

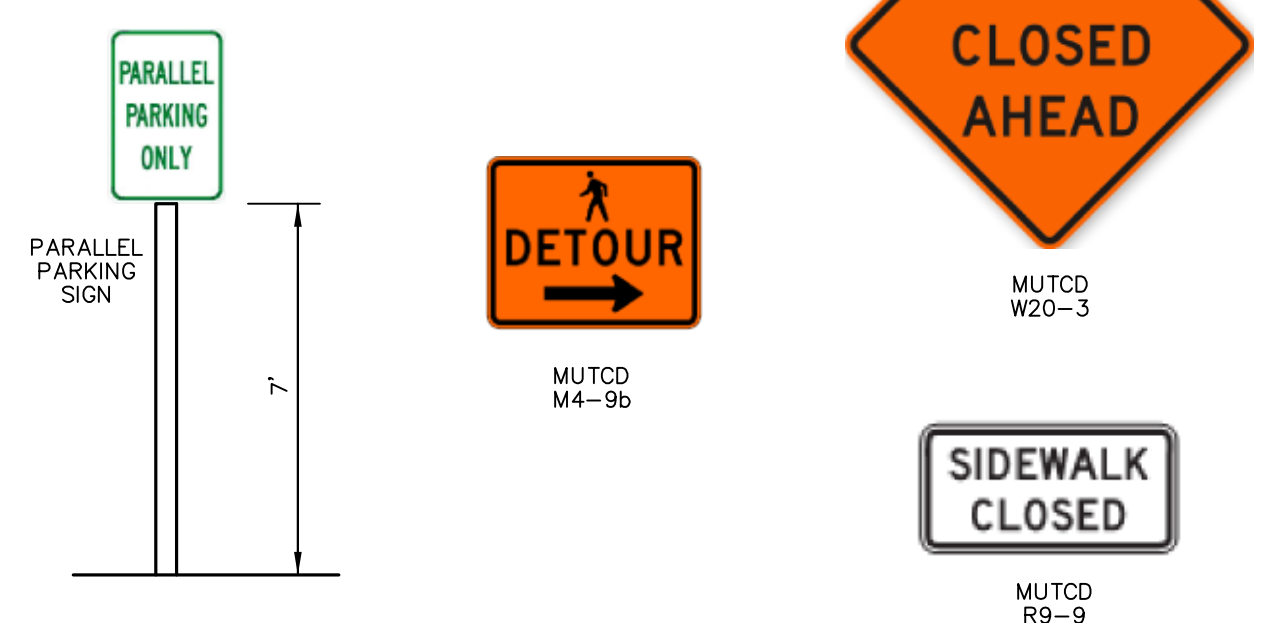
**CONSTRUCTION SEQUENCING:**

1. BEGIN MASONRY CONSTRUCTION (WORK IN DIRECTION OF ARROWS).
2. BEGIN UNDERGROUND ELECTRIC AND COMMUNICATIONS CONSTRUCTION.
3. BEGIN WATER AND GAS CONSTRUCTION.
4. BEGIN BUILDING INTERIOR CONSTRUCTION.
5. COMPLETE MASONRY CONSTRUCTION.
6. COMPLETE UNDERGROUND ELECTRIC AND COMMUNICATIONS.
7. COMPLETE WATER AND GAS CONSTRUCTION.
8. BEGIN AND COMPLETE DRAINAGE AND SEWER CONSTRUCTION.
9. BEGIN AND COMPLETE INSTALLING SITE LIGHTING.
10. BEGIN AND COMPLETE CONSTRUCTING RETAINING WALLS, DRIVEWAYS, WALKWAYS IMPROVEMENTS.

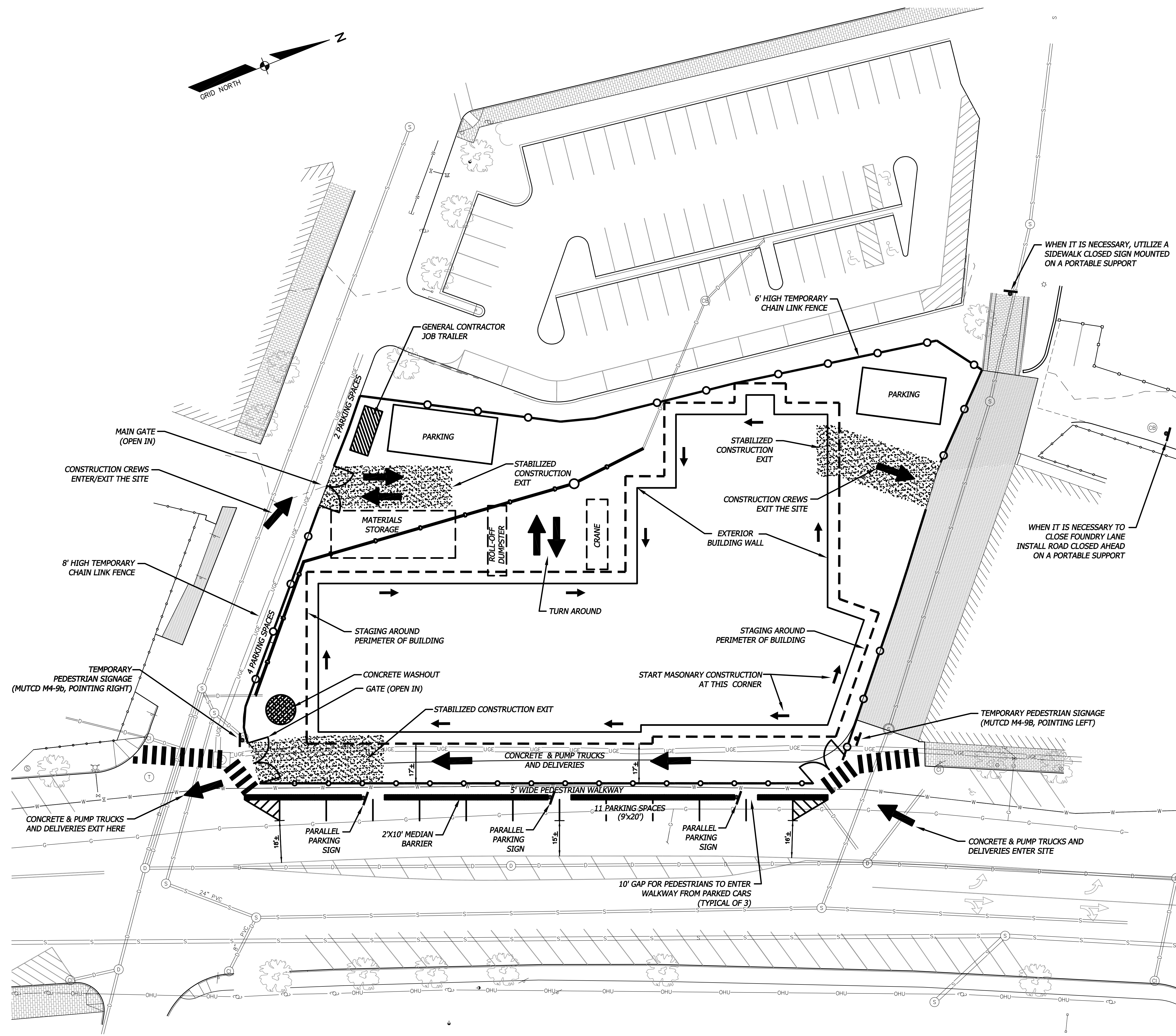
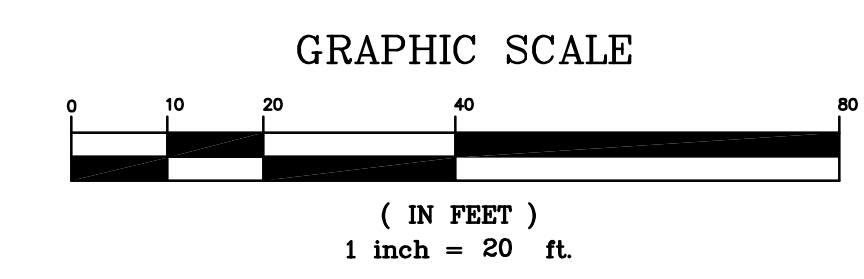
**GENERAL NOTES:**

1. DUST SHALL BE KEPT TO A MINIMUM. THE SITE SUBCONTRACTOR SHALL SPRAY WATER FOR DUST CONTROL. IF NECESSARY CALCIUM CHLORIDE CAN ALSO BE UTILIZED.
2. VIBRATION MONITORING SHALL BE IMPLEMENTED AND TO INCLUDE PRE-CONSTRUCTION VIDEO DOCUMENTATION OF ADJACENT STRUCTURES, SEISMOGRAPH RECORDINGS DURING THE INSTALLATION OF THE RAMMED AGGREGATE PIERS, AND A POST-MONITORING REPORT SHALL BE GENERATED.
3. NOISES CREATED BY CONSTRUCTION AND MAINTENANCE ACTIVITIES BETWEEN 7:00 AM AND 10:00 PM ARE EXEMPT FROM THE MAXIMUM PERMISSIBLE SOUND LEVELS SET FORTH IN SUBSECTION (b)3 OF PERFORMANCE STANDARDS SECTION 14-230.5.
4. THE HOURS OF CONSTRUCTION ARE 7:00 A.M. TO 7:00 P.M.. HOWEVER, IF IT IS NECESSARY TO PERFORM CONSTRUCTION ACTIVITIES OUTSIDE THE AFOREMENTIONED HOURS, THE GENERAL CONTRACTOR SHALL REQUEST PERMISSION FROM THE DEPARTMENT OF PUBLIC SERVICES AND ANY NOISE BETWEEN THE HOURS OF 10:00 PM OF ONE (1) DAY AND 7:00 AM OF THE FOLLOWING DAY SHALL NOT EXCEED (50) dBA.
5. THE GENERAL CONTRACTOR SHALL CONTACT IN ADVANCE THE FOLLOWING ADJACENT LAND OWNERS BY EMAIL, TELEPHONE, OR IN PERSON TO NOTIFY OF ANY ACTIVITIES THAT MAY HAVE ADVERSE IMPACTS ON THEM.
  - MILIKEN SMITH BLOCK, LLC (TAX MAP 42, BLOCK A, LOT 1)
  - RUFUS DEERING COMPANY (TAX MAP 42, BLOCK A, LOT 7)
  - BAXTER PLACE, LLC (TAX MAP 40, BLOCK F, LOT 9)
  - BAXTER ACADEMY (JOHN JACQUES)
  - GULF OF MAINE INSTITUTE
6. ACCESS, MAINTENANCE, AND CONSTRUCTION ON AND OVER THE FOUNDRY LANE PARCEL SHALL BE IN ACCORDANCE WITH THE ACCESS EASEMENT AGREEMENT BETWEEN BAXTER PLACE, LLC AND J.B. BROWN & SONS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 30325 PAGE 220.
7. TEMPORARY FENCE TO BE RELOCATED PERIODICALLY 10' TO 15' ON TO FOUNDRY LANE TO ACCOMMODATE WORK ON THE NORTH SIDE OF THE SITE.
8. TEMPORARY FENCE AND MEDIAN BARRIER TO BE REMOVED AS NECESSARY TO ACCOMMODATE ANY OFFSITE SITE WORK IMPROVEMENTS AND REINSTALLED AT THE END OF THE DAY.
9. WHEN IT IS NECESSARY TO CLOSE FOUNDRY LANE, TEMPORARY CLOSED SIGNAGE ON PORTABLE SUPPORTS SHALL BE UTILIZED. THE PARKING BEHIND THE BAXTER PLACE WILL BE DIRECTED TO CENTER STREET AND PEDESTRIANS ON THE WALKWAY WILL BE DIRECTED BACK TO YORK STREET.
10. WHEN OFFSITE IMPROVEMENTS ARE NECESSARY, THE TEMPORARY FENCE AND/OR MEDIAN BARRIER WILL BE RELOCATED AND MAY CLOSE PARKING ALONG COMMERCIAL AND MAPLE STREET. THE GENERAL CONTRACTOR SHALL COORDINATE WITH DEPARTMENT OF PUBLIC SERVICE IN-ADVANCE OF ANY PUBLIC PARKING CLOSURE.
11. TRUCKS SHALL UTILIZE WEST COMMERCIAL STREET WHEN TRAVELING TO AND FROM THE SITE.
12. THE CURRENT PAVEMENT MARKINGS FOR THE DIAGONAL PARKING ALONG COMMERCIAL SHALL BE "BLACKED OUT" WITH PAINT.
13. DO NOT PAINT THE TEMPORARY PARALLEL PARKING ALONG COMMERCIAL STREET.
14. KNOX LOCKS SHALL BE INSTALLED ON ALL GATES TO ALLOW THE FIRE DEPARTMENT ACCESS TO THE SITE.

NOTE:  
ALL MUTCD SPECIFIED SIGNS SHALL BE IN CONFORMITY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARD HIGHWAY SIGNS, 2009 EDITION



TEMPORARY SIGNAGE  
NOT TO SCALE



DATE	REVISION	SCHEDULE

**LOPECHED**  
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**CONSTRUCTION MANAGEMENT AND TRAFFIC CONTROL PLAN**  
PHASE:  
MASONRY CONSTRUCTION AND SITE WORK IMPROVEMENTS

**COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT**  
PORTLAND, ME

PROJECT: COMMERCIAL & MAPLE STREET MIXED USE DEVELOPMENT  
DATE: 02-18-13  
SCALE: 1"=20'  
DRAWN BY: BUS

**CMTC**  
SHEET: 4 OF 4

