



JUN 14 2012

Dept. of Building Inspections
City of Portland Maine

Administrative Authorization Application

Portland, Maine
Planning and Urban Development Department, Planning Division

PROJECT NAME: Portland Tie Exterior Stairs

PROJECT ADDRESS: 53 York St. CHART/BLOCK/LOT: _____

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Exterior concrete stairway and railings

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Portland Tie Co. - Nat Getchell
Address: 53 York St.
Portland
Work #: _____
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____

CONSULTANT/AGENT

Name: Zachau Construction, Inc. - G.C.
Address: 1185 U.S. Route 1
Freeport, ME 04032
Work #: (207) 865-9925
Cell #: (207) 807-8980
Fax #: _____
Home #: _____
E-mail: jon@zachauconstruction.com

Criteria for an Administrative Authorizations: (see section 14-523(4) on pg. 2 of this appl.)

Applicant's Assessment Planning Division Y(yes), N(no), N/A

Criteria	Applicant's Assessment	Planning Division
a) Is the proposal within existing structures?	<u>N</u>	_____
b) Are there any new buildings, additions, or demolitions?	<u>N</u>	_____
c) Is the footprint increase less than 500 sq. ft.?	<u>Y</u>	_____
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	_____
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	_____
f) Do the curbs and sidewalks comply with ADA?	<u>Y</u>	_____
g) Is there any additional parking?	<u>N</u>	_____
h) Is there an increase in traffic?	<u>N</u>	_____
i) Are there any known stormwater problems?	<u>N</u>	_____
j) Does sufficient property screening exist?	_____	_____
k) Are there adequate utilities?	<u>N/A</u>	_____
l) Are there any zoning violations?	<u>N</u>	_____
m) Is an emergency generator located to minimize noise?	<u>N/A</u>	_____
n) Are there any noise, vibration, glare, fumes or other impacts?	<u>N</u>	_____

Signature of Applicant: 

Date: 6/10/12

Jon Provost
Zachau Const. Inc.

Administrative Authorization Decision

Name: Portland Pie Exterior Stairs
Address: 53 York Street
Project Description: exterior concrete stairway and railings

Criteria for an Administrative Authorizations:
 Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

(See

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	No	Yes – stairs and railings – changes approved by HP 2010 – still valid
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?		n/a
k) Are there adequate utilities?	N/A	yes
l) Are there any zoning violations?	No	no
m) Is an emergency generator located to minimize noise?	N/A	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	no

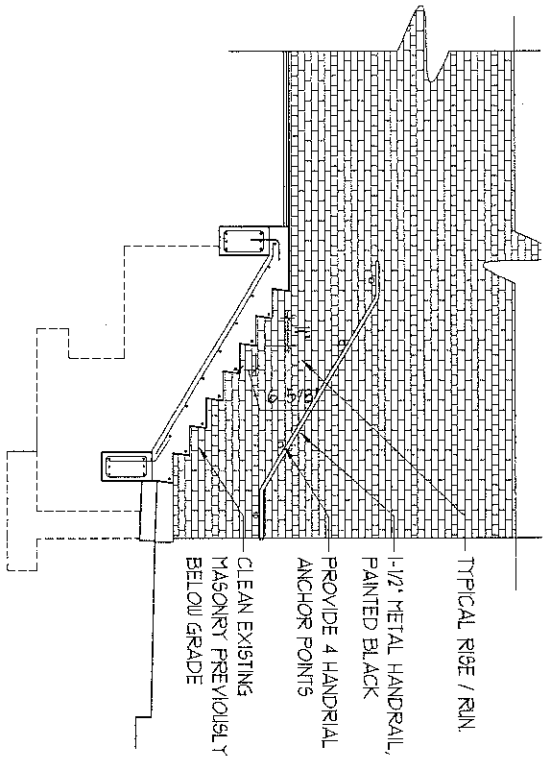
I confirmed with Deb Andrews, Historic Preservation Manager, that the 2010 approval for the stairs remains valid. The contractor provided a site map that was forwarded by J.B. Brown who own the property and support the change. The e-mail exchange is included.

The Administrative Authorization for Portland Pie Exterior stairs at 53 York Street was approved by Barbara Barhydt, Development Review Services Manager on June 29, 2012 with the following conditions of approval listed below:

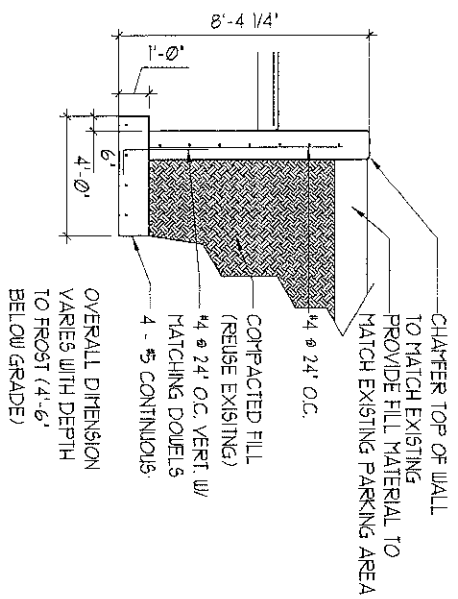
1. The stairs shall be constructed as approved by the Historic Preservation review in 2010.
2. The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Barbara Barhydt

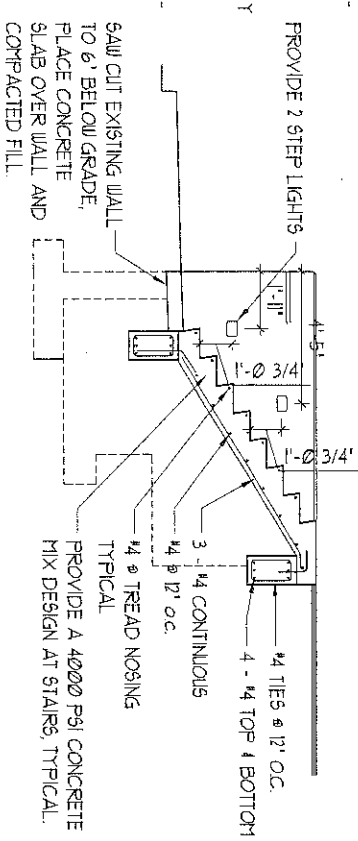
Barbara Barhydt
 Development Review Services Manager
 Date of Approval:



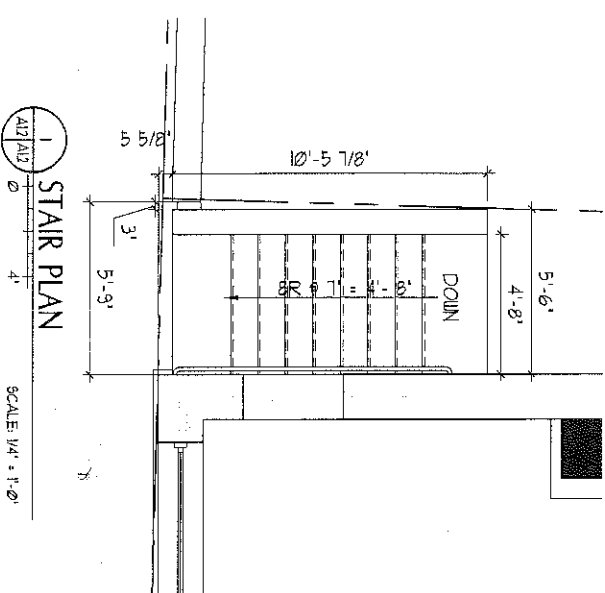
4 STAIR SECTION
SCALE: 1/4" = 1'-0"



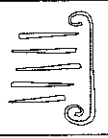
2 STAIR SECTION
SCALE: 1/4" = 1'-0"



3 STAIR SECTION
SCALE: 1/4" = 1'-0"



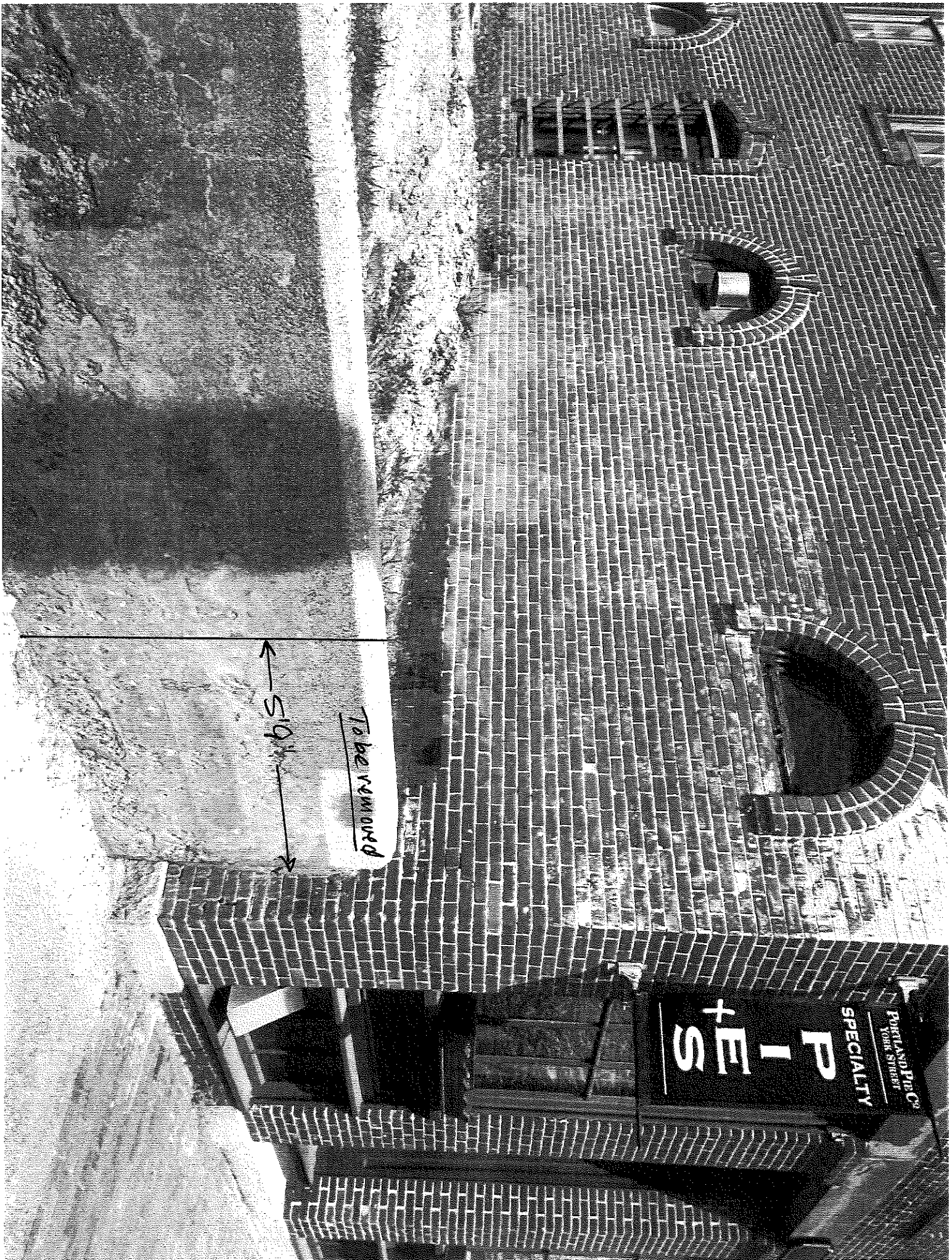
1 STAIR PLAN
SCALE: 1/4" = 1'-0"



PORT & GILTY
ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
PHONE: 207.751.5000
FAX: 207.751.2010
info@portandgilty.com

PORTLAND PIE CO.
53 YORK STREET PORTLAND MAINE

JOB:	ISSUE DATE:
PRINT:	W/S/NO:
DESIGN BY:	DATE:
TITLE:	SCALE:
STAIR PLAN	1/4" = 1'-0"
1 SECTIONS	DRAWING NO.:
	A111



To be removed

5 ft

P-I-E-S + S
PORTLAND PIPE CO.
SPECIALTY
YOUR STREET

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice Chair
Otis Baron
Scott Benson
Michael Hammen
Ted Oldham
John Turk

December 1, 2010

John Charette
65 Newbury Street
Portland, Maine 04101

Re: Removal of section of retaining wall and construction of stairs; 53 York Street

Dear Mr. Charette:

This office has reviewed and approved your proposal, submitted on behalf of client Nat Getchell, to remove a section of concrete retaining wall immediately adjacent to 53 York Street and construction of a set of concrete steps.

Approval is subject to the following conditions:

- * That the section of metal fencing shown on the submitted plans be eliminated. Building Inspections Director, Tammy Munson, has confirmed that the fencing is not required by building code.
- * That the new stairs not be physically attached to the abutting building. Installation of a single handrail within the building's mortar joints is acceptable. Handrail to be painted brick red to be visually recessive.

All improvements shall be carried out as shown on plans and specifications included in your 11/17/10 application, except as to comply with the conditions above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work. This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Deborah Andrews
Historic Preservation Program Manager

Cc: Nat Getchell