

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

Permit Number: 091210

BUILDING INSPECTION PERMIT

This is to certify that BROWN J.B. & SONS/TBD
has permission to creating 3 new offices, 2 bathrooms & a kitchenette
AT 20 DANFORTH ST CBL 040 D001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all
of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating
the construction, maintenance and use of buildings and structures, and of the application on file in
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and written permission procured
before this building or part thereof is
lathed or otherwise glosed-in. 24
HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier
Health Dept. _____
Appeal Board _____
Other _____

Director - Building & Inspection Services

James Lank 11/18/09

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

NOV 18 2009

City of Portland

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1210	Issue Date:	CBL: 040 D001001
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Location of Construction: 20 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - Office	Proposed Use: Commercial - Office - creating 3 new offices, 2 bathrooms & a kitchenette <i>for "Colby Engineering"</i>	Permit Fee: \$470.00	Cost of Work: \$45,000.00	CEO District: 1
Proposed Project Description: creating 3 new offices, 2 bathrooms & a kitchenette		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: B Type: <i>IBC-2003</i> Signature: <i>JMB 11/18/09</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 10/26/2009	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/30/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>requires A</i>
	<i>ok with conditions</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

PERMIT ISSUED

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
		NOV 18 2009	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1210	Date Applied For: 10/26/2009	CBL: 040 D001001
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Location of Construction: 47 YORK ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Office - creating 3 new offices, 2 bathrooms & a kitchenette for "Colby Engineering"	Proposed Project Description: creating 3 new offices, 2 bathrooms & a kitchenette
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 10/30/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
2) Separate permits shall be required for any new signage.			
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 11/18/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 11/04/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is for interior fit up only, any structural construction shall require separate permit.			
2) Fire extinguishers required. Installation per NFPA 10			
3) All means of egress to remain accessible at all times			
4) All construction shall comply with NFPA 101			

Comments: 11/18/2009-jmb: Spoke to Vin V. To verify the egress in the lobby near Danforth and Maple....you have to travel up the stair to the exit. Ok to issue

PERMIT ISSUED

NOV 18 2009

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date



Signature of Inspections Official

Date

11/18/09

PERMIT ISSUED

NOV 18 2009

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>47 York street</u>		
Total Square Footage of Proposed Structure/Area <u>5,081 sq ft - up</u>		Square Footage of Lot <u>22,086 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>D</u> Lot# <u>1</u>	Applicant * must be owner, Lessee or Buyer* Name <u>J. B. Brown : Sons</u> Address <u>36 Danforth Street</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>774-5908</u>
Lessee/DBA (If Applicable) <u>Colby Engineering</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>45,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>470</u>
Current legal use (i.e. single family) <u>office</u> If vacant, what was the previous use? <u>office</u> Proposed Specific use: <u>office</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>creating 3 new offices, 2 bathrooms & a kitchenette</u>		
Contractor's name: <u>TBD</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: <u>Vin Veroneau</u>		Telephone: <u>774-5908</u>
Mailing address: <u>36 Danforth Street, Portland, ME 04101</u>		

RECEIVED
OCT 26 2009
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

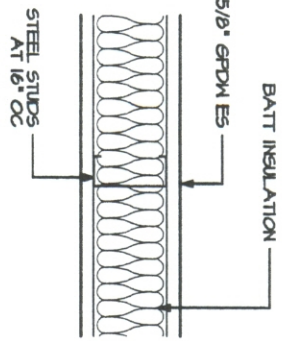
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/25/2009

This is not a permit; you may not commence ANY work until the permit is issue

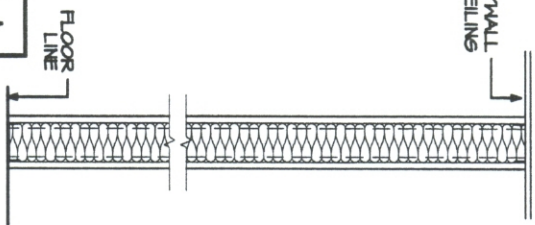
PLAN



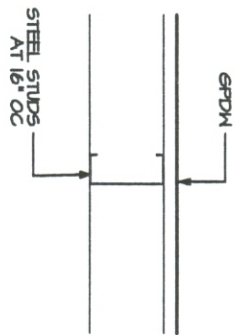
3 5/8" STL STUDS W/ 3 1/2" ACOUSTICAL BATT INS	
NON-RATED	PERIMETER WALLS

A

SECTION



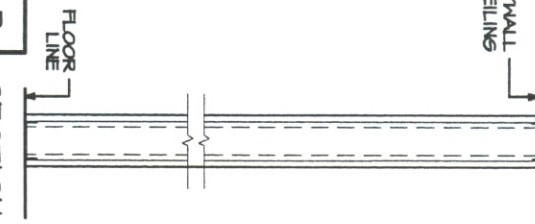
PLAN



3 5/8" STL STUDS	
NON-RATED	INTERIOR WALLS

B

SECTION

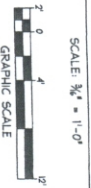


*Wool Section
47 York Street*

*Blue = ~~new~~ new drywall
 All other walls are existing*



OFFICE LAYOUT PLAN



*Sprinkler
 Risk
 & E-Plan*

- NOTES:
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PORTLAND ZONING, BUSINESS IBC CODE USE GROUP: B - BUSINESS, REFERENCE SECTION 304
 2. MAXIMUM OCCUPANCY: 50 PERSONS, REFERENCE SECTION 1004, TABLE 1004.1.1
 3. MAXIMUM TRAVEL DISTANCE: 300 FEET, REFERENCE SECTION 1006, TABLE 1006.1
 4. TABLE 1006, EXIT LIGHTING LEVEL: 1 FOOT CANDLE (1 LUX) AT FLOOR, REFERENCE SECTION 1006
 5. EXIT SIGNS: 4 REQUIRED AT LOCATIONS SHOWN ON PLAN, REFERENCE SECTION 1011.5.3
 6. MINIMUM EXIT AISLE DIMENSION: 36", REFERENCE SECTION 1017



PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS PREPARED BY THE FIRM, REGISTERED PROFESSIONAL ENGINEERS IN THE STATE OF MAINE, ARE HEREBY APPROVED FOR THE PROJECT AND DATE NOTED HEREON BY THE ENGINEER.

REV		DESCRIPTION		DATE													
0	ISSUED FOR APPROVAL	JTB	CCC	08/14/2009	9:54												
<table border="0"> <tr> <td colspan="2">Colby Company</td> <td colspan="2">PROJECT NO.</td> <td colspan="2">DRAWING NO.</td> </tr> <tr> <td colspan="2">47 YORK STREET PORTLAND, ME</td> <td colspan="2">OFFICE LAYOUT PLAN</td> <td colspan="2">A-1</td> </tr> </table>						Colby Company		PROJECT NO.		DRAWING NO.		47 YORK STREET PORTLAND, ME		OFFICE LAYOUT PLAN		A-1	
Colby Company		PROJECT NO.		DRAWING NO.													
47 YORK STREET PORTLAND, ME		OFFICE LAYOUT PLAN		A-1													
DATE: SEPT 14, 2009		SCALE: 3/8" = 1'-0"		SHEET 1 OF 1													
DES BY: JTB		CHK BY: CCC															

EXIT SIGN SHADING INDICATES SIGN FACE

