLIC WORKS COMMERCIAL STREET CROSS '10 HIGH" DATED APRIL 27, 1943, SHEET 624/3.
4. PARCEL IS DEPICTED AS CITY OF PORTLAND PLAN 40, BLOCK E PARCEL 3.
5. BEARINGS SHOWN HEREON REFER TO GRID NORTH AND ARE BASED ON THE MAINE STATE COORDINATE SYSTEM, WEST ZONE.
6. THIS PLAN IS BASED ON A TOTAL STATION SURVEY COMPLETED ON SEPTEMBER 18, 2012 WITH A RAW PRECISION OF 1:60,300.
7. BASIS OF BEARINGS WAS DETERMINED WITH STATIC GPS OBSERVATIONS. HORIZONTAL DATUM IS STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAD 83.
8. VERTICAL DATUM: CITY OF PORTLAND VERTICAL DATUM OF NGVD 1929. NEAREST CITY BENCH MARK IS A 1/2-INCH DRILL HOLE LOCATED ON THE STEPS OF U.S. CUSTOM HOUSE, COMMERCIAL STREET, WITH AN ELEVATION OF 14.072. ELEVATIONS OF THE TEMPORARY BENCHMARKS SHOWN HEREON WERE VERIFIED AGAINST THIS CITY BENCH MARK.
9. PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM COMMUNITY PANEL NUMBER 230051 0013 D DATED JULY 17, 1986.



MILLIKEN SMITH BLOCK, LLC
363 COMMERCIAL STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 42, BLOCK A LOT 1

RUFUS DEERING COMPANY
363 COMMERCIAL STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 42, BLOCK A LOT 7

CITY OF PORTLAND
389 CONGRESS STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 41, BLOCK A LOT 14

J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK F LOT 11
BOOK 11524 PAGE 19
14-28 YORK STREET
32-36 CENTER STREET

BAXTER PLACE, LLC
315 COMMERCIAL STREET
PORTLAND, MAINE 04112
PORTLAND ASSESSORS PLAN 40, BLOCK F LOT 9
BOOK 23003 PAGE 51
297-309 COMMERCIAL STREET
2-30 CENTER STREET

LEGEND

- IRON ROD OR PIPE FOUND, DIMENSIONS LABELED ON PLAN
- △ SPIKE FOUND
- CORNER, NOTHING FOUND OR SET
- 5/8-INCH ROD WITH IDENTIFICATION CAP (TO BE SET)
- GRID COORDINATE, MAINE WEST ZONE, NAD 83, US SURVEY FEET

CERTIFICATION

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY CONFORMS WITH THE MAINE BOARD OF LAND SURVEYORS RULES, CHAPTER 50: STANDARDS OF PRACTICE.

1-2-13
ANDREW W. J. NADDEAU, PLS 2326

34 School Street
Littleton, NH 03561
Phone 603.444.4111 - Fax 603.444.1343

STANDARD BOUNDARY SURVEY OF LAND OF
J. B. BROWN & SONS
P.O. BOX 207
PORTLAND, MAINE 04112
LOCATED ON
COMMERCIAL STREET &
MAPLE STREET - PORTLAND, MAINE
MADE FOR
OPECHEE CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03220

NO.	DATE	REVISION DESCRIPTION	ENG	DWG
1.	1-2-13	REVISED PER CITY COMMENTS	---	AJN

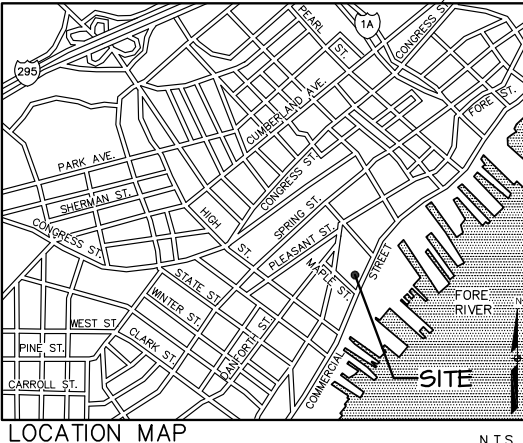
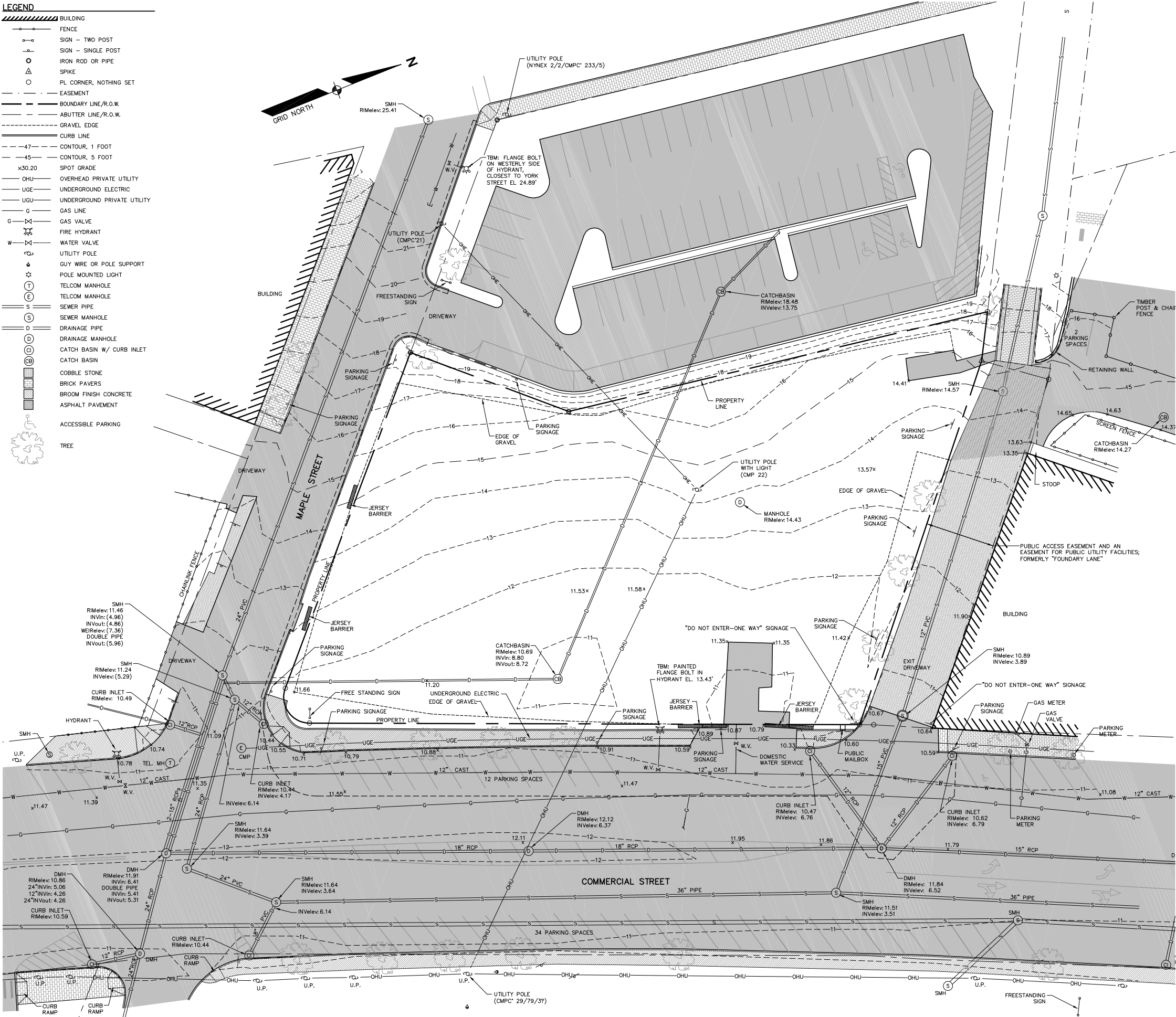
DATE: 10-22-2012
PROJECT #: 12204
SURV'D BY: AJN/JDN
DRAWN BY: AJN
CHECK'D BY: AJN
ARCHIVE #: H - 5039

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SHEET 1

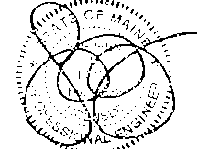
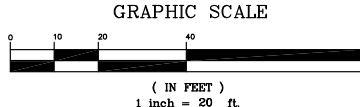
LEGEND

- BUILDING
FENCE
SIGN - TWO POST
SIGN - SINGLE POST
IRON ROD OR PIPE
SPIKE
PL. CORNER, NOTHING SET
EASEMENT
BOUNDARY LINE/R.O.W.
ABUTTER LINE/R.O.W.
GRAVEL EDGE
CURB LINE
CONTOUR, 1 FOOT
CONTOUR, 5 FOOT
SPOT GRADE
OVERHEAD PRIVATE UTILITY
UNDERGROUND ELECTRIC
UNDERGROUND PRIVATE UTILITY
GAS LINE
GAS VALVE
FIRE HYDRANT
WATER VALVE
UTILITY POLE
GUY WIRE OR POLE SUPPORT
POLE MOUNTED LIGHT
TELCOM MANHOLE
TELCOM MANHOLE
SEWER PIPE
SEWER MANHOLE
DRAINAGE PIPE
DRAINAGE MANHOLE
CATCH BASIN W/ CURB INLET
CATCH BASIN
COBBLE STONE
BRICK PAVERS
BROOM FINISH CONCRETE
ASPHALT PAVEMENT
ACCESSIBLE PARKING
TREE



GENERAL NOTES

1. THE RECORD OWNER OF THE SUBJECT PROPERTY IS THE APPLICANT, J. B. BROWN & SONS. DEEDS GRANTING THE SUBJECT PROPERTY TO THE APPLICANT ARE THE FOLLOWING: A DEED FROM JOSEPH A. SYMONDS, JOHN MARSHALL BROWN AND PHILIP G. BROWN, DATED MAY 16, 1904 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 749, PAGE 43; A DEED FROM POULTRY PROCESSING, INC., DATED MAY 2, 1978 AND RECORDED IN SAID REGISTRY IN BOOK 4208, PAGE 56; AND A DEED FROM POULTRY PROCESSING, INC., DATED AUGUST 29, 1979 AND RECORDED IN SAID REGISTRY IN BOOK 4486, PAGE 50.
2. THE PROPERTY IS SHOWN AS LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
3. TOTAL AREA OF PARCEL IS 38,770 SQ.FT. OR 0.89 ACRES
4. LAND BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ON-THE-GROUND SURVEY TITLED "STANDARD BOUNDARY SURVEY OF LAND OF J. B. BROWN & SONS" BY HORIZONS ENGINEERING, INC. DATED OCTOBER 22, 2012
5. THE PROPERTY IS LOCATED WITHIN THE CITY OF PORTLAND B5b URBAN COMMERCIAL MIXED USE DISTRICT.
6. REFERENCE DEEDS:
A. JOSEPH A. SYMONDS, JOHN MARSHALL BROWN & PHILIP G. BROWN TO J. B. BROWN & SONS DATED MAY 16, 1904 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 749 PAGE 43.
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9. PREMISES ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA PER FIRM- COMMUNITY PANEL NUMBER 2300510013-B DATED JULY 17, 1986.



REVISION	SCHEDULE	REVISION DESCRIPTION
BY	DATE	REVISION
BJ5	01-02-19	REVISED BENCHMARKS & NOTES PER CITY STAFF COMMENTS

COPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 327-9080 FAX (603) 327-9191

EXISTING
CONDITIONS

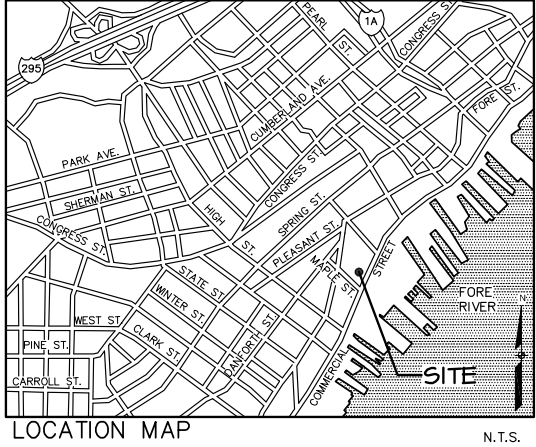
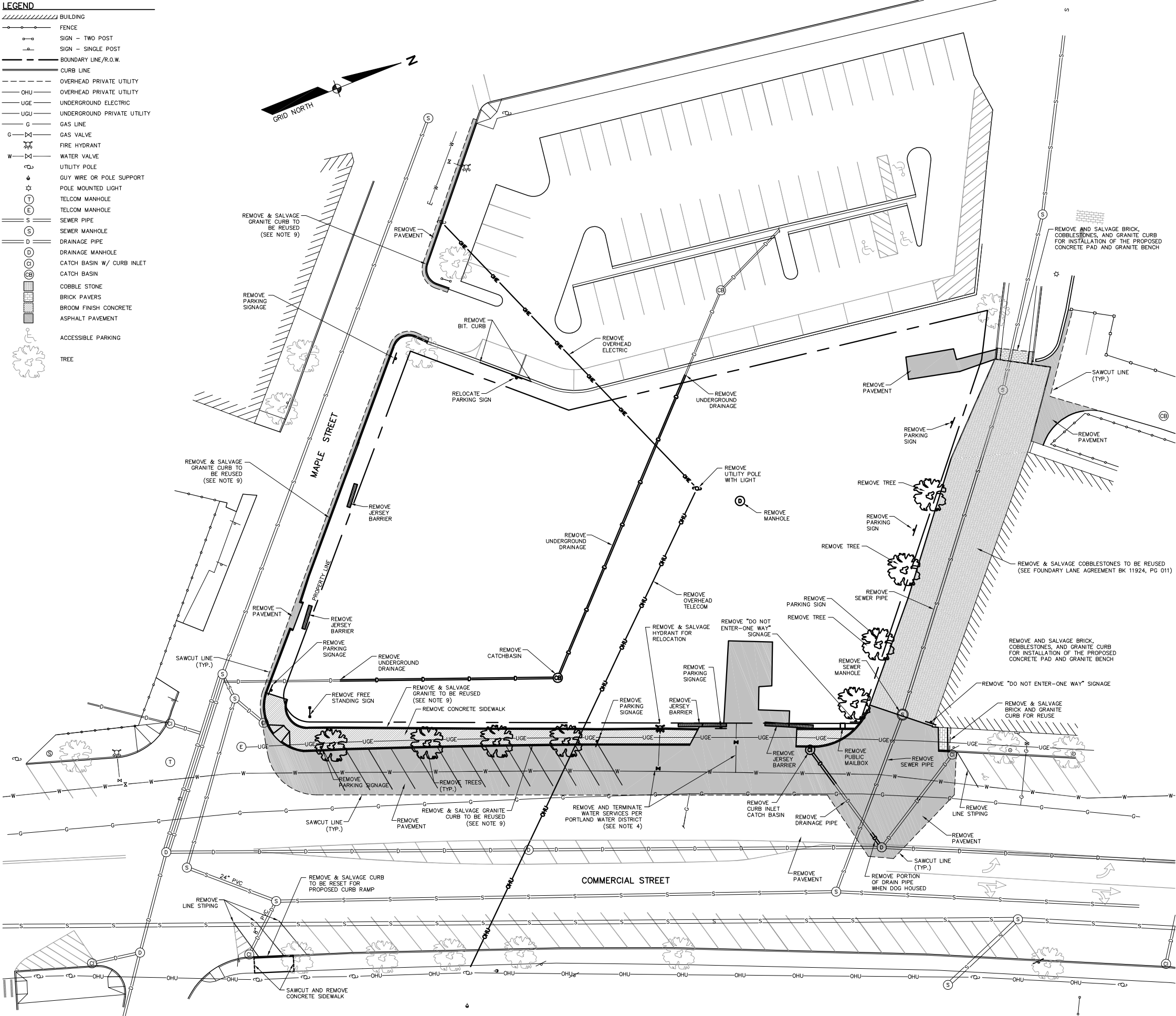
PROJECT: COMMERCIAL & MAPLE STREET
MIXED USE DEVELOPMENT
PORTLAND, ME

DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: BJ5

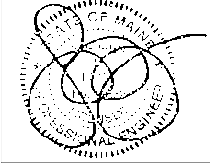
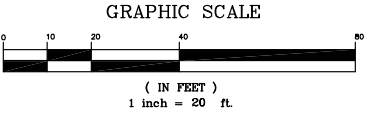
C02
SHEET: 2 OF 14

LEGEND

- BUILDING
- FENCE
- SIGN - TWO POST
- SIGN - SINGLE POST
- BOUNDARY LINE/R.O.W.
- CURB LINE
- OVERHEAD PRIVATE UTILITY
- OHU OVERHEAD PRIVATE UTILITY
- UGE UNDERGROUND ELECTRIC
- UGU UNDERGROUND PRIVATE UTILITY
- G GAS LINE
- G GAS VALVE
- FIRE HYDRANT
- W WATER VALVE
- UTILITY POLE
- GUY WIRE OR POLE SUPPORT
- POLE MOUNTED LIGHT
- TELCOM MANHOLE
- TELCOM MANHOLE
- SEWER PIPE
- SEWER MANHOLE
- DRAINAGE PIPE
- DRAINAGE MANHOLE
- CATCH BASIN W/ CURB INLET
- CATCH BASIN
- COBBLE STONE
- BRICK PAVERS
- BROOM FINISH CONCRETE
- ASPHALT PAVEMENT
- ACCESSIBLE PARKING
- TREE



- GENERAL NOTES**
1. THE SITE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.
 2. THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND CERTIFICATES.
 3. ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF BY APPROVED LEGAL MEANS.
 4. EXISTING UTILITIES SHALL BE REMOVED WITHIN THE LIMITS OF WORK REQUIRED FOR NEW CONSTRUCTION. TERMINATED UTILITIES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE DISCONNECTED, SEALED, REMOVED OR ABANDONED IN PLACE AS INDICATED ON THE PLANS AND IN ACCORDANCE WITH THE APPLICABLE STANDARDS, NOTIFICATION REQUIREMENTS AND DOCUMENTATION REQUIREMENTS OF THE AUTHORITY WITH OWNERSHIP OF AND/OR JURISDICTION OVER THOSE UTILITIES.
 5. THE SITE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE AND UTILITY DEMOLITION WITH ANY PROJECT PHASING AND LOGISTIC PLANS.
 6. OVERHEAD ELECTRIC AND TELECOMMUNICATIONS CABLES AND UTILITY POLES AND APPURTENANCES ARE TO BE REMOVED/RELOCATED BY THE UTILITY COMPANIES OWNING SUCH FACILITIES. THE GENERAL CONTRACTOR IS TO COORDINATE SCHEDULE WITH UTILITY COMPANY AND OWNER.
 7. REFER TO THE SITE PLAN, AND THE GRADING AND UTILITY PLAN FOR LIMITS OF NEW CONSTRUCTION WORK.
 8. REMOVAL AND ABANDONMENT OF SANITARY SEWERS AND STORM DRAINS:
A. PRIOR TO REMOVING OR ABANDONING ANY STORMWATER OF SANITARY SEWER LATERAL OR MAIN, THE CONTRACTOR SHALL OBTAIN A SEAL DRAIN PERMIT FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE SEWER MAINTENANCE DIVISION STATING THE DATE AND TIME THE CONTRACTOR INTENDS TO COMPLETE THE WORK.
B. ALL SANITARY AND STORM DRAIN MANHOLES INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY.
C. STORM DRAINS AND SANITARY SEWER INDICATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. THE EXISTING SEWER/RAIN LATERALS TO BE REMOVED SHALL BE PLUGGED AT THE MAIN OR AT THE CONNECTING STRUCTURE TO REMAIN IN ACCORDANCE WITH CITY OF PORTLAND PUBLIC SERVICES STANDARDS.
 9. GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY THAT IS SALVAGED CLEANED AND STACKED ON SITE, AS DIRECTED BY THE GENERAL CONTRACTOR, FOR RE-INSTALLATION.
A. ANY GRANITE CURBING REMOVED FROM THE PUBLIC RIGHT OF WAY THAT IS SALVAGED AND NOT REINSTALLED SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND. THE SITE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, WITHOUT DAMAGE, CLEANING AND STACKING IN A CITY DESIGNATED LOCATION. ALL STRAIGHT, CURVED, TERMINAL, AND CORNER SECTIONS OF CURBING SHALL BE SALVAGED. EACH SECTION OF STRAIGHT CURBING SHALL HAVE ITS OVERALL LENGTH PAINTED LEGIBLY ON ONE END. EACH SECTION OF CURVED CURBING SHALL HAVE ITS OVERALL ARC LENGTH AND RADIUS PAINTED LEGIBLY ON ONE END.



REVISION	REVISION DESCRIPTION	DATE
01-02-19	REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS	

COPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT, NH 03220
PHONE (603) 327-9080 FAX (603) 327-9191

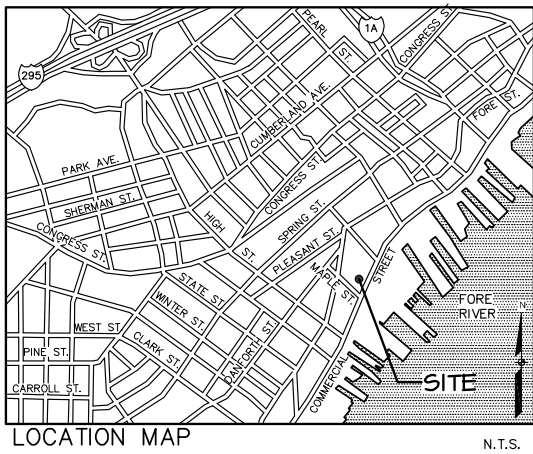
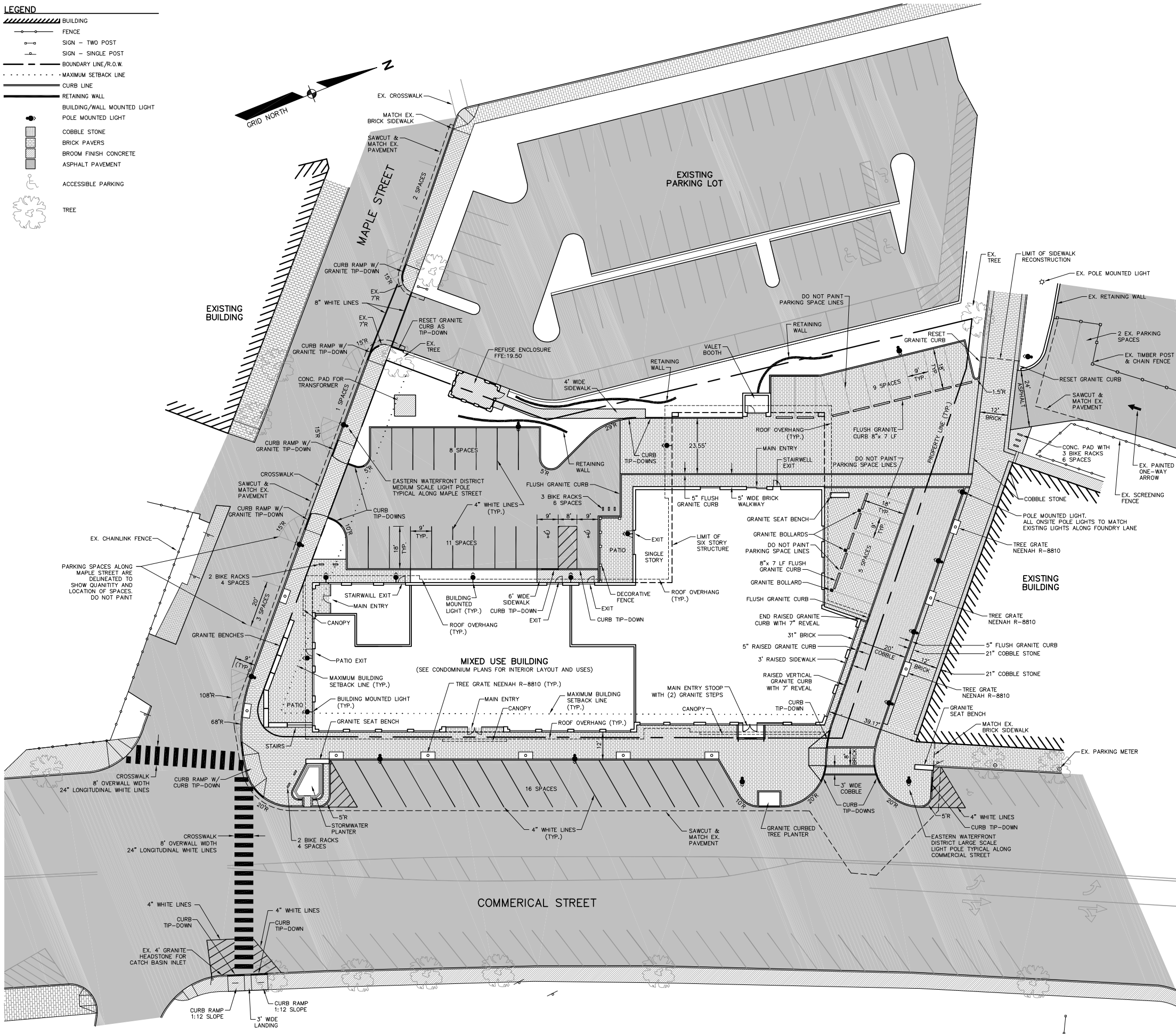
DEMOLITION PLAN

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT
PORTLAND, ME

DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: BJS
C03
SHEET: 3 OF 14

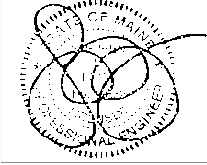
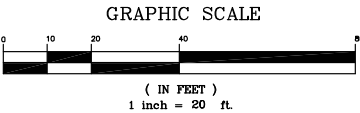
LEGEND

- BUILDING
- FENCE
- SIGN - TWO POST
- SIGN - SINGLE POST
- BOUNDARY LINE/R.O.W.
- MAXIMUM SETBACK LINE
- CURB LINE
- RETAINING WALL
- BUILDING/WALL MOUNTED LIGHT
- POLE MOUNTED LIGHT
- COBBLE STONE
- BRICK PAVERS
- BROOM FINISH CONCRETE
- ASPHALT PAVEMENT
- ACCESSIBLE PARKING
- TREE



- GENERAL NOTES:**
1. SNOW MAY BE STORED ON ANY OF THE GRASSED OR LANDSCAPED AREA ON THE PROJECT SITE. WHEN NECESSARY, SNOW SHALL BE REMOVED FROM THE SITE AND TRANSPORTED TO A PROPER LOCATION IF ACCUMULATED SNOW IMPAIRS ANY ENTRANCE/EXIT, PEDESTRIAN CIRCULATION, OR OTHERWISE PRESENTS A HAZARD.
 2. STORAGE FOR RESIDENTIAL BIKES PROVIDED WITHIN STORAGE ROOM ON 6TH FLOOR
 3. ALL WORK WITHIN THE STREET RIGHT OF WAY WILL MEET THE STANDARDS IN THE CITY OF PORTLAND'S DESIGN AND TECHNICAL MANUALS.
 4. ALL PROPOSED SIDEWALK ADA RAMPS AND CROSSWALK LAYOUT AND LOCATIONS SHALL BE APPROVED PRIOR TO CONSTRUCTION BY BRUCE HYMAN, THE PORTLAND'S BIKE/PED COORDINATOR. PHONE CONTACT: (207) 400-9243.
 5. ALL PROPOSED CURB SHALL BE GRANITE. ALL GRANITE CURBING TO BE INSTALLED FLUSH AT GRADE AND THE RAISED CURB AROUND THE STORMWATER PLANTER SHALL BE 6 INCHES WIDE UNLESS OTHERWISE SPECIFIED. ALL OTHER GRANITE CURB SHALL BE 5 INCHES.
 6. DELIVERY TRUCKS AND PERSONNEL WILL UTILIZE THE EXISTING UPPER PARKING LOT AND THE PROPOSED CONNECTING SIDEWALK WHEN MAKING DELIVERIES TO THE PROPOSED BUILDING.

- ZONING SUMMARY:**
1. SUBJECT PROPERTY IS A PORTION OF LOT 3 OF BLOCK E ON THE CITY OF PORTLAND TAX MAP 40.
 2. TOTAL LAND AREA OF SUBJECT PROPERTY IS APPROXIMATELY 0.8932 SQ.FT.
 3. ZONING DISTRICT: SUBJECT PROPERTY IS LOCATED IN B5b URBAN COMMERCIAL MIXED USE DISTRICT.
 4. SPACE AND BULK CRITERIA FOR THE B5b URBAN COMMERCIAL MIXED USE DISTRICT ARE AS FOLLOWS:
 - (a) MINIMUM LOT SIZE: NONE
 - (b) MINIMUM STREET FRONTAGE: NONE
 - (c) YARD DIMENSIONS:
 - 1. MINIMUM YARDS IN THE B-5 AND B-5b ZONES:
 - FRONT SETBACK: NONE
 - SIDE SETBACK: NONE
 - REAR SETBACK: NONE
 - 2. MAXIMUM FRONT YARD SETBACK IN THE B-5b ZONE: 10 FEET
 - 3. MAXIMUM STREET SETBACK: NOT APPLICABLE
 - (d) MAXIMUM LOT COVERAGE: 100 PERCENT
 - (e) MAXIMUM RESIDENTIAL DENSITY: 60 DWELLING UNITS PER ACRE
 - (f) MAXIMUM BUILDING HEIGHT: 65 FEET
 - (g) MINIMUM BUILDING HEIGHT: NOT APPLICABLE



REVISION	SCHEDULE	REVISION DESCRIPTION
01-02-19		REVISED PER CITY STAFF AND HISTORICAL PLANNING BOARD COMMENTS
DATE		

COPECHEE
CONSTRUCTION CORPORATION
11 CORPORATE DRIVE, BELMONT NH 03220
PHONE (603) 237-9090 FAX (603) 237-9191

SITE PLAN

PROJECT: **COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT**
PORTLAND, ME

DATE: 10-22-12
SCALE: 1"=20'
DRAWN BY: BJ5
C04
SHEET: 4 OF 14