

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 080830

AUG 8 2008

This is to certify that BROWN J B & SONS / TBLhas permission to Commercial mixed use - installing a stair connecting York Street & Danforth Street Lobby corridor to an existing exterior access doorAT 20 DANFORTH ST

040 D001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Clegg

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Bouke 8/8/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0830		Issue Date:		CBL: 040 D001001	
Location of Construction: 20 DANFORTH ST		Owner Name: BROWN J B & SONS		Owner Address: PO BOX 207	
Business Name:		Contractor Name: TBD		Phone:	
Lessee/Buyer's Name		Phone:		Permit Type: Alterations - Commercial	
Past Use: Commercial mixed use		Proposed Use: Commercial mixed use - installing a stair connecting York Street & Danforth Street Lobby corridor to an existing exterior egress door		Zone: B-3	
Permit Fee: \$820.00		Cost of Work: \$80,000.00		CEO District: 1	
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>		INSPECTION: Use Group: <i>B</i> Type: <i>IBC-2003</i> Signature: <i>Greg Cuss</i> Date: <i>8/8/08</i>			
Proposed Project Description: Commercial mixed use - installing a stair connecting York Street & Danforth Street Lobby corridor to an existing exterior egress door		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:			
Permit Taken By: ldobson		Date Applied For: 07/08/2008		Zoning Approval	
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Drill corridor</i> Date: <i>7/18/08</i> <i>AM</i>		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	
		Historic Preservation <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Any exterior work requires a separate review! approval thru Historic Preservation.</i> Date:			

PERMIT ISSUED

AUG 8 2008

CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

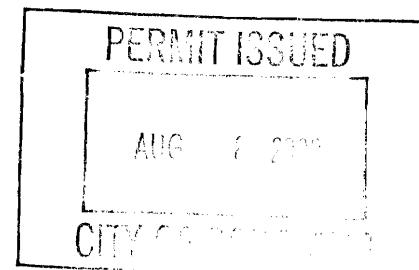
[Signature]
Signature of Applicant/Designee

Date

[Signature]
Signature of Inspections Official

Date

8/8/08



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0830	Date Applied For: 07/08/2008	CBL: 040 D001001
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Location of Construction: 20 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial mixed use - installing a stair connecting York Street & Danforth Street Lobby corridor to an existing exterior egress door	Proposed Project Description: Commercial mixed use - installing a stair connecting York Street & Danforth Street Lobby corridor to an existing exterior egress door
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/18/2008
Note: **Ok to Issue:** ☒

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 08/08/2008
Note: **Ok to Issue:** ☒

- 1) Windows below 60" in a stairwell are required to have safety glazing
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 07/22/2008
Note: **Ok to Issue:** ☒

- 1) Walls in structure are to be labeled according to fire resistance rating.
IE; 1 hr. / 2 hr. / smokeproof.
- 2) Emergency lights are required to be tested at the electrical panel.
- 3) Emergency lights and exit signs are required
- 4) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 5) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 6) A single source supplier should be used for all through penetrations.
- 7) All construction shall comply with NFPA 101



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>20-36 Danforth St.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>22,086 sf</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>D</u> Lot# <u>1</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>J. B. Brown & Sons</u> Address <u>482 Congress St</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207 774-5908</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>80,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>820</u>
Current legal use (i.e. single family) <u>office, retail, storage</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>installing a stair connecting York St and Danforth Street Lobbies. Extending the Danforth Street Lobby corridor to an existing exterior egress door.</u>		
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip: _____ Telephone: _____ Who should we contact when the permit is ready: <u>Vin Veroneau</u> Telephone: <u>774-5908</u> Mailing address: <u>482 Congress St., Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Vin Veroneau

Date: 7/8/08

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design

Date:

7/8/08

From:

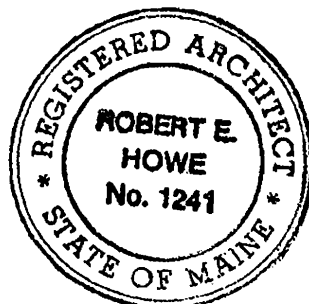
HKTA / ARCHITECTS

These plans and / or specifications covering construction work on:

20/36 DANFORTH STREET - LOWER LEVEL &

FIRST FLOOR

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature:

Robert E. Howe

Title:

PRESIDENT

Firm:

HKTA / ARCHITECTS

Address:

482 CONGRESS STR.

PORTLAND, MAINE 04101

Phone:

207-774-6016

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer:

HRTA / ARCHITECTS

Date:

7/8/08

Job Name:

20/36 DANFORTH STREET

Address of Construction:

20/36 DANFORTH STREET

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) GROUP B

Type of Construction SELECTED INTERIOR RENOVATIONS

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC _____

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Seismic design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D s & S_I (1615.1)
- _____ Site class (1615.1.5)

- _____ Live load reduction
- _____ Roof live loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R , and deflection amplification factor C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2409)



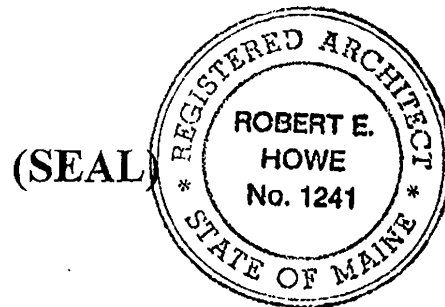
Accessibility Building Code Certificate

Designer: H/CTA / ARCHITECTS

Address of Project: 20/36 DANFORTH STREET

Nature of Project: SELECTED RENOVATIONS TO
EXISTING OFFICE SPACE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Robert E. Howe

Title: PROVIDENT

Firm: H/CTA / ARCHITECT

Address: 482 CONGRESS STR.
PORTLAND, MAINE 04101

Phone: 207-774-6016

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	040 D001001
Location	20 DANFORTH ST
Land Use	OFFICE & BUSINESS SERVICE

Owner Address	BROWN J B & SONS PO BOX 207 PORTLAND ME 04112
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Book/Page	
Legal	40-D-1 DANFORTH ST 20-36 MAPLE ST 27-39 & YORK ST 33-45 22086 SF

Current Assessed Valuation

Land	Building	Total
\$202,900	\$2,520,200	\$2,723,100

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1900	1	87648	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
0.507	87648		OFFICE BUILDING - LOW-RISE	VARIOUS SM BUSINESSE

Exterior/Interior Information

Section	Levels	Size	Use
1	B1/B1	21912	WAREHOUSE
1	01/01	21912	MULTI-USE OFFICE
1	02/03	21912	MULTI-USE OFFICE

Height	Walls	Heating	A/C
9		NONE	NONE
9	BRICK/STONE	HOT AIR	NONE
9	BRICK/STONE	HOT AIR	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

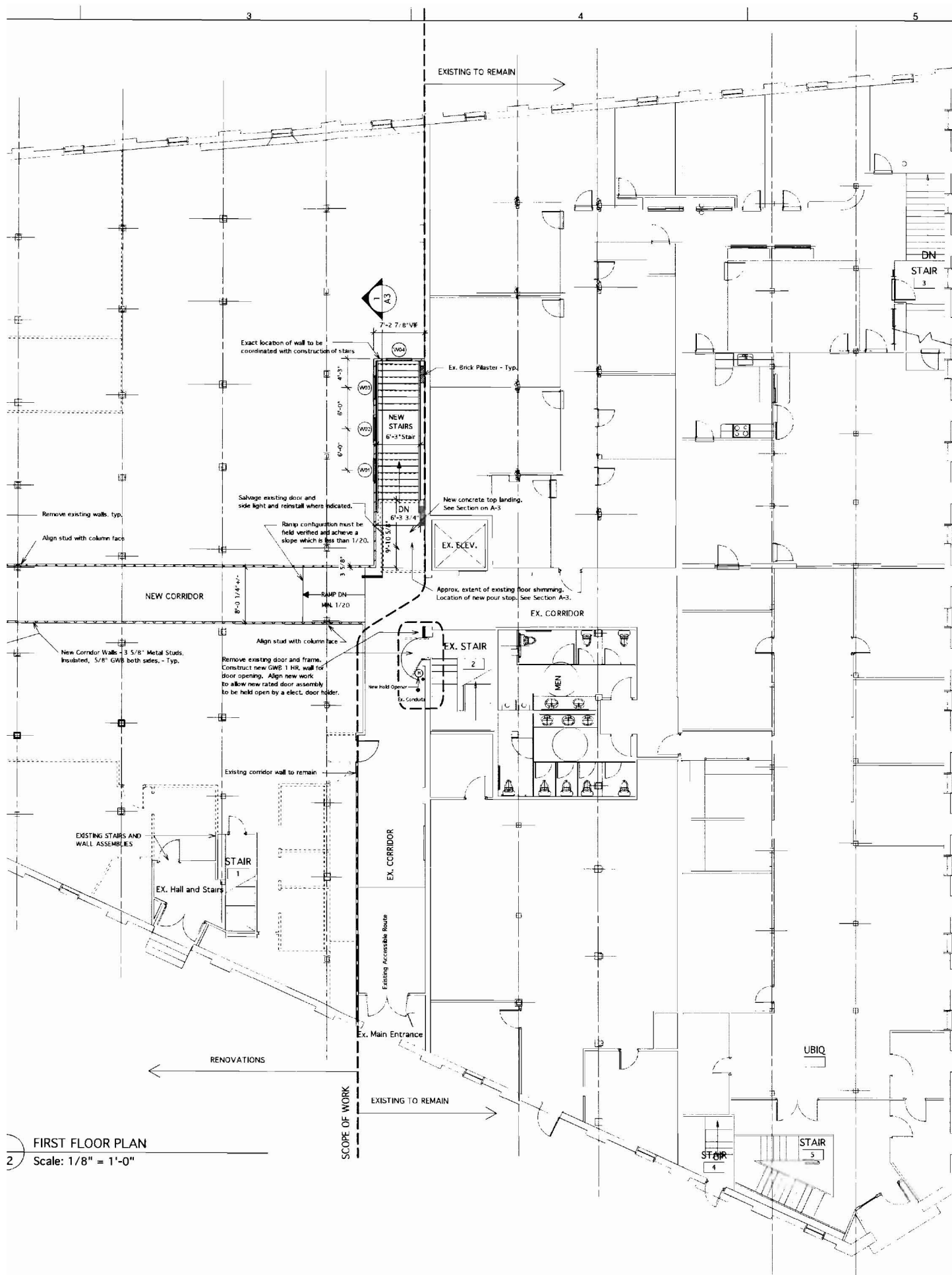
Building Other Features

Line	Structure Type	Identical Units
1	OVERHEAD DOOR - MOTOR OPR. WD/	2
1	ELEVATOR - ELEC. PASSENGER	1
2	SPRINKLER - WET	1

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
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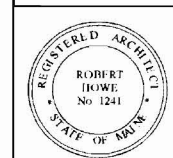
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Issue/Revision	Project ID	200610
CAD File Name	Drawn By	REH
Checked By	Issue Date	6/27/08
Pict Date	Reviewed by	REH
Designed by	Submitted By	REH
Drawing Code	Sheet Title	Plan
Lower Level Plan		



2 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

Design Firm
HKTA / architects
253 Congress Street Suite 206
Portland, Maine 04101
phone: 207.774.9416
fax: 207.774.9428
e-mail: hktad@aol.com

Consultant



Project Title

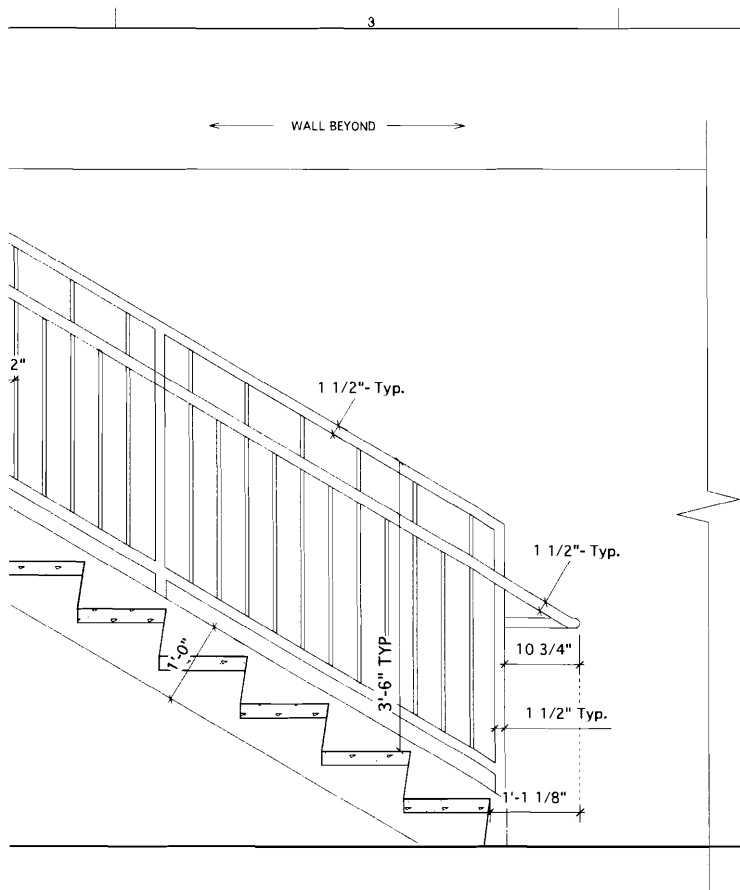
20 / 36 Danforth Street
Interior Renovations
J B Brown & Sons
Portland, Maine 04104

Mark	Date	Description

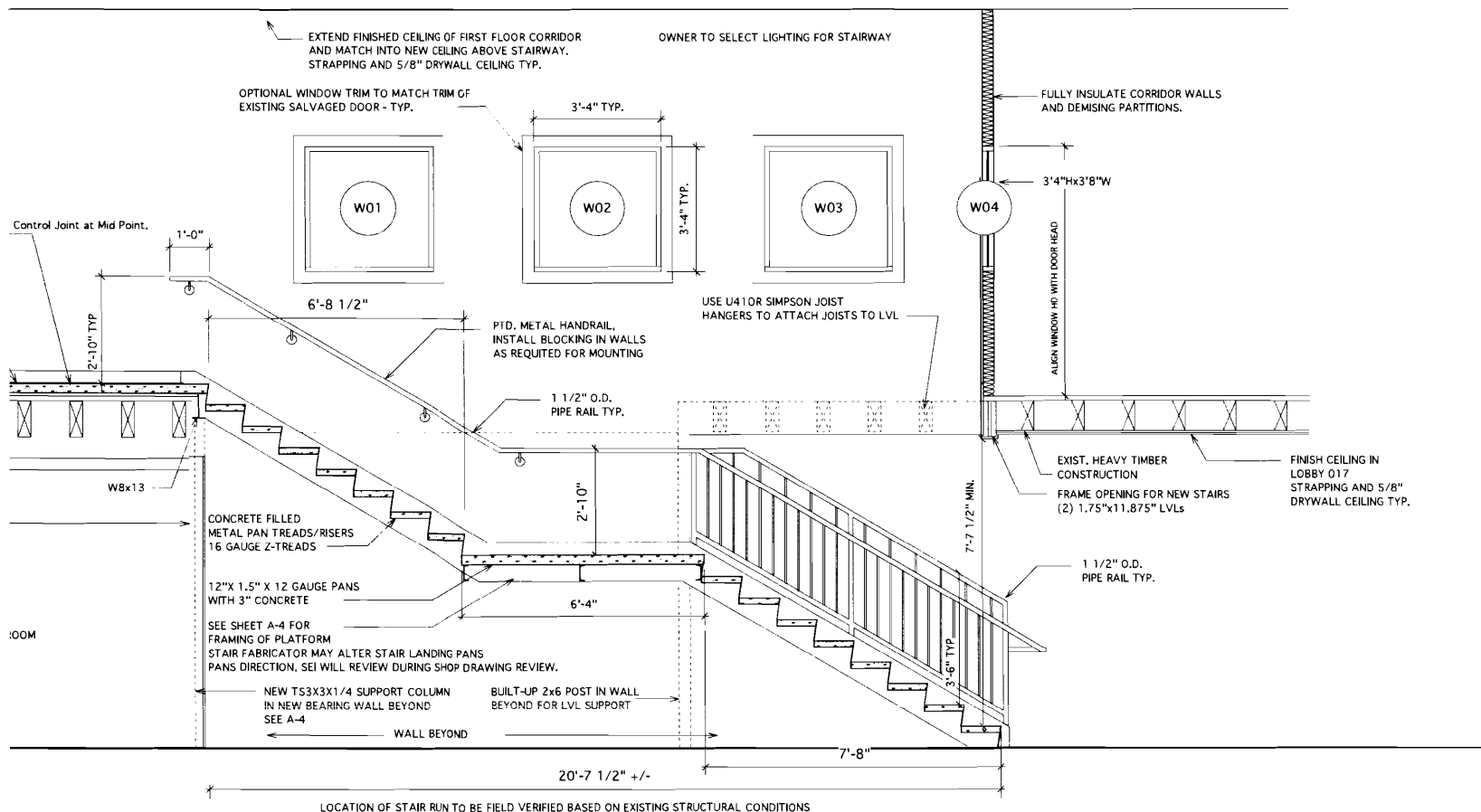
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Project ID	2008010
CAD File Name	
Drawn By	
Checked By	REH
Issue Date	9/27/08
Plot Date	
Reviewed By	REH
Designed By	REH
Submitted By	
Drawing Code	Plan
Sheet Title	

FIRST FLOOR PLAN

Drawing No.
A-2
of 4



WINDOW SCHEDULE									
ID	Location	Type	Height	Width	SH Dtl	Jamb Dtl	Head Dtl	Accessories	Remarks
W04		FG	3'4"	3'8"					Align Window Head with Door Head. 2" HM Frame
W02		FG	3'4"	3'4"					Align Window Head with Door Head. 2" HM Frame
W03		FG	3'4"	3'4"					Align Window Head with Door Head. 2" HM Frame
W01		FG	3'4"	3'4"					Align Window Head with Door Head. 2" HM Frame



Design Firm

HKTA architects, inc.
Architects
1000 State Ave.
Portland, Maine 04101

HKTA / architects

phone: 207-754-9616
fax: 207-754-9617
e-mail: info@hkta.com

Consultant

REGISTERED ARCHITECT
ROBERT HOWE
No 1241
STATE OF MAINE

Project Title

20 / 36 Danforth Street
Interior Renovations
J B Brown & Sons
Portland, Maine 04104

Description

Date

Mark

Issue/Revision

Project ID 2008010

CAD File Name

Drawn by

Checked By REH

Issue Date 6/27/08

Plot Date

Reviewed by REH

Designed by REH

Submitted By

Drawing Code SECTION & DETAILS

Sheet Title

SECTION & DETAILS

Drawing No.

A-3

of 4

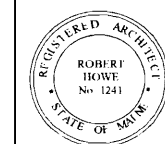
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Design Firm

HKTA / architects, inc.
282 Congress Street, Suite 200
Portland, Maine 04101
phone: 207-774-6076
fax: 207-774-8128
e-mail: hktainc@aol.com

HKTA / architects

Consultant



Project Title

20 / 36 Danforth Street
Interior Renovations
J B Brown & Sons
Portland, Maine 04104

Description

Date

Mark

Issue/Revision

Project ID 2008010

CAD File Name

Drawn By

Checked By

Issue Date 6/27/08

Plot Date

Reviewed by REH

Designed by

Submitted by

Drawing Code STRUCTURAL

Sheet Title

STAIR /
FLOOR FRAMING

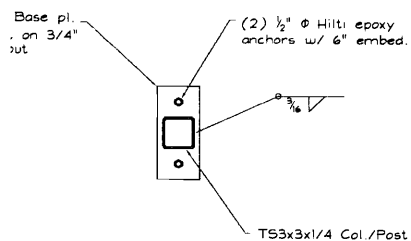
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A-4

of 4

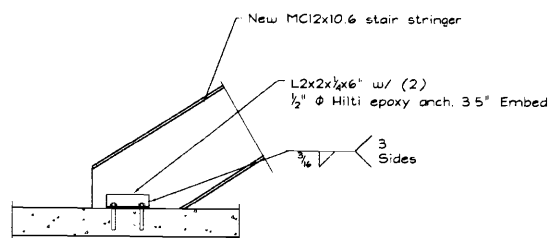
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TYP. BASEPL. DETAIL

SCALE: 1 1/2" = 1'-0"



STRINGER BASE CONNECTION

SCALE: 1" = 1'-0"

STRUCTURAL STEEL NOTES - GENERAL

STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL DETAILING.

STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS OTHERWISE SPECIFIED.

STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. ALL PIPES SHALL BE A53, GRADE B.

BOLTED CONNECTIONS SHALL BE MADE WITH 3/4" ϕ ASTM HIGH STRENGTH BOLTS.

WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.

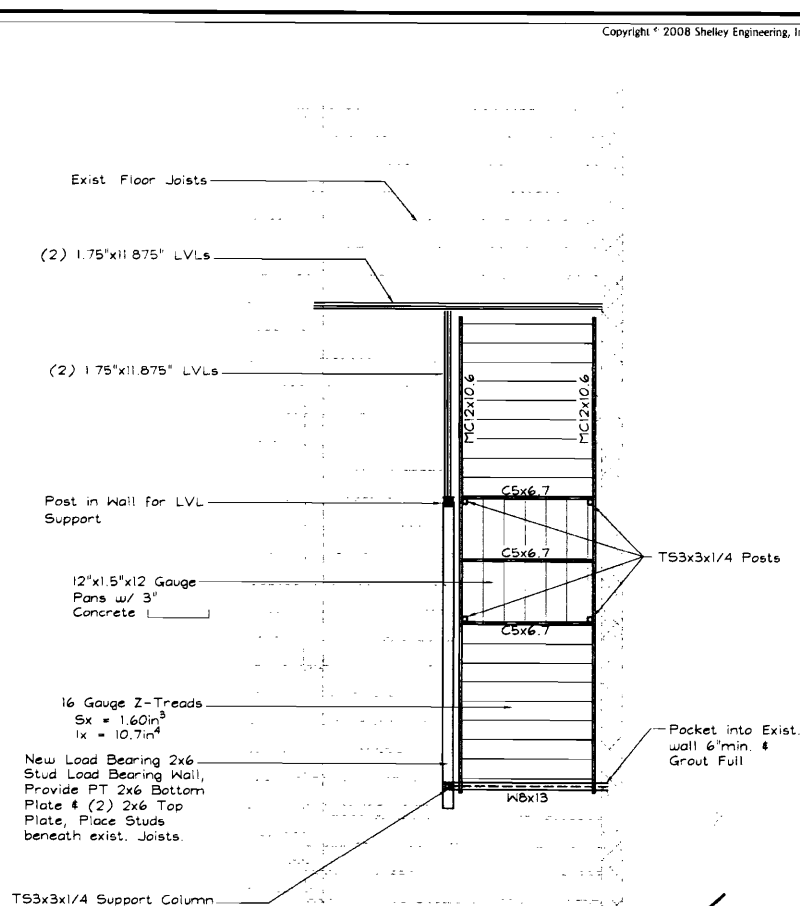
ALL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.

STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED PRIMER OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.

SHELLEY ENGINEERING, INC. STRUCTURAL CONSULTANTS 4092 465 6 SHELLEYENGINEERING.COM	20/36 DANFORTH STREET NEW STAIR			
	PORTLAND	MAINE		
	DESIGNED BY: TGS	DATE: 6/25/08	SHEET NO: Sk2	OF 2
	CHECKED BY: TGS	STATUS: NOTED	JOB NO: 2008-090	

Written consent of Shelley Engineering, Inc. is prohibited

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PART PLAN - STAIR / FLOOR FRAMING

SCALE: 1/4" = 1'-0"

—SEI— SHELLEY ENGINEERING, INC. STRUCTURAL CONSULTANTS 90 BRIDGE STREET WESTBROOK, MAINE 04092 PHONE (207) 854-5455 FAX (207) 854-8706 WWW.SHELLEYENGINEERING.COM	20/36 DANFORTH STREET NEW STAIR			
	PORTLAND	MAINE		
	DESIGNED BY: TGS	DATE: 6/25/08	SHEET NO: Sk1	OF 2
	CHECKED BY: TGS	STATUS: NOTED	JOB NO: 2008-090	

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Design Firm

HKTA / architects
292 Congress Street Suite 206
Portland, Maine 04101
Phone: 207.274.9178
Fax: 207.274.9178
www.hkta-architects.com

Consultant



Project Title

20 / 36 Danforth Street
Interior Renovations
J B Brown & Sons
Portland, Maine 04104

Description

Mark

Date

Issue/Revision	
Project ID	2008010
CAD File Name	
Drawn By	
Checked By	REH
Trace Date	6/27/08
Plot Date	
Reviewed by	REH
Designed by	REH
Submitted by	
Drawing Code	Plan
Sheet Title	

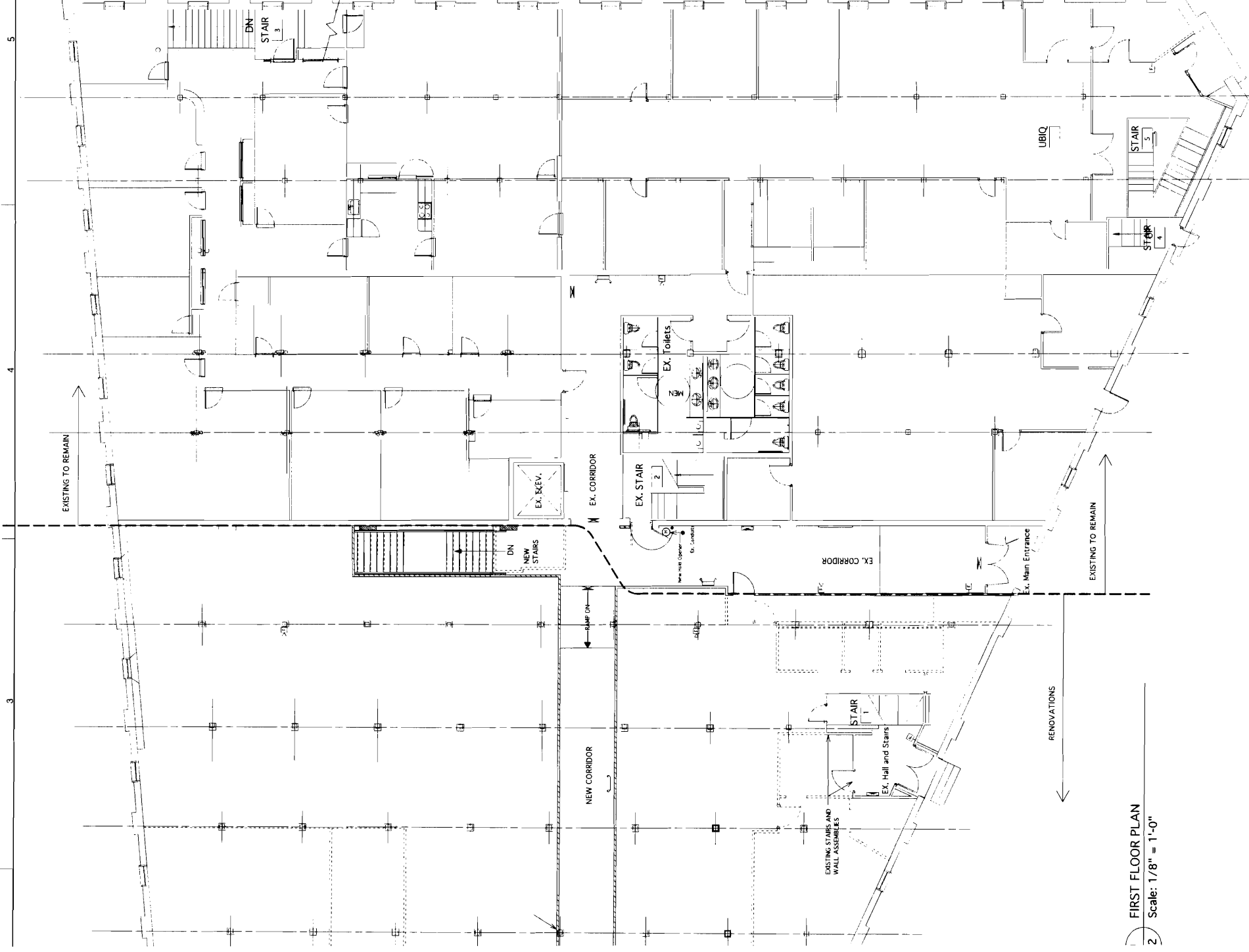
FIRST FLOOR PLAN
Life Safety Devices

Drawing No.

A-2

of 4

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FIRST FLOOR PLAN
2 Scale: 1/8" = 1'-0"