

Form # P 04

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING**

**PERMIT**

**PERMIT ISSUED**  
Permit Number: 100386  
MAY 18 2010  
**CITY OF PORTLAND**

This is to certify that BROWN J B & SONS

has permission to Construct 7 Offices, 1 kitchen, storage rooms & mechanical closet

AT 20 DANFORTH ST

City of Portland - 040-D001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

[Signature]  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0386	Issue Date:	CBL: 040 D001001
-----------------------	-------------	---------------------

Location of Construction: <i>suite 106 20 DANFORTH ST - 1st floor</i>	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name: <i>The Trust for Public Land</i>	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

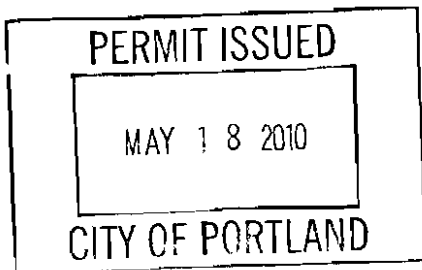
Past Use: Commercial - Office	Proposed Use: Commercial - Office - Construct 7 Offices, 1 kitchen, 2 Storage rooms & mechanical closet <i>"The Trust for Public Land"</i>	Permit Fee: \$870.00	Cost of Work: \$85,000.00	CEO District: 1
----------------------------------	--	-------------------------	------------------------------	--------------------

Proposed Project Description: Construct 7 Offices, 1 kitchen, 2 Storage rooms & mechanical closet	FIRE DEPT: <i>w/conditions</i> 4/22/10	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B</i> Type: <i>2B</i> <i>IBC 2003</i>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

Permit Taken By: Idobson	Date Applied For: 04/20/2010	<b>Zoning Approval</b>	
-----------------------------	---------------------------------	------------------------	--

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <i>YUS</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Any exterior work requires a separate review &amp; approval thru historic preservation</i>
---	---	---



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0386	<b>Date Applied For:</b> 04/20/2010	<b>CBL:</b> 040 D001001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 20 DANFORTH ST - 1st floor - Sui	<b>Owner Name:</b> BROWN J B & SONS	<b>Owner Address:</b> PO BOX 207	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial - Office - "The Trust for Public Land" -Construct 7 Offices, 1 kitchen, 2 Storage rooms & mechanical closet	<b>Proposed Project Description:</b> Construct 7 Offices, 1 kitchen, 2 Storage rooms & mechanical closet
--	---

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 04/21/2010

**Note:** **Ok to Issue:** ✓

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/17/2010

**Note:** **Ok to Issue:** ✓

- 1) Any interior framing must be steel studs.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Ben Wallace Jr.      **Approval Date:** 04/22/2010

**Note:** **Ok to Issue:** ✓

- 1) Walls in structure are to be labeled according to fire resistance rating.  
IE;      1 hr. / 2 hr. / smokeproof.
- 2) A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
- 3) A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model .
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.  
Compliance letters are required.
- 5) The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
- 6) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 7) All construction shall comply with NFPA 1 and 101.

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>20-36 Danforth Street - 1st floor - suite 124</u>		
Total Square Footage of Proposed Structure/Area <u>2500+/- sq ft - fit-up</u>	Square Footage of Lot <u>22086 sq ft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>D</u> Lot# <u>1</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>J. B. Brown : Sons</u> Address <u>26 Danforth St.</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>774-5908</u>
Lessee/DBA (If Applicable) <u>The Trust for Public Land</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>85,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>870</u>
Current legal use (i.e. single family) <u>office</u> If vacant, what was the previous use? <u>office</u> Proposed Specific use: <u>office</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Construct 7 offices, 1 kitchen, 2 storage rooms and mechanical closet</u>		
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Vin Veroneau</u> Telephone: <u>774-5908</u> Mailing address: <u>36 Danforth St, Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4/16/2010

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED  
APR 16 2010  
Dep. of Building Inspections  
City of Portland, Maine



# Accessibility Building Code Certificate

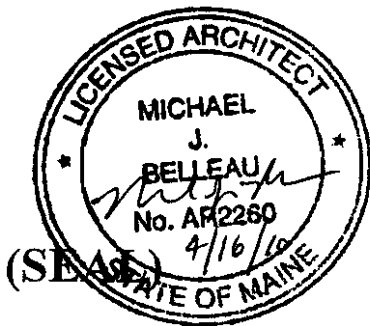
Designer: Michael Belleau

Address of Project: 30 Danforth St., first floor

Nature of Project: Office fit-out in existing office bldg.

\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *Michael Belleau*

Title: Architect

Firm: Michael Belleau Architect

Address: 61 Pleasant St., Ste. 1040

Portland ME 04101

Phone: (207) 874-7668

**For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)**



# Certificate of Design

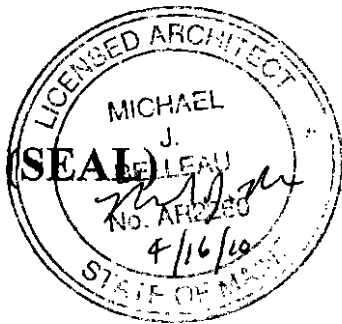
Date: 4.16.2010

From: \_\_\_\_\_

These plans and / or specifications covering construction work on:

The Trust For Public Land office space at 30 Danforth St.  
first floor.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Michael J. Bellean

Title: Architect

Firm: Michael Bellean Architect

Address: 61 Pleasant St, Ste. 104D  
Portland ME 04101

Phone: (207) 874-7668

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design Application

From Designer: Michael Belleau  
 Date: 4.16.10  
 Job Name: TPL Office Space  
 Address of Construction: 30 Danforth St.

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Business

Type of Construction IIB

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? yes Supervisory alarm system? yes

Is the Structure mixed use? no If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Geotechnical/Soils report required? (See Section 1802.2) N/A

### Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

- \_\_\_\_\_ Live load reduction
- \_\_\_\_\_ Roof ~~live~~ loads (1603.1.2, 1607.11)
- \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)
- \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)
- \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$
- \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$
- \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)
- \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)
- \_\_\_\_\_ Seismic design category (1616.3)
- \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)
- \_\_\_\_\_ Response modification coefficient,  $R_d$  and deflection amplification factor  $C_d$  (1617.6.2)
- \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)
- \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Wind loads (1603.1.4, 1609)

- \_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)
- \_\_\_\_\_ Basic wind speed (1809.3)
- \_\_\_\_\_ Building category and wind importance Factor,  $K_d$  table 1604.5, 1609.5
- \_\_\_\_\_ Wind exposure category (1609.4)
- \_\_\_\_\_ Internal pressure coefficient (ASCE 7)
- \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Flood loads (1803.1.6, 1612)

- \_\_\_\_\_ Flood Hazard area (1612.3)
- \_\_\_\_\_ Elevation of structure

### Earth design data (1603.1.5, 1614-1623)

- \_\_\_\_\_ Design option utilized (1614.1)
- \_\_\_\_\_ Seismic use group ("Category")
- \_\_\_\_\_ Spectral response coefficients,  $S_D$ s &  $S_{D1}$  (1615.1)
- \_\_\_\_\_ Site class (1615.1.5)

### Other loads

- \_\_\_\_\_ Concentrated loads (1607.4)
- \_\_\_\_\_ Partition loads (1607.5)
- \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

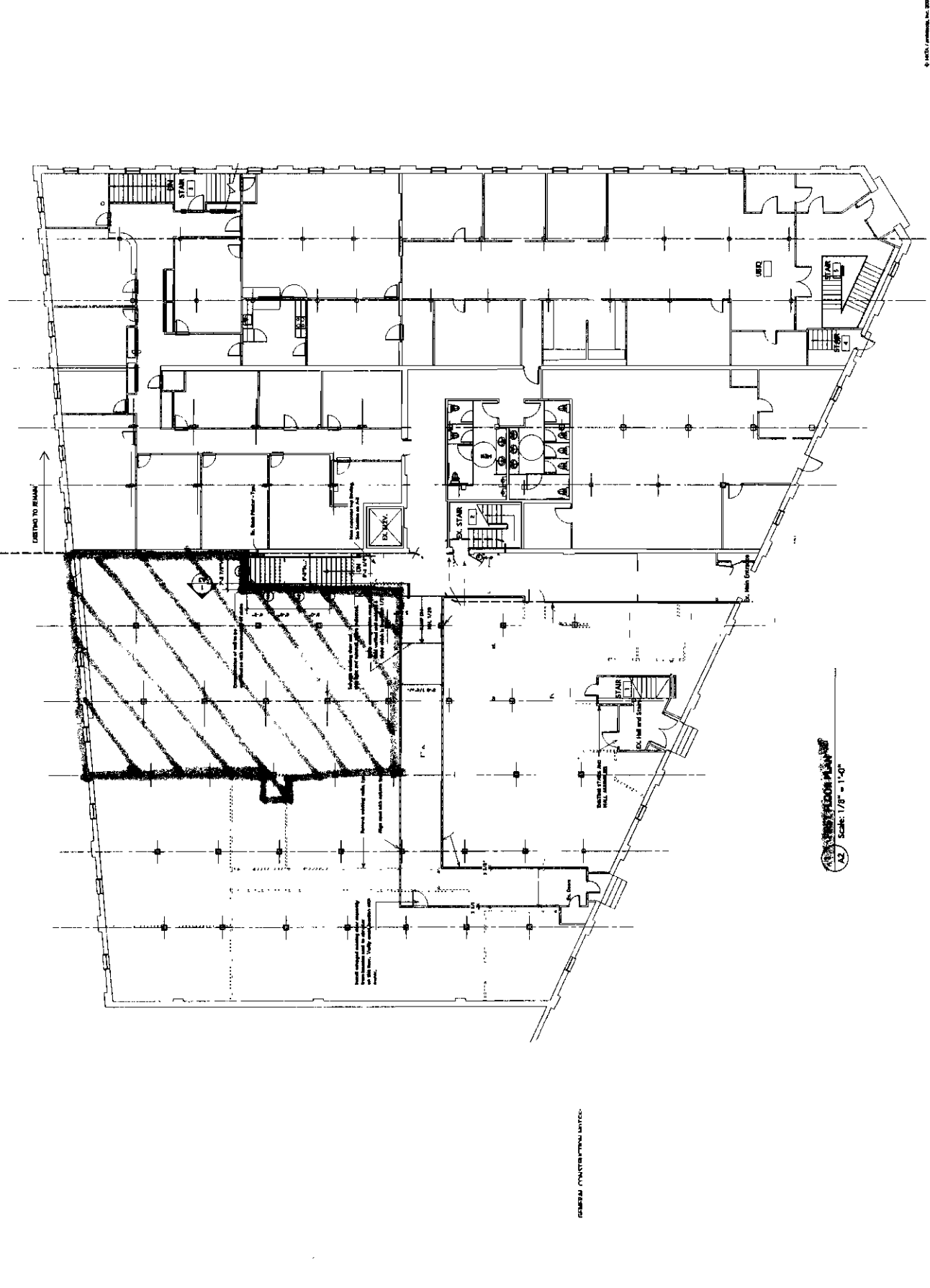


PROJECT NO.	1000
DATE	10/1/00
DESIGNED BY	J.B. BROWN
CHECKED BY	J.B. BROWN
DATE	10/1/00
SCALE	1/8" = 1'-0"
PROJECT	INTERIOR RENOVATIONS
CLIENT	J.B. BROWN & SONS
ADDRESS	1014 PORTLAND, MAINE 04104

**J.B. BROWN & SONS**  
 Interior Renovations  
 Portland, Maine 04104

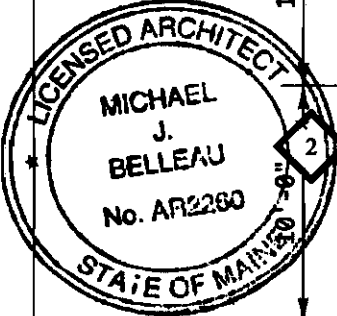
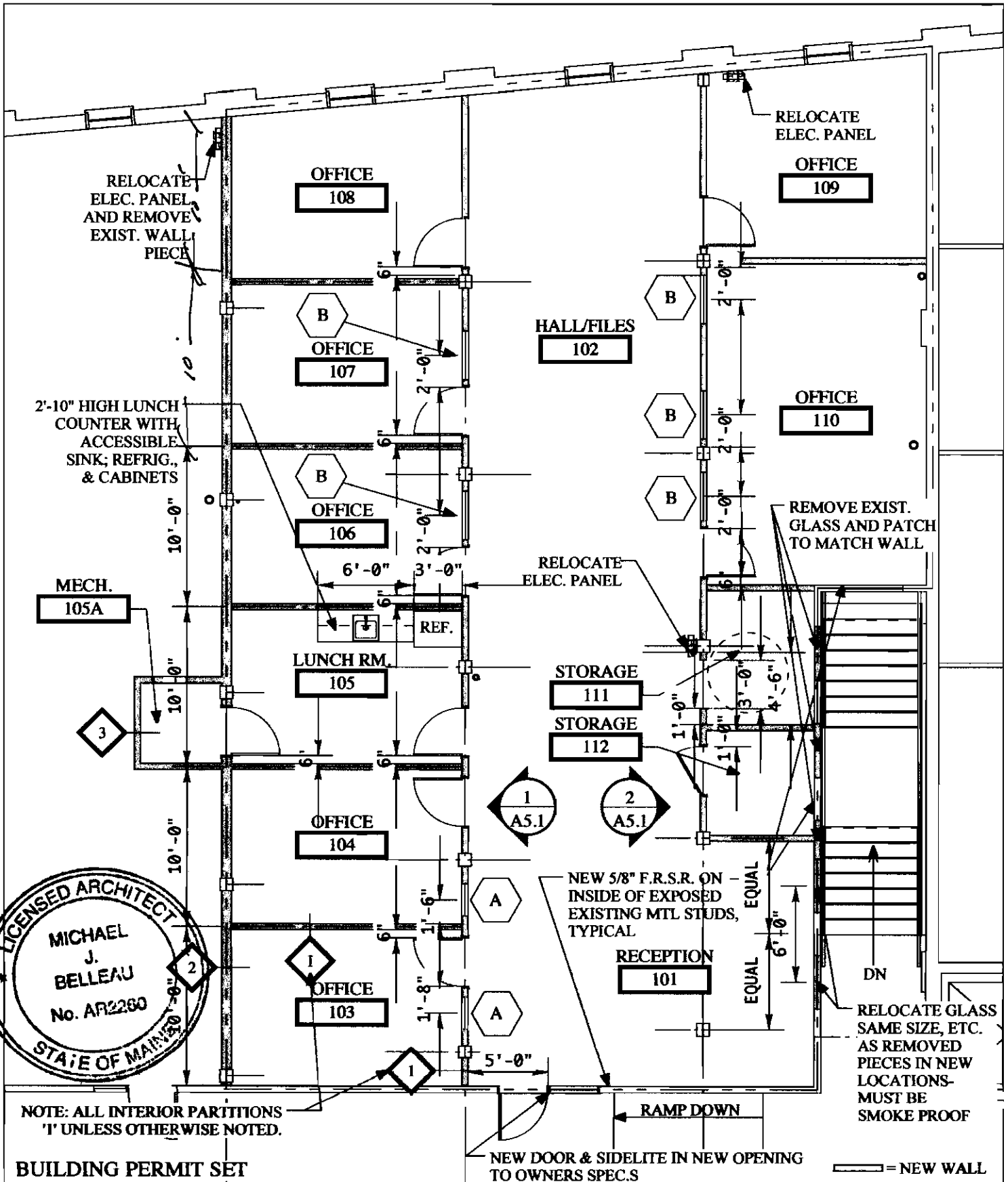



**HNKA / ARCHITECTS**  
 101 Commercial Street  
 Portland, Maine 04101  
 Phone: 603-761-1111  
 Fax: 603-761-1112



**REMOVE CONCRETE WALLS**  
 A2 Scale: 1/8" = 1'-0"

REMOVE CONCRETE WALLS



Project Title <b>The Trust For Public Land fit-out</b>	J.B. Brown & Sons, Inc. 36 Denforth Street Portland ME 04101	Drawing Title <b>[REDACTED] S.F.</b>	Drawing Number <h1>A1.1</h1>
 Copyright 2010 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874-7668 <a href="http://www.michaelbelleau.com">www.michaelbelleau.com</a>	Date: <b>4/16/10</b> Project Number: <b>10.05</b>	Scale: <b>1/8" = 1'-0"</b> Reference: <b>NONE</b>	

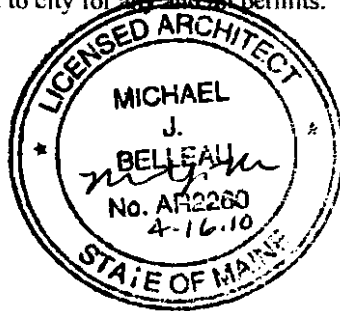
# The Trust For Public Land TENANT SPACE

30 DANFORTH STREET  
 PORTLAND ME 04101

**OWNER: J.B. BROWN & SONS**  
 36 DANFORTH ST.  
 PORTLAND ME 04101

**NOTES:**


1. These drawings are property of Michael Belleau Architect and not to be copied or reproduced in part or whole. Copyright 2010 Michael Belleau Architect
2. Do not scale these drawings; these drawings are approximate; contractor to verify all dimensions in field; all dimensions shown are clear dimensions- not to studs.
3. Codes  
 Zone: B3  
 Construction: existing 4 story building Type II B (brick exterior bearing walls with heavy timber posts, beams, joists) from IBC table 601 so no fire resistance rating requirements for building elements.  
 Occupancy: Business  
 Adjacent Occupancies: Business; no fire separation required from table NFPA 6.1.14.4.1(b)  
 Above Occupancies: Business; no fire separation required from table NFPA 6.1.14.4.1(b)  
 Below Occupancies: Business; no fire separation required from table NFPA 6.1.14.4.1(b)  
 Hallway fire separation: NFPA 38.3.6.1(3) no requirement because building is sprinkled. Also follows 7.1.3.1 exceptions both (1) and (2). Also, IBC table 1016.1 says 0 rating corridor if sprinkled. Existing condition appears to be smoke barrier only between tenants and halls with some 20 min. rated doors.  
 Furnace room attached to space should be sprinkled per 39.3.2.1 and 8.7.1.1(2); smoke proof enclosure; 20 min. door.  
 Occupant load: 100 s.f./person from NFPA table 7.3.1.2 & ~2,476 s.f. so less than 50 person occupancy (25). Therefore doors can swing in per 7.2.1.4.2 except as part of exit enclosure per 7.2.1.4.3.  
 Accessibility requirements: Although not necessarily required to be accessible according to the ADAAG guidelines according to their definitions of a "place of public accomodation", every effort should be made to ensure accessibility as the tentant's stated mission is to provide a service to the public, therefore the project should meet ADAAG requirements for access. Electrician responsible for all ADAAG requirements for signage, alarms, etc.
4. These drawings are for obtaining building permit. Architect not liable for any structural, mechanical, plumbing, electrical, etc. work.
6. Electrician to wire per tenant needs and to do so per all local, state, and national relevant codes including life safety.
7. All elec., plumbing, sprinkler, fire alarm, hvac systems of any kind, etc. to be per all local, state, and federal laws and codes, etc. and each trade to submit to city for any and all permits.

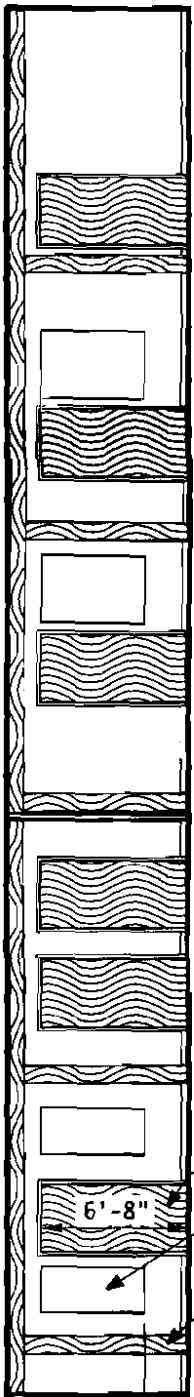


LIST OF DRAWINGS.

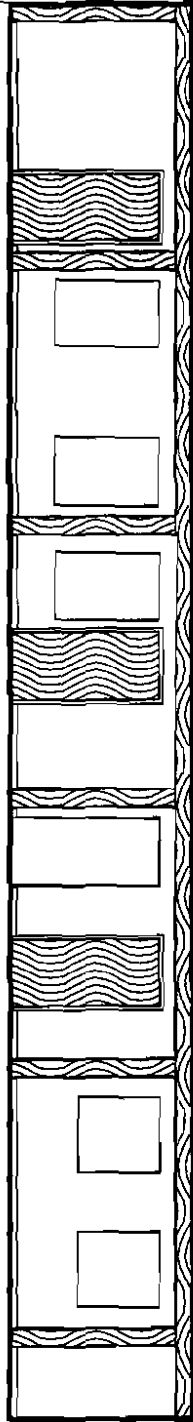
- A0.1 TITLE SHEET, NOTES
- A1.1 PARTIAL PLAN
- A5.1 INT. ELEV.S/ GLASS/ PART. TYPES

**BUILDING PERMIT SET**

Project Title The Trust For Public Land fit-out	J.B. Brown & Sons, Inc. 36 Danforth Street Portland ME 04101	Drawing Title <b>TITLE SHEET, NOTES</b>	Drawing Number <b>A0.1</b>
 Copyright 2010 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874 7668 www.michaelbelleau.com	Date: 4/16/10	Scale: N/A	
	Project Number: 10.05	Reference: NONE	



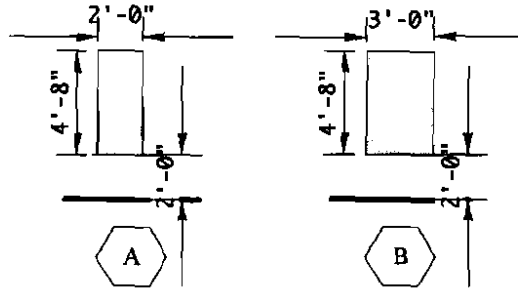
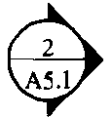
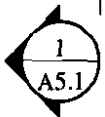
ELEVATION OF INTERIOR WALL VIEWED FROM HALL/FILES



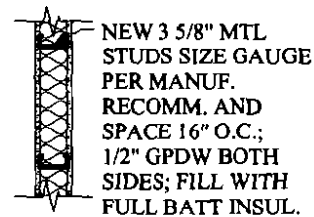
ELEVATION OF INTERIOR WALL VIEWED FROM HALL/FILES

NEW WOOD DOOR  
 NEW FIXED GLASS  
 EXIST. WOOD COLUMN

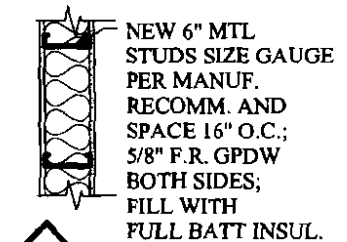
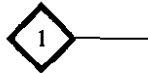
2'-0"



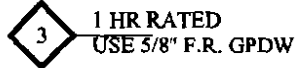
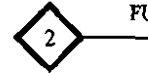
FIXED GLASS  
 DETAILED LIKE  
 OWNER'S OFFICE



NEW 3 5/8" MTL STUDS SIZE GAUGE PER MANUF. RECOMM. AND SPACE 16" O.C.; 1/2" GPDW BOTH SIDES; FILL WITH FULL BATT INSUL.



NEW 6" MTL STUDS SIZE GAUGE PER MANUF. RECOMM. AND SPACE 16" O.C.; 5/8" F.R. GPDW BOTH SIDES; FILL WITH FULL BATT INSUL.

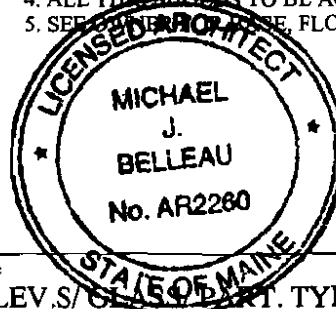


1 HR RATED  
 USE 3/8" F.R. GPDW

PARTITION TYPES

NOTES:

1. SEAL ALL WALLS AT COLUMNS, BEAMS & DECK TIGHT TO MAKE SMOKE PROOF. ALL WALLS TO GO UP TO DECK THEREFORE, INFILL BETWEEN JOISTS IF NECESSARY.
2. ALL DOORS IN HM FRAME; INTERIOR DOORS EXCEPT ENTRY DOOR ARE 1 3/8" TK WD SOLID CORE BIRCH (ENTRY DOOR IS PER OWNERS DIRECTION) W/ LEVER HANDLES; MATT SILVER FINISH; 3 BUTTS; LOCKSETS PER OWNERS DIRECTION; ALL DOORS CAN OPEN FROM INSIDE WITHOUT KEY EVEN WHEN LOCKED; ALL DOORS ARE 3' WIDE. CLOSER ON ENTRY DOOR AND DOOR TO MECH. RM.; MECH. RM. DOOR IS 20 MIN. FIRE RATED.
3. GLAZING IS TO MATCH OWNERS OFFICES.
4. ALL THRESHOLDS TO BE ACCESSIBLE (1/2" MAX.)
5. SEE OWNER'S SPECIFICATIONS FOR WALL, FLOOR, PAINT, ETC. FINISHES.



BUILDING PERMIT SET

Project Title The Trust For Public Land fit-out	J.B. Brown & Sons, Inc. 36 Danforth Street Portland ME 04101	Drawing Title INT. ELEV.S/ GLAZING PART. TYPES	Drawing Number <b>A5.1</b>
Copyright 2010 Michael Belleau Architect 61 Pleasant Street Portland ME 04101 (207)874-7668 www.michaelbelleau.com	Date: 4/16/10	Scale: N/A	
	Project Number: 10.05	Reference: NONE	