

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 031372

This is to certify that Brown J B & Sons/Monaghan Woodwork
has permission to Conversion of basement; installation of masonry stair/egress corridors on 1st & daylight basement levels; also
AT 20 Danforth St 040 D001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 3/3/84
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1372	ISSUED: MAR 04 2004	FILED: 040 D001001
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Location of Construction: 20 Danforth St	Owner Name: Brown J B & Sons	Owner Address: Po Box 207	Phone: 207-774-5908
Business Name: n/a	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 111 Commercial St. Portland	Phone: 207-775-2683
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B3

Past Use: Commercial	Proposed Use: Commercial / Conversion of basement; installation of monumental stair/egress corridors on 1st & daylight basement levels; also handicap access.	Permit Fee: \$426.00	Cost of Work: \$45,000.00	CEO District: 2
Proposed Project Description: Conversion of basement; installation of monumental stair/egress corridors on 1st & daylight basement levels; also handicap access.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: B Type: 4 Signature: [Signature] Date: 3/02/04 Signature: [Signature]		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: [Signature] Date: 4/13/07		

Permit Taken By: gg	Date Applied For: 11/05/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/13/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: Requires A Separate Review
	Subject to Sept 2nd 04 for any new signage		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/12/04 For trays etc to print. A Room

10/7/04 Basement Lobby Party etc by M. Collins (AR)

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1372	Date Applied For: 11/05/2003	CBL: 040 D001001
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Location of Construction: 20 Danforth St	Owner Name: Brown J B & Sons	Owner Address: Po Box 207	Phone: 207-774-5908
Business Name: n/a	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 111 Commercial St. Portland	Phone: (207) 775-2683
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Commercial	

Proposed Use: Commercial / Conversion of basement; installation of monumental stair/egress corridors on 1st & daylight basement levels; also handicap access.	Proposed Project Description: Conversion of basement; installation of monumental stair/egress corridors on 1st & daylight basement levels; also handicap access.
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 11/13/2003
Note: **Ok to Issue:** ☒

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 03/03/2004
Note: **Ok to Issue:** ☒

- 1) Special inspections must occur for all steel fabrication erection and fasteners and a final inspection report is required from Tim Shelley
- 2) Guard on figure 3 on page A4 must have openings less than 4" (no ladder)
- 3) OWES ADDITIONAL PERMIT FEE OF \$1,485.00, must pay prior to issuance

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 11/17/2003
Note: **Ok to Issue:** ☒

- 1) the fire alarm system shall be maintained to NFPA 72 standards
- 2) the sprinkler system shall be maintained to NFPA 13 standards

Comments:

11/26/2003-mjn: NEED

- 1) The Certifications completed
- 2) A Statement of Special Inspection pursuant to section 1705
- 3) A copy of a breakdown of the estimated construction cost.

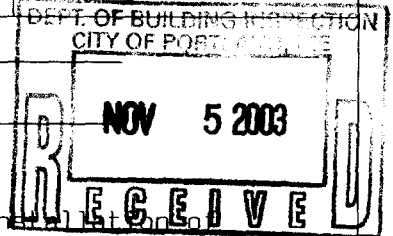
01/09/2004-gg: Received Accessibility certificate. /gg6yvtvg



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: 20-36 Danforth Street Basement/First Floor Lobby		
Total Square Footage of Proposed Structure 86,272 s.f.		Square Footage of Lot 21,658 s.f.
Tax Assessor's Chart, Block & Lot Chart# 040 Block# D Lot# 001	Owner: J. B. Brown & Sons 482 Congress Street Portland, ME 04112	Telephone: 774-5908
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Brian Curley PDT Architects 49 Dartmouth Street Portland, ME 04101	Cost Of Work: \$ 45,000 Fee: \$ 426
Current Specific use: Business		
Proposed Specific use: Business		
Project description: Conversion of existing basement to leasable business use and installation of monumental stair/egress corridors on first and daylight basement levels. Poured slab/new openings at basement level to achieve handicapped access.		
Contractor's name, address & telephone: Monaghan Woodworks, Inc., 100 Commercial Street, Portland, ME 04101 775-2683, x32		
Who should we contact when the permit is ready: Brad Finley		
Mailing address: same as above		
Phone:		



Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>BAF</i>	Date: November 3, 2003
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

☒ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

☒ **Footing/Building Location Inspection:** Prior to pouring concrete

☒ **Re-Bar Schedule Inspection:** Prior to pouring concrete

☒ **Foundation Inspection:** Prior to placing ANY backfill

☒ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

☒ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

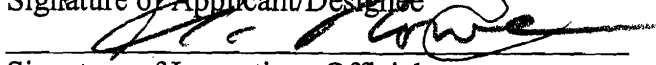
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of Applicant/Designee

3/10/04
Date


Signature of Inspections Official

3/10/04
Date

CBL: 040 D001

Building Permit #: 03 1372

Monaghan

Woodworks Inc.



COMMERCIAL & RESIDENTIAL CONSTRUCTION

FACSIMILE TRANSMITTAL SHEET

TO:

MIKE NUGENT

FROM:

Michael Monaghan

FAX NUMBER:

DATE:

COMPANY:

CITY OF PORTLAND, INSPECTIONS

TOTAL NO. OF PAGES
INCLUDING COVER:

PHONE NUMBER:

SENDER'S REFERENCE
NUMBER:

RE:

YORK STREET

YOUR REFERENCE NUMBER:

☐ URGENT☒ FOR REVIEW☐ PLEASE COMMENT☐ PLEASE REPLY

NOTES/COMMENTS:

20/86 DOWFORTH STREET; PDT ALH.

PLEASE FIND JOB COST INFO ON ABOVE # JOB.

COULD YOU CALL BRAD FINLAY 756.5410

WHEN YOU NEED CHECK FOR PERMIT

TX.

MICHAEL MONAGHAN

207 775-2683 voice
207 772-6726 fax
100 Commercial Street, Suite 105
Portland, Maine 04101
Info@monaghanwoodworks.com

YORK STREET ENTRY

J.B. Brown

Project Contractor Bid

100 Commercial Street
Box 105
Portland, ME
207-775-2683

PM: Brad Finlay
Date: February 9, 2004
MWI Project #: yorkbase04

Code	Description	Estimated Cost	Comments
1008	PROJECT SUPERINTENDENT	\$ 4,750.00	
1209	JANITOR SERVICES		
1301	CONTINUOUS CLEAN-UP	\$ 1,340.00	
1302	FINAL CLEANING	\$ 675.00	
1304	DUMPSTERS	\$ 2,750.00	
1416	TEMPORARY HEAT ENERGY	\$ 1,675.00	
1601	PERMIT BUILDING		NIC
1606	ARCHITECTURAL FEES		By Owner
1642	EQUIPMENT RENTAL		
1699	BUILDERS RISK INSURANCE		By owner
1702	PUNCH LIST		
1000	General Conditions Total	\$ 10,990.00	
2050	DEMOLITION	\$ 8,450.00	
2200	EARTHWORK-Underslab	\$ 2,750.00	
2600	SITE UTILITIES		
2000	Site Construction Total	\$ 11,200.00	
3300	CAST-IN-PLACE CONCRETE	\$ 14,250.00	
3400	PRECAST CONCRETE	\$ 6,600.00	
3000	Concrete Total	\$ 20,850.00	
4200	UNIT MASONRY	\$ 4,520.00	
4000	Masonry Total	\$ 4,520.00	
5100	STRUCTURAL STEEL		
5400	STEEL STAIRS	\$ 17,585.00	
5500	HAND RAILS	\$ 1,850.00	
5000	Steel Total	\$ 19,435.00	
6100	ROUGH CARPENTRY	\$ 20,100.00	
6200	FINISH CARPENTRY	\$ 9,375.00	
6400	ARCHITECTURAL WOODWORK		
6000	Woods and Plastics	\$ 29,475.00	
7150	DAMP-PROOFING		
7200	INSULATION		
7270	FIRESTOPPING	\$ 685.00	Inc. in GWB
7900	JOINT SEALERS		
7000	Thermal and Moisture Protection Total	\$ 685.00	
8100	HOLLOW METAL DRS./FRS.	\$ 450.00	
8200	WOOD DOORS / FRAMES	\$ 13,765.00	

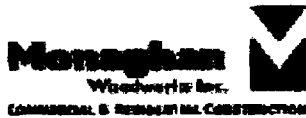
York Street basement

1

2/9/2004 4:38 PM

YORK STREET ENTRY

J.B. Brown

Project Contractor Bid

100 Commercial Street
Box 105
Portland, ME
207-775-2683

PM: Brad Finlay
Date: February 9, 2004
MWI Project #: yorkbase04

Item	Description	Estimated Cost	Comments
8400	ENTRANCES AND STOREFRONTS	\$ 2,450.00	
8700	FINISH HARDWARE	\$ 1,575.00	
8800	GLASS AND GLAZING		
8900	GLAZED CURTAIN WALLS		
8000	Doors and Windows Total	\$ 18,260.00	

9250	GYPSUM BOARD	\$ 18,975.00	
9300	TILE CERAMIC / QUARRY (PREP FLOORS)		
9500	ACOUSTICAL CEILING	\$ 4,375.00	3500 square feet
9650	VCT Incl PREP	\$ 7,850.00	Allowance
9680	CARPET INCL FLOOR PREP.		
9900	PAINTING	\$ 9,460.00	
9000	Finishes Total	\$ 40,460.00	

10100	RELOCATE MAILBOXES	\$ 475.00	
10200	LOUVERS AND VENTS		Existing in mech rm
10270	ACCESS FLOORING	\$ 585.00	Entry Mat
10520	FIRE EXTINGUISHERS / CABINETS	\$ 575.00	
10600	PARTITIONS INCL ACCESSORIES		
10670	STORAGE SHELVING		
10800	TOILET AND BATH ACCESSORIES	\$ 314.00	
10000	Specialties Total	\$ 1,949.00	

11020	SECURITY AND VAULT EQUIPMENT		
11160	LOADING DOCK EQUIPMENT		
11400	FOOD SERVICE EQUIPMENT		
11000	Equipment Total	\$ -	

12300	CASEWORK		
12600	WINDOW TREATMENT		
12690	FLOOR MATS AND FRAMES		By owner
12000	Furnishings Total	\$ -	

13120	FIRE ALARM		Inc. in electrical
13000	Special Construction Total	\$ -	

14200	ELEVATORS		Existing
14600	HOISTS AND CRANES		
14000	Conveying Systems Total	\$ -	

15300	FIRE PROTECTION-Sprinkler	\$ 5,460.00	
15400	PLUMBING	\$ 12,250.00	
15900	HEAT/VENT/AIR COND.		Existing-in common areas

YORK STREET ENTRY

J.B. Brown

Project Contractor Bid

100 Commercial Street
Box 105
Portland, ME
207-775-2683

PM: Brad Finlay
Date: February 9, 2004
MWI Project #: yorkbase04

Code	Description	Estimated Cost	Comments
15000	Mechanical Total	\$ 17,710.00	
16000	ELECTRICAL	\$ 27,500.00	
16530	SITE LIGHTING	\$ 7,900.00	
16000	Electrical Total	\$ 35,400.00	
	Subtotal Construction Cost	\$ 210,934	
	ADMIN.	\$ 16,875	
	CONSTRUCTION CONTINGENCY		
	PREMIUM TIME CONTINGENCY		
		\$ 227,808.72	

03 1372

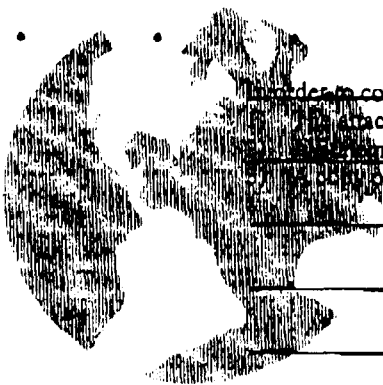
040 D001

389 Congress St. Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

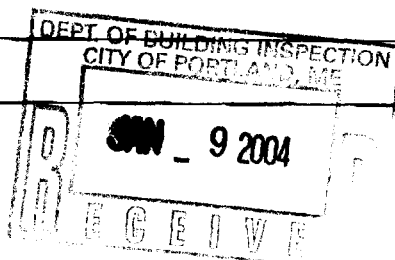
facsimile transmittal

To: Brian Curley From: Mike Nugent
Fax: 775-2694 Date: November 26, 2003
Phone 775-1059 Pages: 2
Re: 20 Danforth St. (040 D001)

☐ Urgent ☐ For Review ☐ Please Comment ☒ Please Reply ☐ Please Recycle



In order to commence the review of the above project please submit:
Attached Certifications completed
Statement of Special Inspection pursuant to section 1705
Breakdown of a breakdown of the estimated construction cost.



75 1569

RECEIVED

NOV 26 2003

PDT ARCHITECTS



756-5410



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: PDT Architects

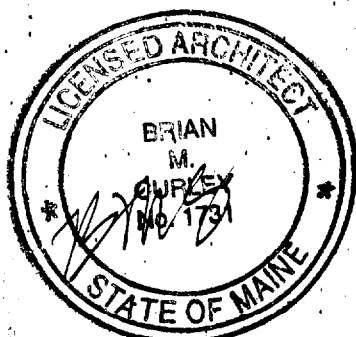
Address of Project 49 Danforth Street

Nature of Project Tenant Improvement

Date 12/3/05

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature Brian M. Curley

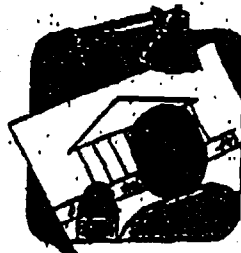
Title Architect

Firm PDT Architects

Address 49 Danforth St

Portland ME 04101

Telephone 207 775-1059 x337



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Brian Curley Architect PDT Architects
49 Dartmouth Street Portland ME 04101

DATE: 1/7/04

Job Name: Interior of Basement / First Flr.

Address of Construction: 20-36 Dartmouth Street Portland, ME

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1996 Use Group Classification(s) B

Type of Construction 4B Bldg. Height 25-35 Ft. Bldg. Sq. Footage

Seismic Zone NA Group Class NA

Roof Snow Load Per Sq. Ft. NA Dead Load Per Sq. Ft. NA

Basic Wind Speed (mph) NA Effective Velocity Pressure Per Sq. Ft. NA

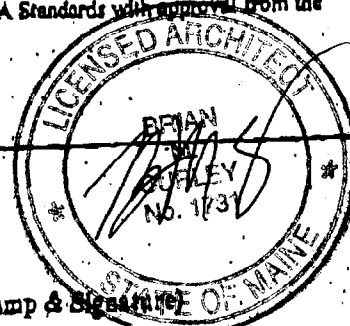
Floor Live Load Per Sq. Ft. BASEMENT

Structure has full sprinkler system? Yes ☒ No ☐ Alarm System? Yes ☒ No ☐
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

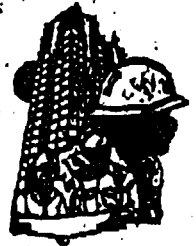
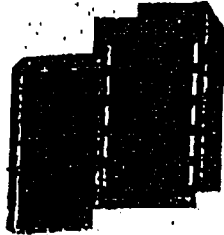
Is structure being considered unlimited area building: Yes ☐ No ☒

If mixed use, what subsection of 313 is being considered

List Occupant loading for each room or space, designed into this Project.



(Designer Stamp & Signature)



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Brian M. Curley PDR Architects

RE: Certificate of Design

DATE: 1/7/04

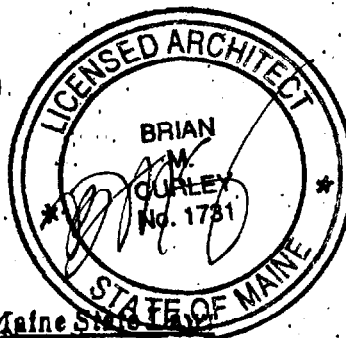
These plans and/or specifications covering construction work on:

20-36 Danforth St

Portland ME 04103

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)



Signature [Signature]

Title Architect / Principal

Firm PDR Architects

Address 49 Danforth St

As per Maine State Law

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design

THE BOCA NATIONAL BUILDING CODE/1999

1703.2.1 Research reports: Supporting data, where necessary to assist in the approval of all materials or assemblies not specifically provided for in this code, shall consist of valid research reports from approved sources.

1703.3 Evaluation and follow-up inspection services: Prior to the approval of a closed prefabricated assembly, the permit applicant shall submit an evaluation report of each prefabricated assembly. The report shall indicate the complete details of the assembly, including a description of the assembly and the assembly's components, the basis upon which the assembly is being evaluated, test results and similar information, and other data as necessary for the code official to determine conformance to this code.

1703.3.1 Evaluation service: The code official shall review evaluation reports from approved sources for adequacy and conformance to the code.

1703.3.2 Follow-up inspection: The owner shall provide for special inspections of fabricated items in accordance with Section 1705.2.

1703.3.3 Test and inspection records: Copies of all necessary test and inspection records shall be filed with the code official.

1703.4 Identification: All required product identification shall be legible and shall be applied to the product or product packaging, as applicable, in a manner that will allow product verification at the time of a field inspection conducted by the code official or special inspector, as applicable, prior to the issuance of a certificate of occupancy by the code official.

For products where the required identification is on the product packaging, the part of the packaging containing the product identification shall be kept at the building site where it can be verified at the time of field inspection. For products where the required identification is concealed from view after the product is installed, the code official shall be notified before the product identification is concealed and the product identification shall not be concealed before approval.

SECTION 1704.0 APPROVALS

1704.1 Written approval: Any material, appliance, equipment, system or method of construction meeting the requirements of this code shall be approved in writing within a reasonable time after satisfactory completion of all the required tests and submission of required test reports.

1704.2 Approved record: For any material, appliance, equipment, system or method of construction that has been approved, a record of such approval, including all of the conditions and limitations of the approval, shall be kept on file in the code official's office and shall be open to public inspection at all appropriate times.

1704.3 Labeling: Products and materials required to be labeled shall be labeled in accordance with the procedures set forth in Sections 1704.3.1 through 1704.3.3.

1704.3.1 Testing: An approved agency shall test a representative sample of the product or material being labeled to the relevant standard or standards. The approved agency shall maintain a record of all of the tests performed. The record

shall provide sufficient detail to verify compliance with the test standard.

1704.3.2 Inspection and identification: The approved agency shall periodically perform an inspection, which shall be in-plant if necessary, of the product or material that is to be labeled. The inspection shall verify that the labeled product or material is representative of the product or material tested.

1704.3.2.1 Independent: The agency to be approved shall be objective and competent. The agency shall also disclose all possible conflicts of interest so that objectivity can be confirmed.

1704.3.2.2 Equipment: An approved agency shall have adequate equipment to perform all required tests. The equipment shall be periodically calibrated.

1704.3.2.3 Personnel: An approved agency shall employ experienced personnel educated in conducting, supervising and evaluating tests.

1704.3.3 Label information: The label shall contain the manufacturer's or distributor's identification, model number, serial number, or definitive information describing the product or material's performance characteristics and approved agency's identification.

1704.4 Heretofore-approved materials: The use of any material already fabricated or of any construction already erected, which conformed to requirements or approvals heretofore in effect, shall be permitted to continue, if not detrimental to life, health or safety of the public.

SECTION 1705.0 SPECIAL INSPECTIONS

1705.1 General: The permit applicant shall provide special inspections where application is made for construction as described in this section. The special inspectors shall be provided by the permit applicant and shall be qualified and approved for the inspection of the work described herein.

Exceptions

1. Special inspections are not required for work of a minor nature or where warranted by conditions in the jurisdiction.
2. Special inspections are not required for building components unless the design involves the practice of professional engineering or architecture as defined by applicable state statutes and regulations governing the professional registration and certification of engineers or architects.
3. Special inspections are not required for occupancies in Use Group R-3 and occupancies in Use Group U that are accessory to a residential occupancy including, but not limited to, those listed in Table 312.1.

1705.1.1 Building permit requirement: The permit applicant shall submit a statement of special inspections prepared by the registered design professional in responsible charge in accordance with Section 114.2.1 as a condition for permit issuance. This statement shall include a complete list of materials and work requiring special inspection by this section, the inspections to be performed and a list of the

individuals, approved agencies and firms intended to be retained for conducting such inspections.

1705.1.2 Report requirement: Special inspectors shall keep records of all inspections. The special inspector shall furnish inspection reports to the code official, and to the registered design professional in responsible charge. All discrepancies shall be brought to the immediate attention of the contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the code official and to the registered design professional in responsible charge prior to the completion of that phase of the work. A final report of inspections documenting completion of all required special inspections and correction of any discrepancies noted in the inspections shall be submitted prior to the issuance of a certificate of occupancy. Interim reports shall be submitted periodically at a frequency agreed upon by the permit applicant and the code official prior to the start of work.

1705.2 Inspection of fabricators: Where fabrication of structural loadbearing members and assemblies is being performed on the premises of a fabricator's shop, special inspection of the fabricated items shall be required. The fabricated items shall be inspected as required by this section and as required elsewhere in this code.

1705.2.1 Fabrication procedures: The special inspector shall verify that the fabricator maintains detailed fabrication and quality control procedures which provide a basis for inspection control of the workmanship and the fabricator's ability to conform to approved drawings, project specifications and referenced standards. The special inspector shall review the procedures for completeness and adequacy relative to the code requirements for the fabricator's scope of work.

1705.2.2 Procedures implementation: The special inspector shall verify that the fabricator is properly implementing the fabrication and quality control procedures outlined in Section 1705.2.1.

Exception: Special inspections as required by Section 1705.2 shall not be required where the fabricator maintains an agreement with an approved independent inspection or quality control agency to conduct periodic in-plant inspections at the fabricator's plant, at a frequency that will assure the fabricator's conformance to the requirements of the inspection agency's approved quality control program.

1705.3 Steel construction: The special inspections for steel elements of buildings and structures shall be as required by Sections 1705.3.1 through 1705.3.3.

1705.3.1 Inspection of steel fabricators: The permit applicant shall provide special inspection of steel fabricated items in accordance with the provisions of Section 1705.2.

Exception: Special inspection of the steel fabrication process shall not be required where the fabricator does not perform any welding, thermal cutting or heating operation of any kind as part of the fabrication process. In such cases, the fabricator shall be required to submit a detailed procedure for material control which demonstrates the fabricator's ability to maintain suitable records and procedures such that, at any time during the fabrication process, the

material specification, grade and mill test reports for main stress-carrying elements and bolts are capable of being determined.

1705.3.2 Material receiving: All main stress-carrying members, welding material and bolting material shall be inspected for conformance to Table 1705.3.2.

1705.3.3 Erection: Special inspections are required for bolting and details as specified in Sections 1705.3.3.1 through 1705.3.3.3.

1705.3.3.1 Installation of high-strength bolts: Installation shall be as specified in Section 9 of the RCSC Specification for Structural Joints Using A325 or A490 Bolts listed in Chapter 35.

Table 1705.3.2
INSPECTION FOR STEEL MATERIALS

Material	Inspection required	Reference for criteria
Bolts, nuts, washers	1. Material identification markings. 2. Conformance to ASTM standards specified by the design engineer. Manufacturer's designation (certificate of compliance) is required.	Applicable ASTM material specifications; AISC ASD, Section A3.4; AISC LRFD, Section A3.3
Structural steel	1. Material identification markings. 2. Conformance to ASTM standards specified in the approved plans and specifications.	ASTM A6 or ASTM A588 Provide certified test reports in accordance with ASTM A6 or ASTM A588
Weld filler materials	1. Conformance to AWS specification as specified in the approved plans and specifications. Manufacturer's designation (certificate of compliance) is required.	AISC ASD, Section A3.6; AISC LRFD, Section A3.6

Note a. The specific standards referenced are those listed in Chapter 35.

1705.3.3.2 Welding: Weld inspection shall be in compliance with Section 6 of AWS D1.1 listed in Chapter 35. Weld inspectors shall be certified in accordance with AWS D1.1 listed in Chapter 35.

1705.3.3.2.1 Welding of the structural seismic-resisting system: Welding of the structural seismic-resisting system of buildings assigned to Seismic Performance Category C, D or E, in accordance with Section 1610.1.7, shall be inspected in accordance with Sections 1705.3.3.2.2 and 1705.3.3.2.3. Each complete penetration groove weld in joints and splices shall be tested for the full length of the weld either by ultrasonic testing or by other approved methods, for special moment frames and eccentrically braced frames.

Exception: The nondestructive testing rate for welds made by an individual welder is permitted to be reduced to 25 percent of the welds, with the approval of the registered design professional responsible for the structural design, provided the weld inspection reject rate is 5 percent or less.

1705.3.3.2.2 Column splice welds: Column splice welds, which are not required to be tested, shall be inspected in accordance with Section 1705.3.3.2.1.

be tested by ultrasonic testing or other approved methods at a percentage rate established by the registered design professional responsible for the structural design. All partial penetration column splice welds designed for axial or flexural tension from seismic forces shall be tested.

1705.3.3.2.3 Base metal testing: Base metal having a thickness more than $1\frac{1}{4}$ inches (38 mm) and subject to through-thickness weld shrinkage strains shall be ultrasonically tested for discontinuities behind and adjacent to the welds after joint welding. Any material discontinuities shall be evaluated based on the criteria established in the construction documents by the registered design professional responsible for the structural design.

1705.3.3.3 Details: The special inspector shall perform an inspection of the steel frame to verify compliance with the details shown on the approved construction documents, such as bracing, stiffening, member locations and proper application of joint details at each connection.

1705.4 Concrete construction: The special inspections for concrete elements of buildings and structures and concreting operations shall be as required by Sections 1705.4.1 through 1705.4.7.

Exception: Special inspections shall not be required for:

1. Concrete footings of buildings three stories or less in height which are fully supported on earth or rock.
2. Nonstructural concrete slabs supported directly on the ground, including prestressed slabs on grade, where the effective prestress in the concrete is less than 150 psi (0.11 kg/mm²).
3. Plain concrete foundation walls constructed in accordance with Table 1812.3.2.
4. Concrete patios, driveways and sidewalks, on grade.

1705.4.1 Materials: In the absence of sufficient data or documentation providing evidence of conformance to quality standards for materials in Chapter 3 of ACI 318 listed in Chapter 35, the code official shall require testing of materials in accordance with the appropriate standards and criteria for the material in Chapter 3 of ACI 318 listed in Chapter 35. Weldability of reinforcement, except that which conforms to ASTM A706 listed in Chapter 35, shall be determined in accordance with the requirements of Section 1906.5.2.

1705.4.2 Installation of reinforcing and prestressing steel: The location and installation details of reinforcing and prestressing steel shall be inspected for compliance with the approved construction documents and ACI 318 (such as Sections 7.4, 7.5, 7.6 and 7.7) listed in Chapter 35. Welding of reinforcing of the structural seismic-resisting system shall be inspected for buildings assigned to Seismic Performance Category C, D or E, in accordance with Section 1610.1.7.

1705.4.3 Formwork: Forms for concrete, if used, shall be inspected for compliance with Section 6.1 of ACI 318 listed in Chapter 35, and with any additional design requirements indicated on the approved construction documents. Inspection of form removal and reshoring shall be conducted to

verify compliance with Section 6.2 of ACI 318 listed in Chapter 35.

1705.4.4 Concreting operations: During placing and curing of concrete, the special inspections listed in Table 1705.4.4 shall be performed.

**Table 1705.4.4
REQUIRED INSPECTIONS DURING CONCRETING**

Required Inspection	Reference ^a for criteria
1. Evaluation of concrete strength, except as exempted by Section 1906.3.1(3) of this code.	ACI 318 Section 5.6
2. Inspection for use of proper mix proportions and proper mix techniques.	ACI 318 Chapter 4, Sections 5.2, 5.3, 5.4 and 5.8
3. Inspection during concrete placement, for proper application techniques.	ACI 318 Sections 5.9 and 5.10
4. Inspection for maintenance of specified curing temperatures and techniques.	ACI 318 Sections 5.11, 5.12 and 5.13

^aNote a. ACI 318 listed in Chapter 38.

1705.4.5 Inspection during prestressing: Inspection during the application of prestressing forces shall be performed to determine compliance with Section 18.18 of ACI 318 listed in Chapter 35.

1705.4.5.1 Inspection during grouting: In buildings assigned to Seismic Performance Category C, D or E, in accordance with Section 1610.1.7, inspection during the grouting of bonded prestressing tendons in the structural seismic-resisting system shall be performed.

1705.4.6 Manufacture of precast concrete: The manufacture of precast concrete, as required by Section 1705.2, shall be subject to a quality control program administered by an approved agency.

1705.4.7 Erection of precast concrete: Erection of precast concrete shall be inspected for compliance with the approved plans and erection drawings.

1705.5 Masonry construction: The special inspections listed in Table 1705.5 shall be required for masonry construction where masonry is designed in accordance with ACI 530/ASCE 5/TMS 402 listed in Chapter 35.

1705.6 Wood construction: Special inspections of the fabrication process of wood structural elements and assemblies shall be in accordance with Section 1705.2. Special inspection is required for nailing, bolting, structural gluing or other fastening of the structural seismic-resisting system of buildings assigned to Seismic Performance Category C, D or E, in accordance with Section 1610.1.7.

1705.7 Prepared fill: The special inspections for prepared fill shall be as required by Sections 1705.7.1 through 1705.7.3. The approved report, required by Section 1804.1, shall be used to determine compliance.

1705.7.1 Site preparation: Prior to placement of the prepared fill, the special inspector shall determine that the site has been prepared in accordance with the approved report.

Table 1705.5
SPECIAL INSPECTIONS FOR MASONRY CONSTRUCTION

Inspection or test	Referenced ^a criteria	
	ACI 530/ ASCE 5/ TMS 402	ACI 530.1/ ASCE 8/ TMS 602
1. Material		Sec. 2.9
2. Masonry strength		Sec. 1.4
b. Application of mortar and grout; installation of masonry units		Sec. 3.2 Sec. 3.5
d. Protection of masonry during cold weather (temperature below 40 degrees F.) or hot weather (temperature above 100 degrees F.)		
4. Inspection of welding of reinforcement, grouting, consolidation and reconsolidation for buildings assigned to Seismic Performance Category C, D or E, in accordance with Section 1610.1.7.	Notes b	Notes b

Note a. The specific standards referenced are those listed in Chapter 35.
Note b. Referenced criteria not applicable.

1705.7.2 During fill placement: During the placement and compaction of the fill material, the special inspector shall determine that the material being used and the maximum lift thicknesses comply with the approved report.

1705.7.3 Evaluation of in-place density: The special inspector shall determine, at the approved frequency, that the in-place dry density of the compacted fill complies with the approved report.

1705.8 Pile foundations: *Special inspections of pile foundations are required as provided for in Section 1816.13 of this code.*

1705.9 Pier foundations: *Special inspection* is required for pier foundations of buildings assigned to Seismic Performance Category C, D or E, in accordance with Section 1610.1.7.

1705.10 Wall panels and veneers: *Special inspection* is required for exterior and interior architectural wall panels and the anchoring of veneers for buildings assigned to Seismic Performance Category E, in accordance with Section 1610.1.7.

1703.11 Mechanical and electrical components: Mechanical and electrical components that are located in buildings assigned to Seismic Performance Category B shall be inspected, tested and certified as required by this section, in accordance with Section 1610.1.7.

1705.11.1 Component inspection: *Special inspection* is required for the installation of the following components where the component has a performance criteria factor of 1.0 or 1.5 in accordance with Section 1610.6.4.

1. Equipment using combustible energy sources.
2. Electrical motors, transformers, switchgear unit sub stations and motor control centers.
3. Reciprocating and rotating-type machinery.
4. Piping distribution systems, 3 inches and larger.
5. Tanks, heat exchangers and pressure vessels.

1705.11.2 Component and attachment testing: The component manufacturer shall test or analyze the component and the component mounting system or anchorage for the design forces in Section 1610.6.4 for those components having performance criteria factor of 1.0 or 1.5 in accordance with Section 1610.6.4. The manufacturer shall submit a certificate of compliance for review and acceptance by the *registered design professional* responsible for the design, and for approval by the code official. The basis of certification shall be by test on a shaking table, by three-dimensional shock test by an analytical method using dynamic characteristics and forces from Section 1610.6.4 or by more rigorous analysis. The special inspector shall inspect the component and verify that the label, anchorage or mounting conforms to the certificate of compliance.

1705.11.3 Component manufacturer certification: Each manufacturer of equipment to be placed in a building assigned to Seismic Performance Category E, in accordance with Section 1610.1.7, where the equipment has a performance criteria factor of 1.0 or 1.5 in accordance with Section 1610.6.4, shall maintain an approved quality control program. Evidence of the quality control program shall be permanently identified on each piece of equipment by a label.

1705.12 Sprayed cementitious and mineral fiber fireresistive materials: Special inspections for sprayed cementitious and mineral fiber fireresistive materials applied to structure elements shall be performed in accordance with Sections 1705.12.1 through 1705.12.5. Special inspections shall be based upon the fireresistance design as designated in the approved construction documents.

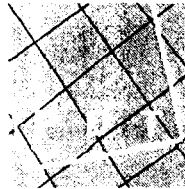
1705.12.1 Structure element surface conditions: The surfaces of all structure elements to be sprayed shall be inspected before the application of the sprayed fireresistive material to determine that such surfaces were prepared in accordance with the approved fireresistance design and the manufacturer's approved written instructions.

1705.12.2 Application: The sprayed fireresistive materials and the surfaces of the structure elements to be sprayed shall have a minimum ambient temperature before and after application until cured as specified in the manufacturer's approved written instructions. The area for spray application shall be ventilated during and after application as required by the manufacturer's approved written instructions to allow the sprayed fireresistive materials to cure.

1705.12.3 Thickness: The average thickness of the cured sprayed fireresistive material applied to structure elements shall not be less than the thicknesses required by the approved fireresistance design. Thickness shall be determined by an approved method using samples of the sprayed fireresistive materials selected in accordance with Sections 1705.12.3.1 and 1705.12.3.2.

ARCHITECTURE
INTERIOR DESIGN
PLANNING

PORTLAND



A R C H I T E C T S

FAX

MEMO

NOTES

TELCON

TRANSMITTAL

DATE: 11 February 2004
TO/COMPANY: Mike Nugent – City of Portland
PROJECT: 20/36 Danforth St - Basement
FROM: Brian Curley 207 775 1059 x337
PAGES: Four (4)
RE: Lobby + Basement Project - Special Inspection Form

FAXED
2/12/04

curley@pdtarchs.com

COMMENTS:

Please find enclosed a Statement of Special Inspections Form completed by PDT Architects/Shelley Engineering for the renovation of the basement/first floor lobby space at 20-36 Danforth Street. This has been submitted at your request to obtain the building permit for the project

Thank You,

A handwritten signature in black ink, appearing to read 'Brian Curley'.

Brian Curley, AIA
Principal
PDT Architects

Cc: Steve Reynolds – JBBrown
Tim Shelley – SEI
Mike Monaghan

SEI **SHELLEY ENGINEERING, INC.**
STRUCTURAL CONSULTANTS

RECEIVED**Fax Memorandum**

FEB 11 2004

PDT ARCHITECTS

To:	Brian Curley	From:	Tim Shelley
	775-2694	Pages:	3
Company:	Portland Design Team	Date:	2/11/04
Re:	Special Inspection Forms	CC:	

☐ **Urgent** ☐ **For Review** ☐ **Please Comment** ☐ **Please Reply** ☐ **For Your Use**

• **Comments:**

Sincerely,

Timothy G. Shelley, P.E.

S E A M

Structural Engineering Association of Maine

STATEMENT OF SPECIAL INSPECTIONS

PROJECT: RENOVATIONS AT 20-36 DANFORTH ST.
LOCATION: 20-36 Danforth Street Portland ME 04101
PERMIT APPLICANT: J.B. Brown + Sons
APPLICANT'S ADDRESS: 482 Congress Street
Portland ME 04101
STRUCTURAL ENGINEER OF RECORD: TIM SHELLEY SEI
Name Firm
ARCHITECT OF RECORD: Brian Curley PDT Architects
Name Firm

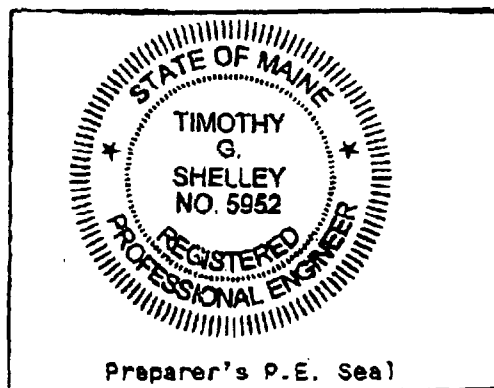
This Statement of Special Inspections is submitted in accordance with Section 1705.0 of the 1993 BOCA National Building Code. It includes a listing of special inspections applicable to this project as well as the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.

The Special Inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Code Official and to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Code Official and to the Registered Design Professional of Record. Interim reports shall be submitted to the Code Official and to the Registered Design Professional of Record monthly, unless more frequent submissions are requested by the Code Official.

Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared By:

TIMOTHY SHELLEY
NAME
Timothy G. Shelley 2-11-04
SIGNATURE DATE



Applicant's Authorization:

[Signature] 2/11/04
SIGNATURE DATE
3/15/94

Building Code Official:

SIGNATURE DATE
Page 1 of ____

S E A M

Structural Engineering Association of Maine

LIST OF AGENTS

PROJECT: RENOVATIONS TO 20-36 DANFORTH ST

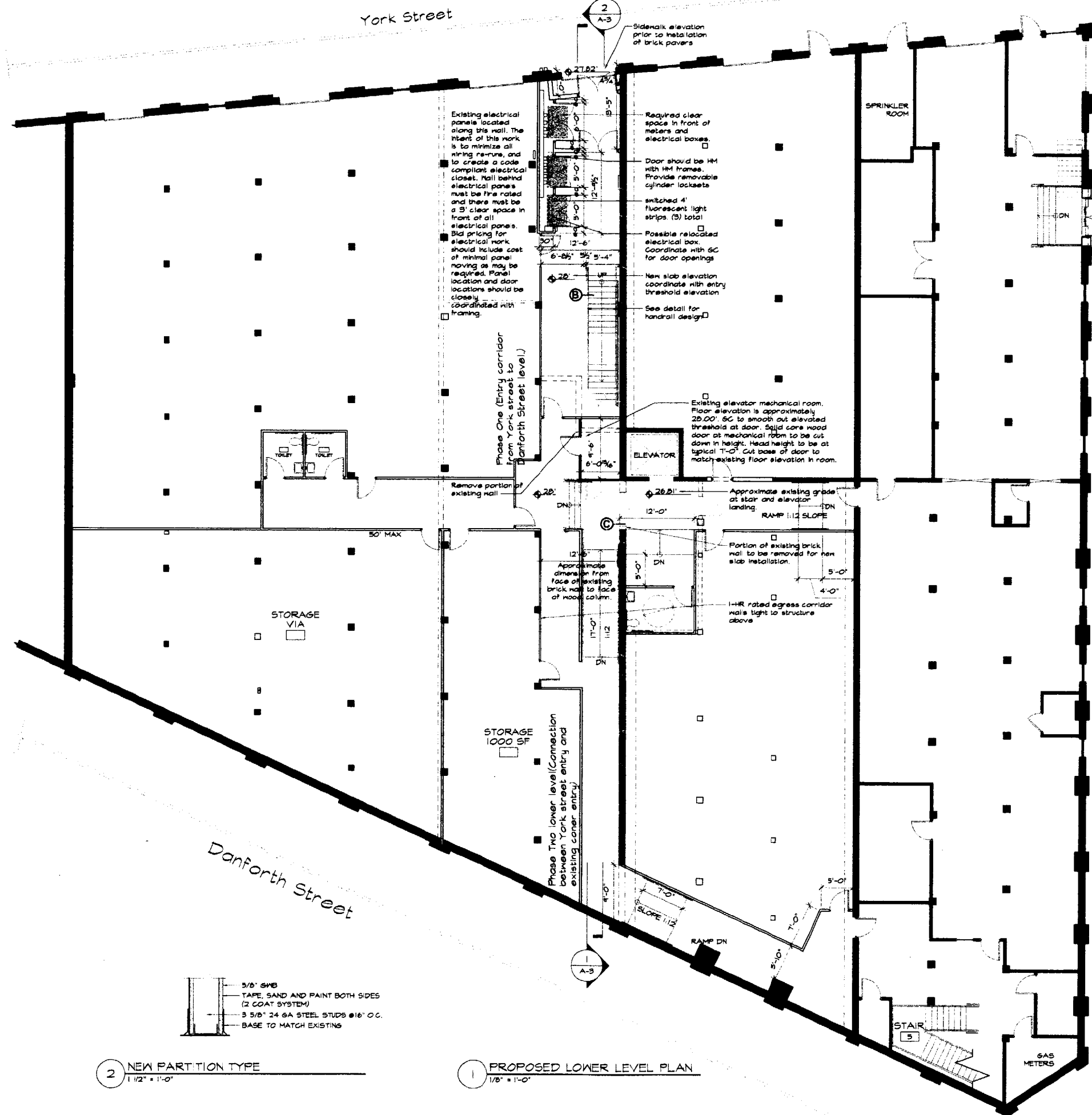
STRUCTURAL ENGINEER OF RECORD: TIM SHELLEY SEI
Name Firm

ARCHITECT OF RECORD:

Brian Curley PDT Architects
Name Firm
49 Danforth Street Portland ME 04101
Address

Following is the List of Agents selected for performance of Special Inspections for this project.

- | | Name | Firm |
|-----------------------|--------------------|----------------------------|
| 1. Special Inspector | <u>TIM SHELLEY</u> | <u>SHELLEY ENGINEERING</u> |
| 2. Testing Laboratory | _____ | _____ |
| 3. Testing Laboratory | _____ | _____ |
| 4. | _____ | _____ |
| 5. | _____ | _____ |
| 6. | _____ | _____ |
| 7. | _____ | _____ |
| 8. | _____ | _____ |
| 9. | _____ | _____ |
| 10. | _____ | _____ |



3/8" SHS
TAPE, SAND AND PAINT BOTH SIDES
(2 COAT SYSTEM)
3 5/8" 24 GA STEEL STUDS @16" O.C.
BASE TO MATCH EXISTING

2 NEW PARTITION TYPE
1 1/2" = 1'-0"

1 PROPOSED LOWER LEVEL PLAN
1/8" = 1'-0"

Maple Street

PROVIDE FIRE ALARM AND SMOKE DETECTION PER CODE.

MAINTAIN EXISTING NFPA 15 SPRINKLER SYSTEM.

PROVIDE ELECTRICAL OUTLETS PER CODE.

ALL NEW DOORS SHALL BE 3'-0"x8'-0" IN HOLLOW METAL FRAMES. PROVIDE PASSAGE HARDWARE (LEVER HANDLES) AT ALL DOORS. ENTRY DOOR SHALL HAVE A CLASSROOM TYPE LOCKSET.

INSTALL CLOSERS ON ALL RATED DOORS.

WALL LEGEND

EXISTING WALL TO REMAIN

DEMO WALL

NEW WALL

20/36 Danforth St.
Portland, Maine 04101

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DRWN CHK
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ISSUE
OCTOBER 2003

JOB NO.
05-066

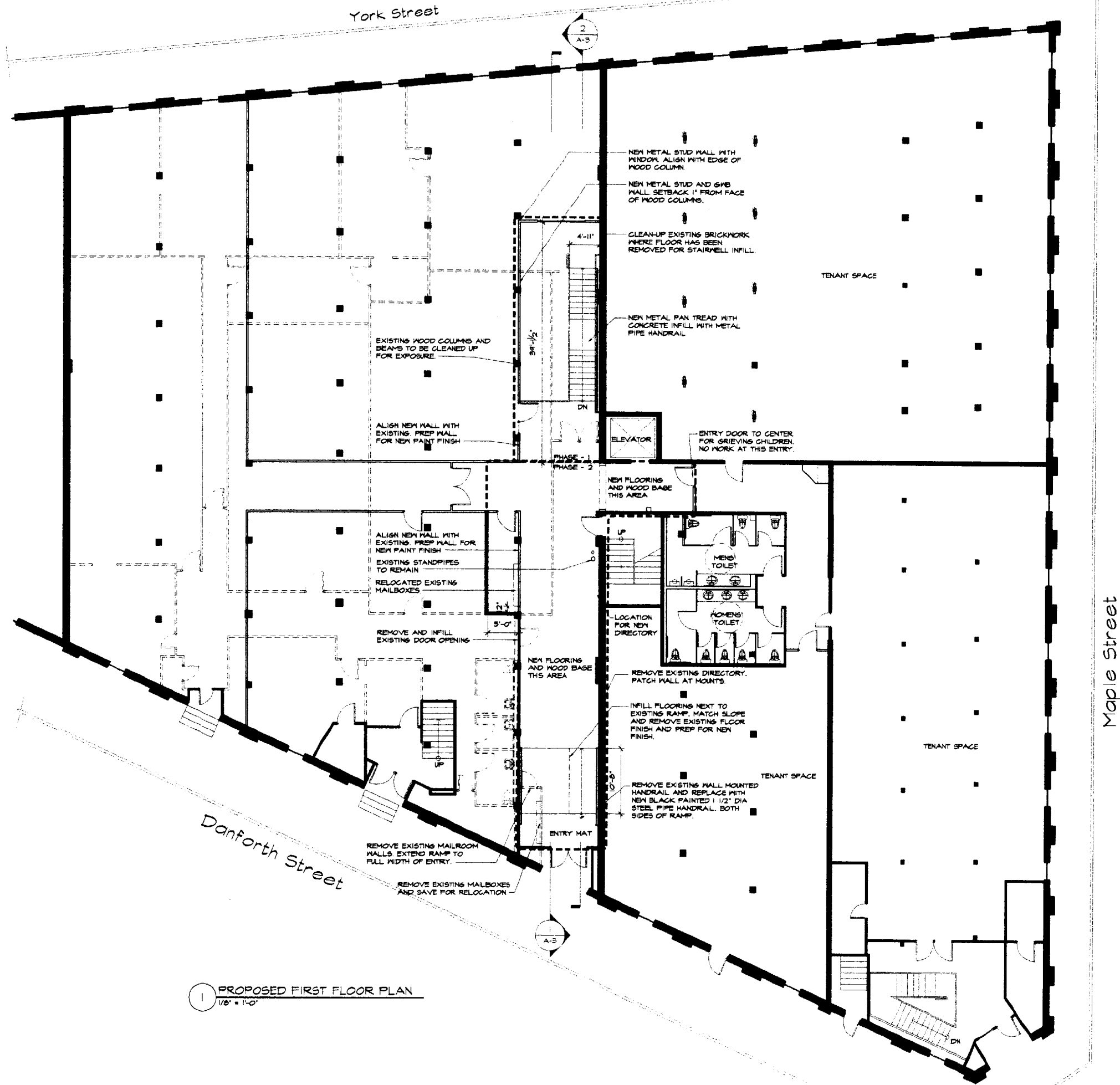
SCALE
AS NOTED

TITLE
PROPOSED LOWER LEVEL
PLAN

SHEET

A-1

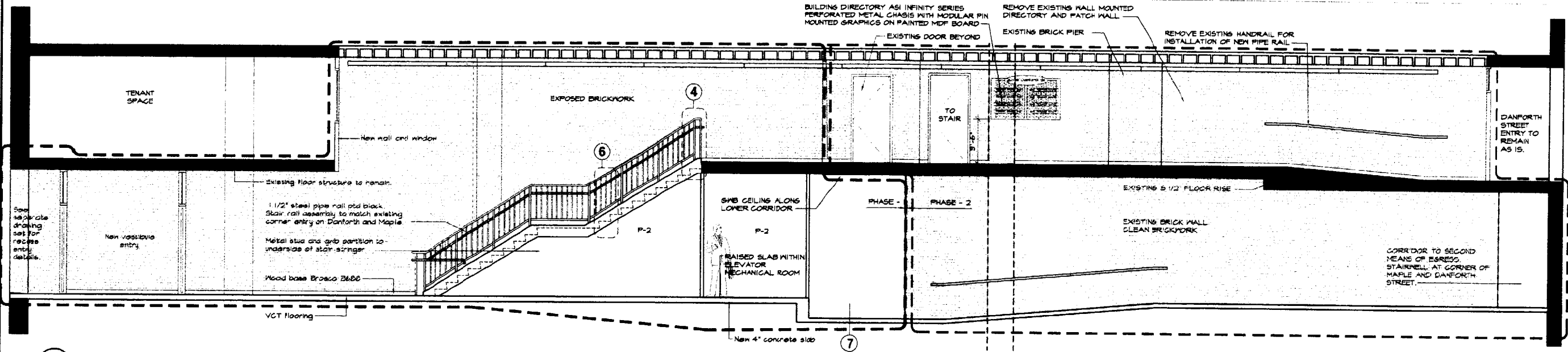
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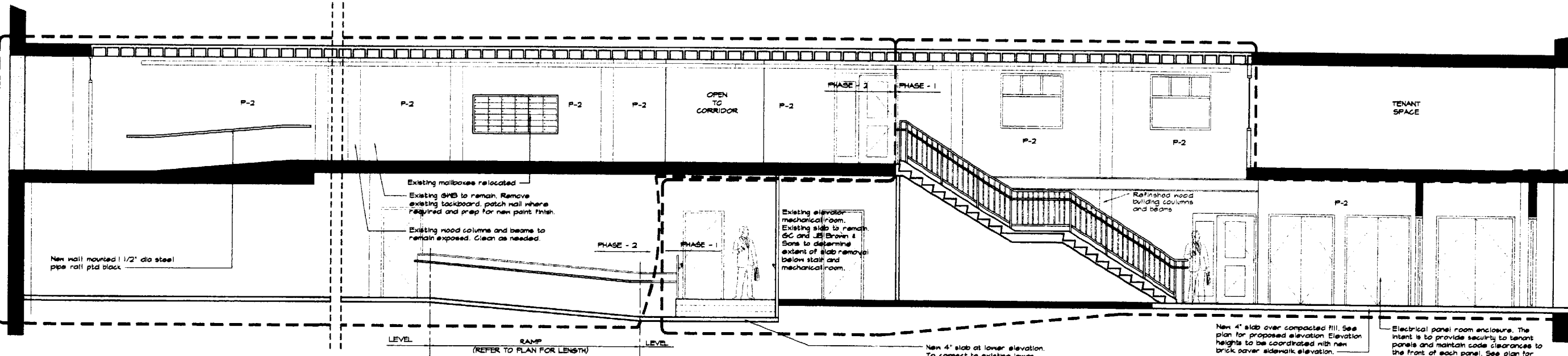
1 PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

ARCHITECTURE INTERIOR DESIGN PLANNING		ARCHITECTS	
20/36 Danforth St. Portland, Maine 04101		P. D. ARCHITECTS	
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TITLE PROPOSED FIRST FLOOR PLAN		JOB NO. 03-086	ISSUE OCTOBER 2003
SCALE: AS NOTED			
SHEET A-2			

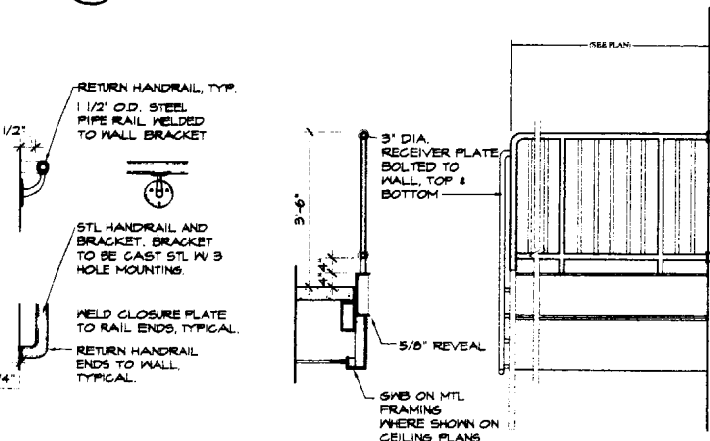
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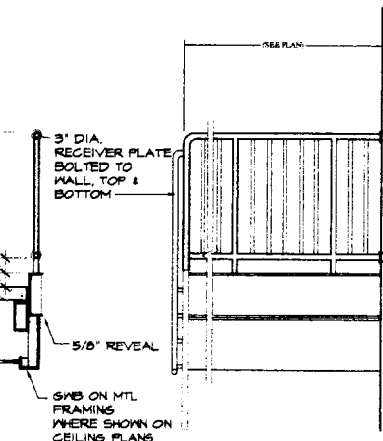
1 YORK STREET ENTRY
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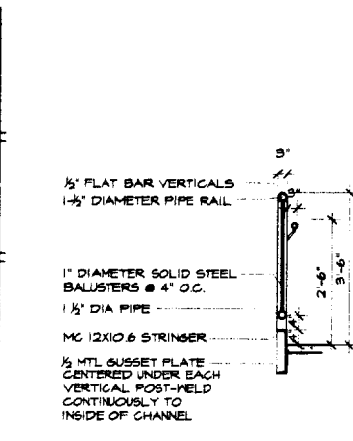
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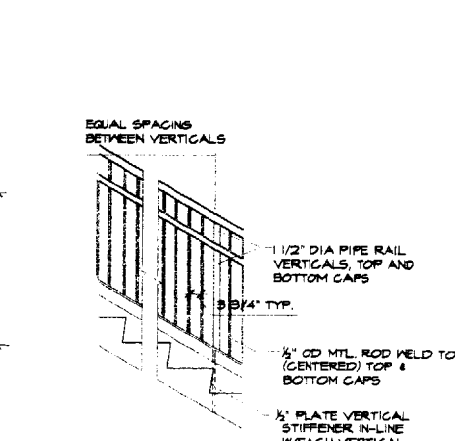
3 HANDRAIL MOUNT
3/4" = 1'-0"



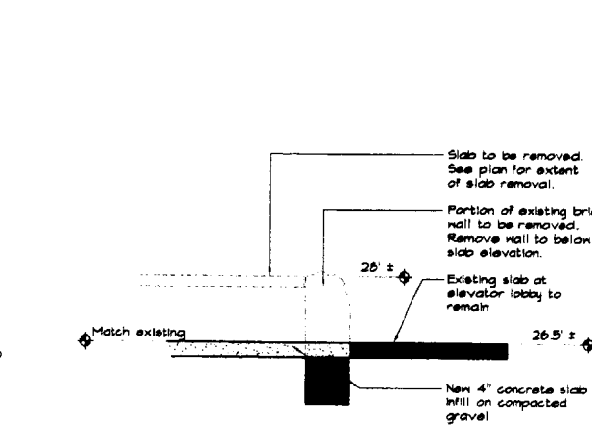
4 HANDRAIL AT STAIR
1/2" = 1'-0"



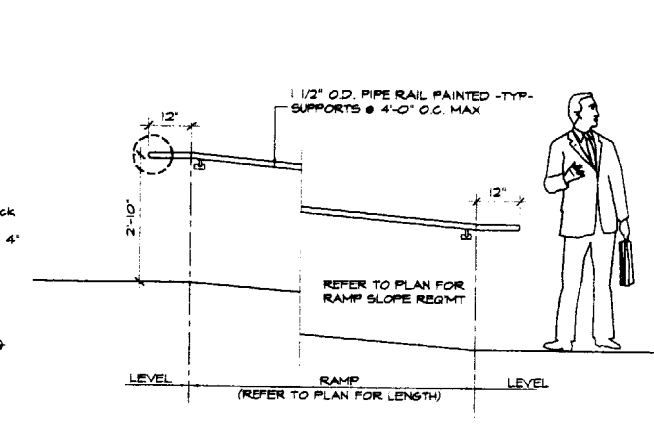
5 STAIR HANDRAIL
1/2" = 1'-0"



6 STAIR HANDRAIL
1/2" = 1'-0"

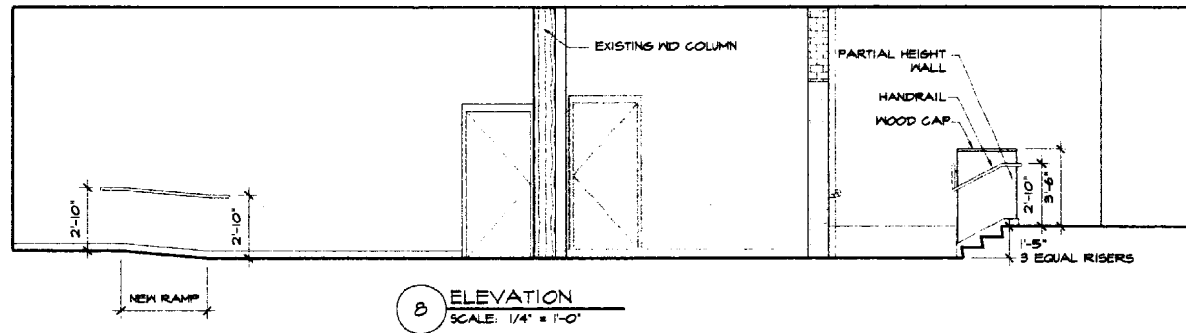


7 SECTION THROUGH PORTION OF EXISTING BRICK WALL
1/2" = 1'-0"

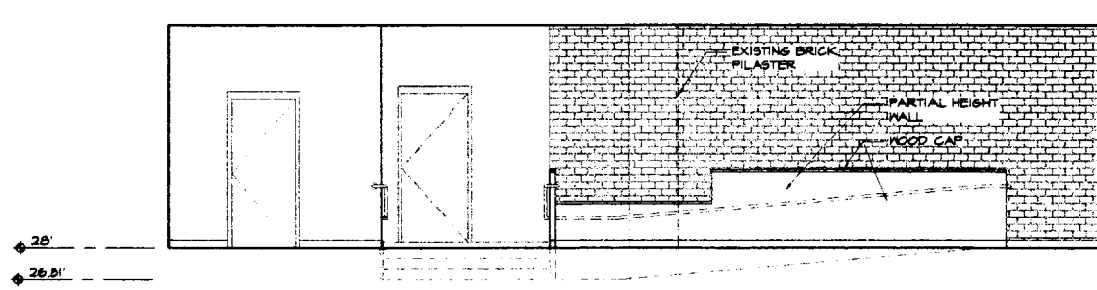


8 SECTION THROUGH RAMP
1/2" = 1'-0"

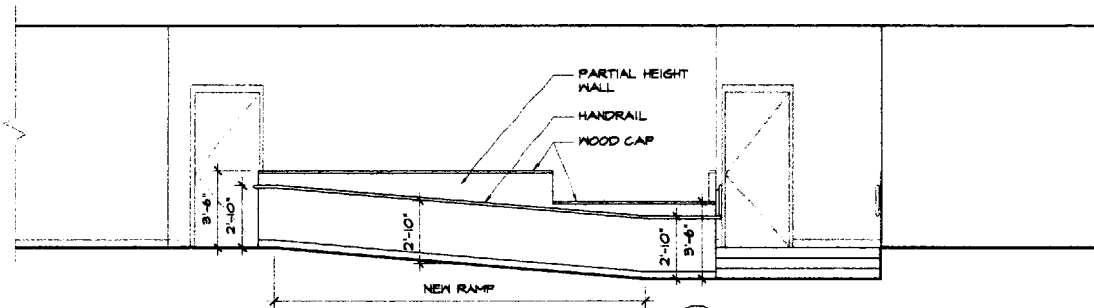
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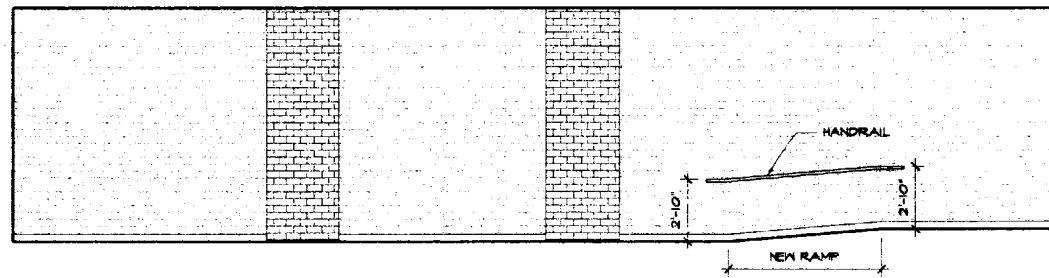
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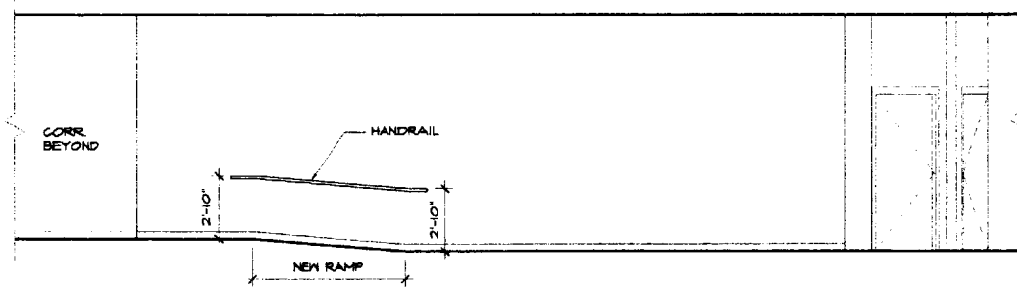
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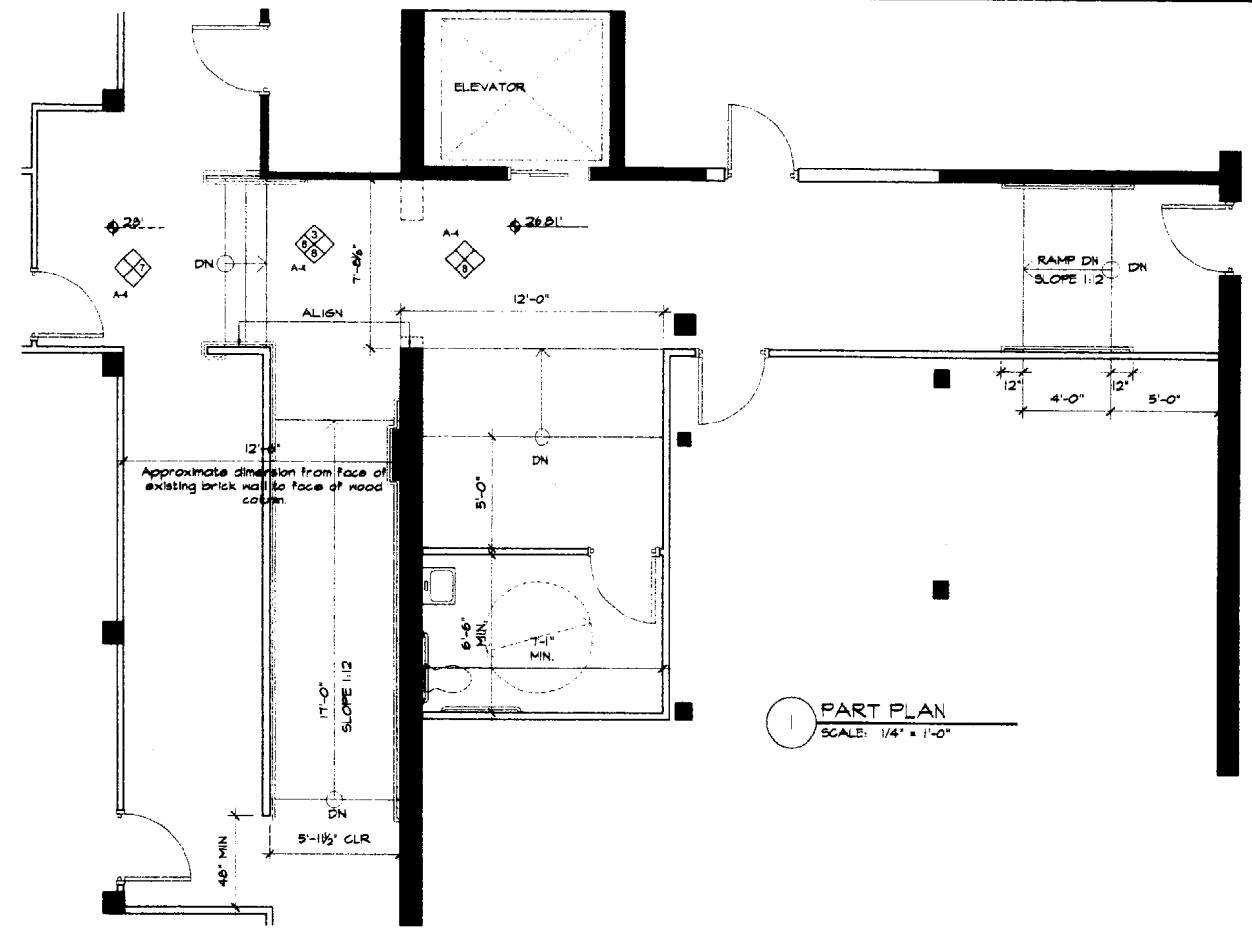
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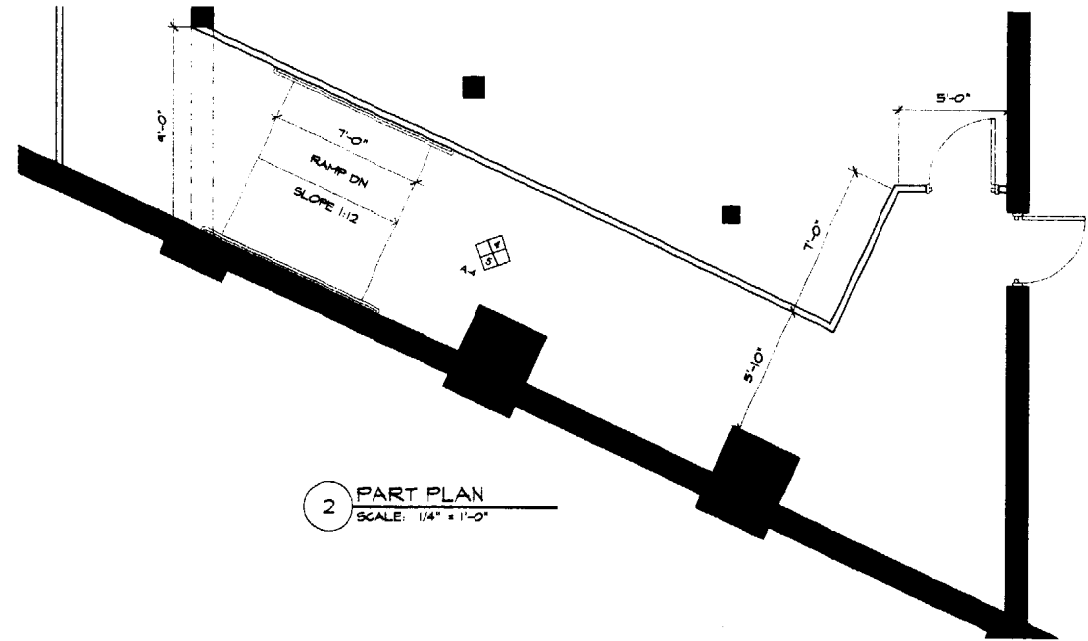
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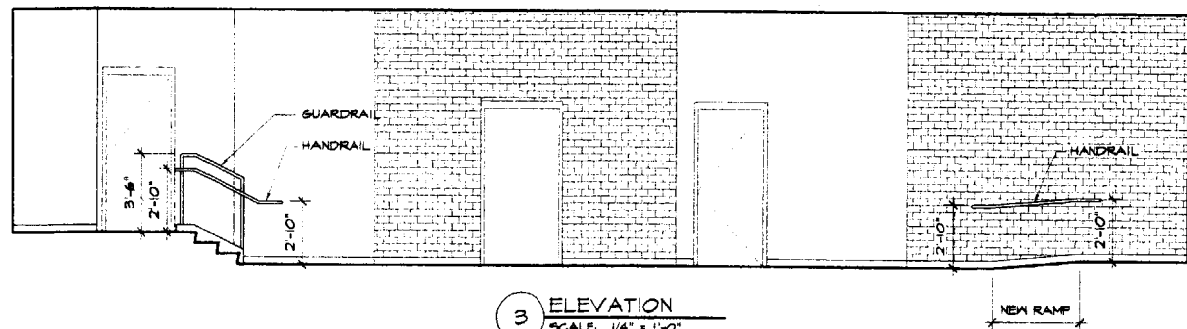
4 ELEVATION
SCALE: 1/4" = 1'-0"



1 PART PLAN
SCALE: 1/4" = 1'-0"



2 PART PLAN
SCALE: 1/4" = 1'-0"



3 ELEVATION
SCALE: 1/4" = 1'-0"

20/36 Danforth St.
Portland, Maine 04101

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PDT

ISSUE
OCTOBER 2003

JOB NO.
03-006

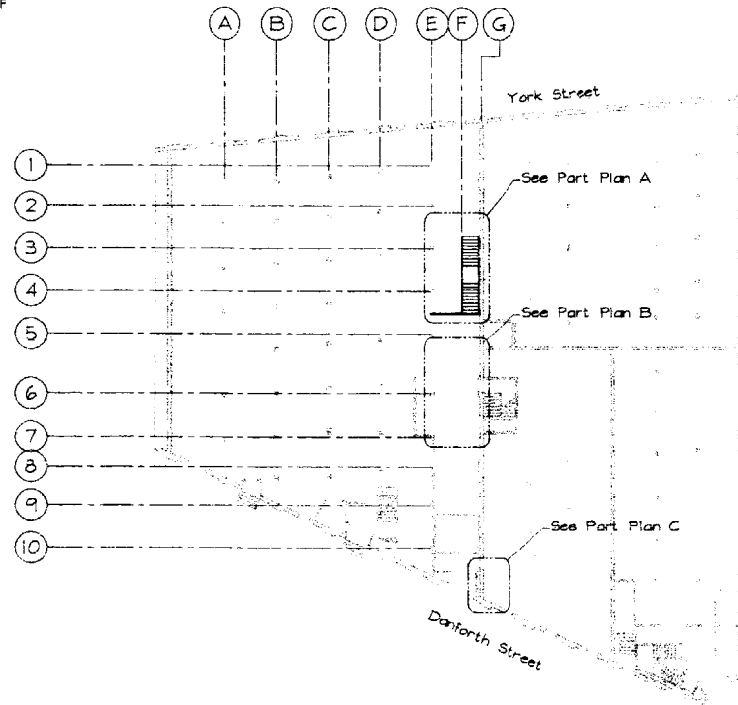
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TITLE
PART PLANS
& DETAILS

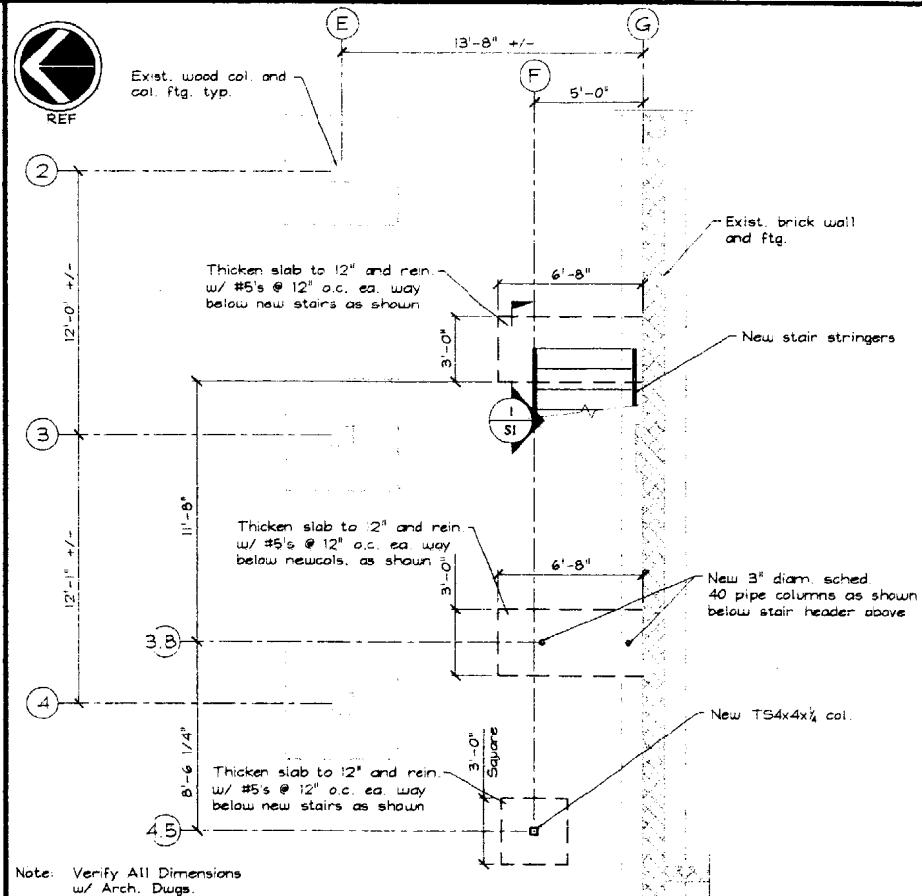
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A-4

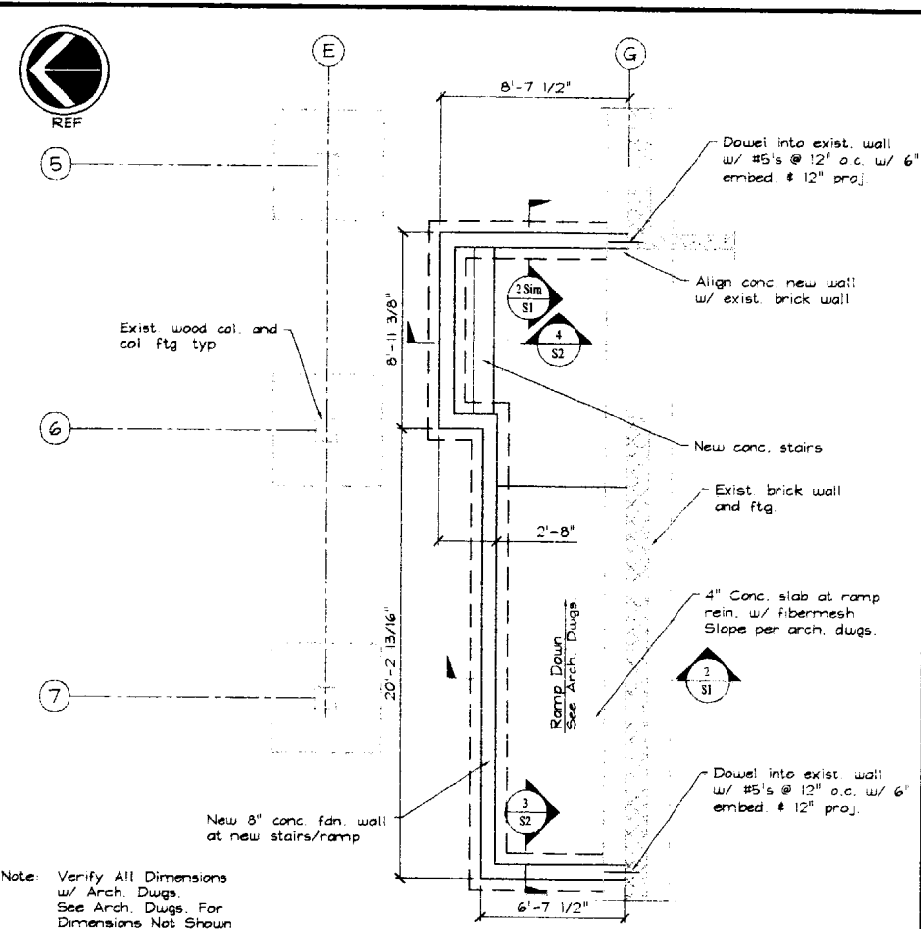
ARCHITECTURE
INTERIOR DESIGN
PLANNING
PDT ARCHITECTS
19 DARTMOUTH STREET
PORTLAND, ME 04101
TEL: 207.773.4000 FAX: 207.773.4001



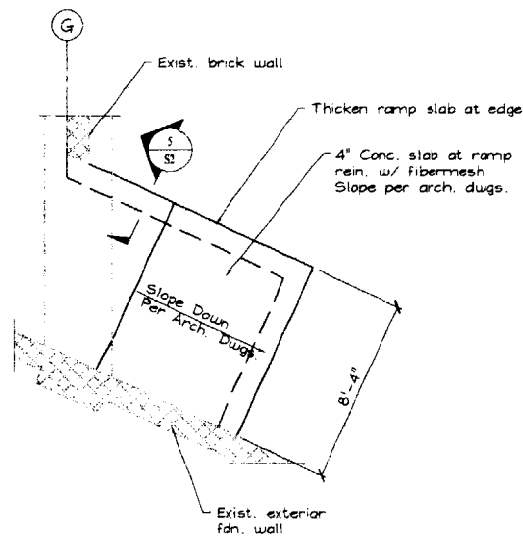
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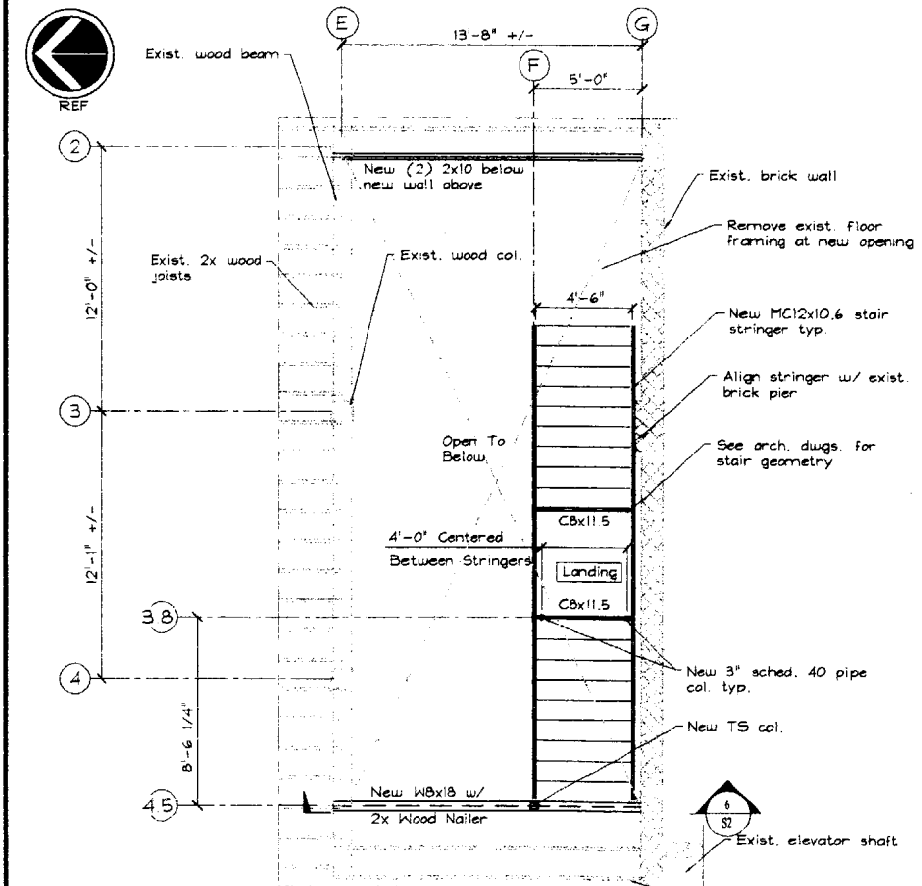
PART PLAN A - FDN. LEVEL
SCALE: 1/4" = 1'-0"



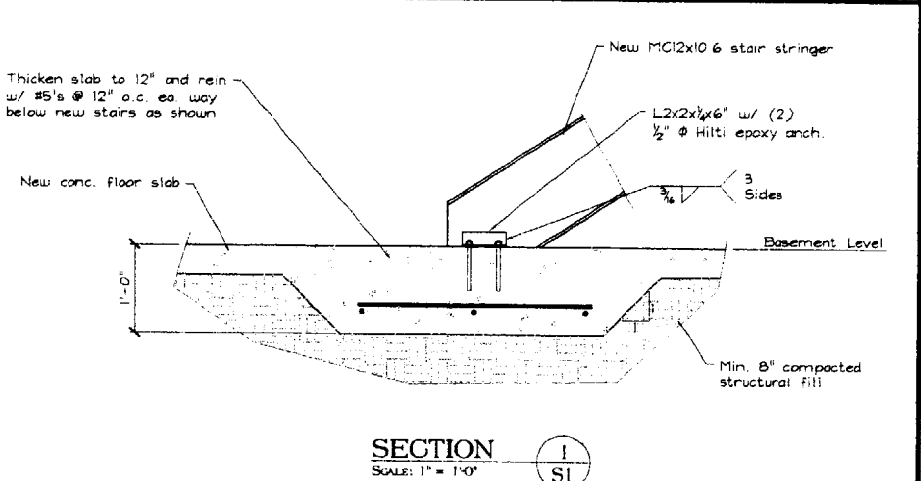
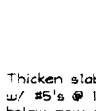
PART PLAN B - FDN. LEVEL
SCALE: 1/4" = 1'-0"



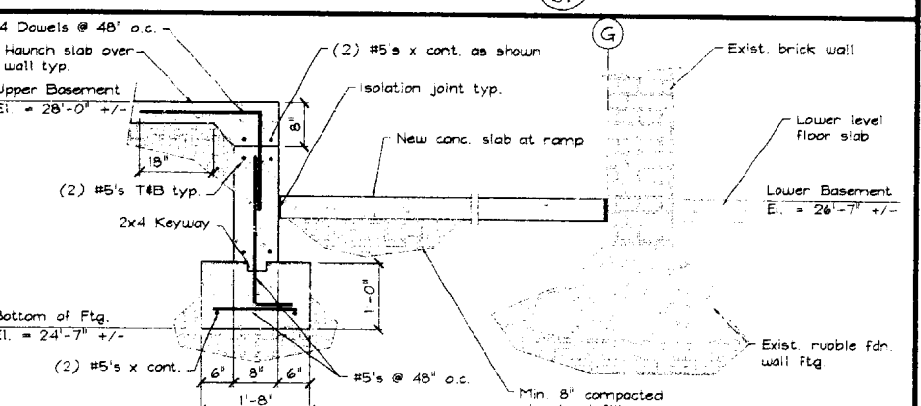
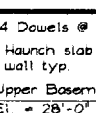
PART PLAN C - FDN. LEVEL
SCALE: 1/4" = 1'-0"



PART PLAN A - FIRST FLOOR
SCALE: 1/4" = 1'-0"



SECTION 1
SCALE: 1" = 1'-0"



SECTION 2
SCALE: 3/4" = 1'-0"

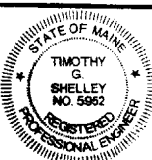
REVISION / ISSUE		DESCRIPTION
#	DATE	10/01/03 For Construction

DRAWN BY:	FDJ
CHECKED BY:	FDJ
DATE:	September 18, 2003
SCALE:	As Noted
JOB NO.:	2003-609

20/36 DANFORTH STREET
RENOVATIONS

SHELLEY ENGINEERING, INC.
STRUCTURAL CONSULTANTS
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WESTBROOK, MAINE 04092
PHONE (603) 854-5405
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SEI

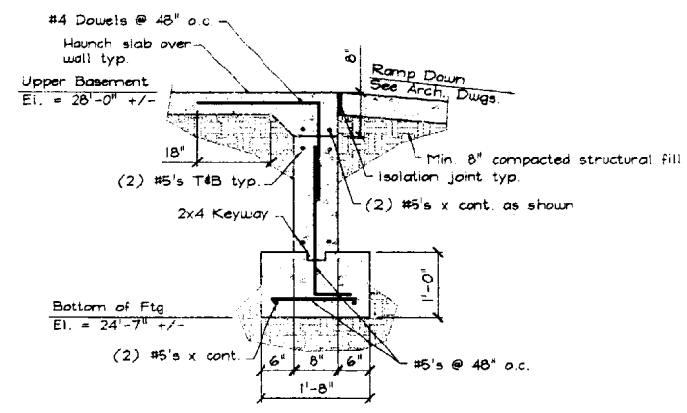


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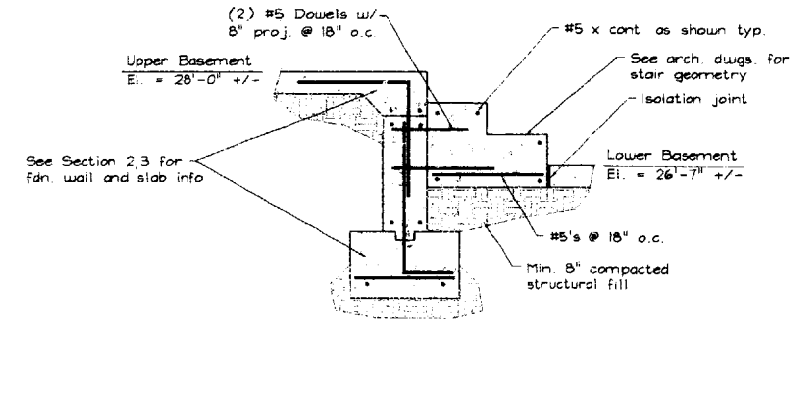
PLANS
AND
SECTIONS

S1 OF 2

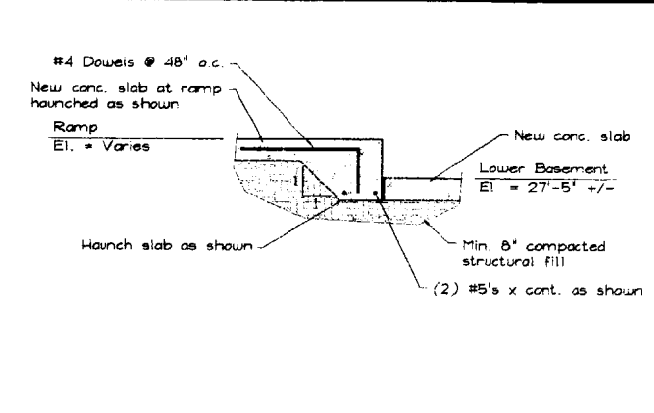
CADD 2003-609



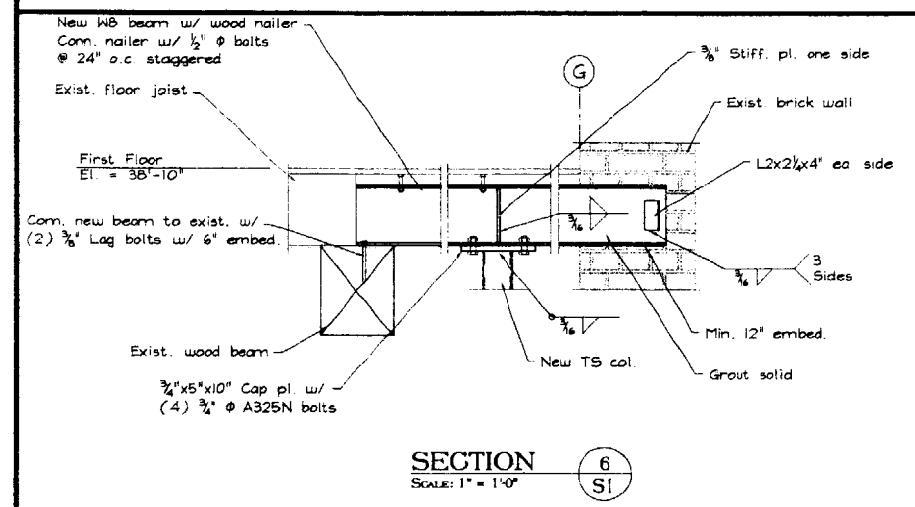
SECTION 3
SCALE: 3/4" = 1'-0"



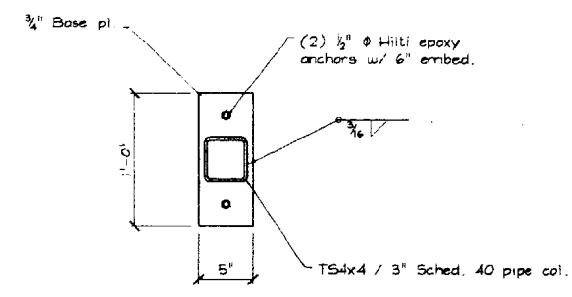
SECTION 4
SCALE: 3/4" = 1'-0"



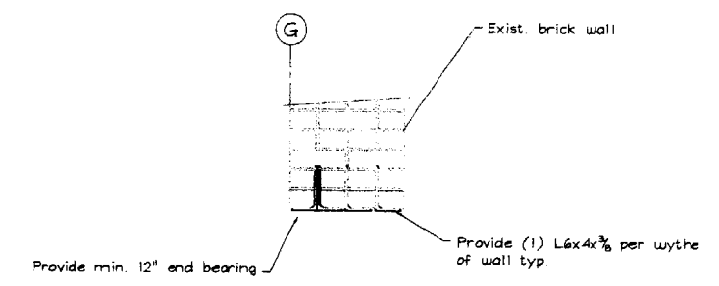
SECTION 5
SCALE: 3/4" = 1'-0"



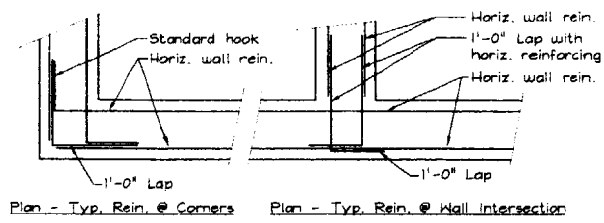
SECTION 6
SCALE: 1" = 1'-0"



TYP. BASEPL. DETAIL
SCALE: 1 1/2" = 1'-0"



TYP. BRICK WALL LINTEL
SCALE: 1 1/2" = 1'-0"



DETAIL - Typ. Wall Reinforcing
Scale: 1" = 1'-0"

FOUNDATION NOTES:

1. FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, WET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
2. NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS OR SLABS UNLESS NOTED OTHERWISE.
3. FOUNDATION CONTRACTOR SHALL SET COLUMN ANCHOR BOLTS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
4. EXCAVATING AND BACK FILLING AT NEW AND EXISTING FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.

STRUCTURAL STEEL NOTES - GENERAL

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
2. ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE.
3. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B.
4. ALL BOLTED CONNECTIONS SHALL BE MADE WITH 3/4" ASTM A325 HIGH STRENGTH BOLTS.
5. WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
6. STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
7. STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.

STRUCTURAL DESIGN CRITERIA:

1. BUILDING CODE: 1999 EDITION OF THE BOCA NATIONAL BUILDING CODE
2. Floor/Stair Live Load = 100 PSF

CONCRETE NOTES:

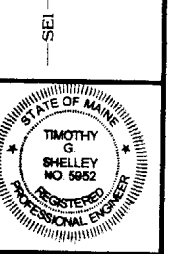
1. ALL CONCRETE WORK SHALL CONFORM TO ACI-318-93.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI, MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
3. CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-315 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE PROVIDED IN FLAT SHEETS.
7. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318-93. SPLICES OF WWF SHALL BE 6" MINIMUM.
8. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
9. HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
10. CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST EARTH = 3"
CONCRETE EXPOSED TO EARTH OR WEATHER = 1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER = 3/4"

REVISION / ISSUE	DATE	DESCRIPTION
1	10/01/03	FOR CONSTRUCTION

DRAWN BY: PDJ	CHECKED BY: PDJ
DATE: SEPTEMBER 18, 2003	SCALE: AS NOTED
JOB NO.: 2003-609	

2036 DANFORTH STREET
RENOVATIONS

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SHEET TITLE:

SECTIONS
AND
DETAILS

S2 OF 2
CADD 2003-609



CITY OF PORTLAND, MAINE

Department of Building Inspections

20

Received from

Location of Work

Cost of Construction \$

Permit Fee \$

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy