

PORTLAND PIE COMPANY

51-53 YORK STREET

Portland, Maine

PROJECT CONTACTS

DRAWING LIST

DWG NUM	DRAWING TITLE	ISSUE OR MODIFICATION DATE
T-10	TITLE SHEET	10-01-2010
A-01	LINE SAFETY PLAN	
D-11	DEMO PLAN	
A-11	FLOOR PLAN	
A-21	ENLARGED PLANS AND SCHEDULES	

ARCHITECT

PORT CITY ARCHITECTURE, PA
 65 NEWBURY STREET
 PORTLAND, ME 04101
 TEL: (207) 761-9000
 FAX: (207) 761-2010
 E-MAIL: JOHN@PORTCITYARCH.COM

OWNER

ALL IN ENTERPRISE
 51 YORK STREET
 PORTLAND, MAINE 04101
 C/O NAT GETCHELL
 PH: 207-632-1300

CONTRACTOR

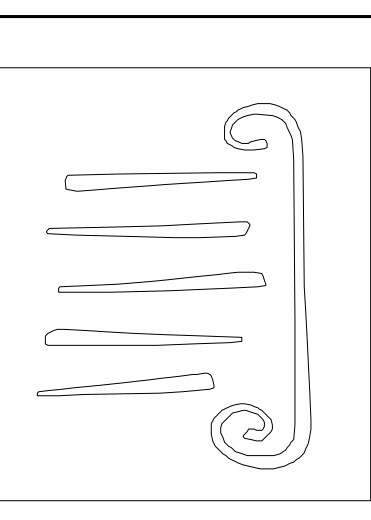
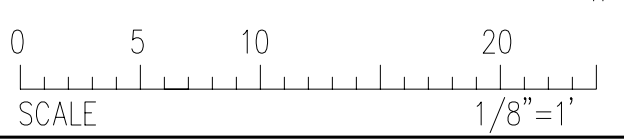
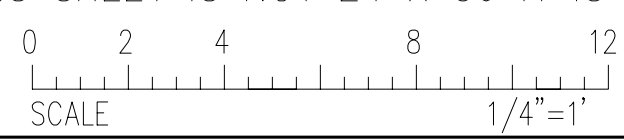
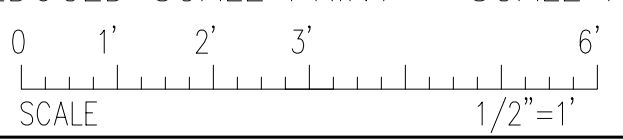
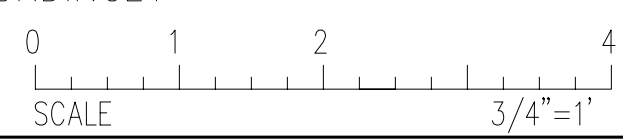
T & T DEVELOPMENT
 525 MAIN STREET
 SOUTH PORTLAND, MAINE 04106
 C/O CLAUDE GAUDETTE
 PH: 207-253-5075

DWG NUM	DRAWING TITLE	ISSUE OR MODIFICATION DATE
T-10	TITLE SHEET	10-01-2010
A-01	LINE SAFETY PLAN	
D-11	DEMO PLAN	
A-11	FLOOR PLAN	
A-21	ENLARGED PLANS AND SCHEDULES	

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LAYOUT AND DIMENSIONS OF EXISTING BUILDING FEATURES AND COORDINATING THEM WITH NEW WORK. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DOCUMENTS.
2. THE CONTRACTOR SHALL INSTALL ALL MECHANICAL, ELECTRICAL, LIGHTING, COMMUNICATIONS, PUMPING, AND FIRE PROTECTION EQUIPMENT (INCLUDING PIPING, DUCTWORK, CONDUIT, AND WIRING) INCLUDED IN THE DOCUMENTS SO THAT ALL CEILING HEIGHTS AND CONFIGURATIONS AND ALL PLAN CONFIGURATIONS ARE MAINTAINED AS INDICATED. ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE ABOVE ITEMS ARE TO BE PROVIDED. ANY POTENTIAL CONFLICTS IN THE LOCATION OF THE ABOVE ITEMS SHALL BE REPORTED TO THE ARCHITECT IN A TIMELY MANNER FOR RESOLUTION.
3. THE CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS, FLOORS, CEILINGS AND/OR OTHER ELEMENTS DAMAGED DURING THE COURSE OF WORK.
4. WHERE NEW CONSTRUCTION ADJUTS EXISTING CONSTRUCTION, FINISHED SURFACES OF NEW WALLS ARE TO BE ALIGNED WITH EXISTING FINISHED SURFACES UNLESS OTHERWISE INDICATED.
5. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW AND APPROVAL BY THE ARCHITECT UNLESS NOTED "A.A.".
6. DIMENSIONS NOTED "CLR" ARE MINIMUM REQUIRED DIMENSIONS FROM FINISHED SURFACE TO FINISHED SURFACE.
1. PLAN DIMENSIONS AT PARTITIONS ARE TO FACE OF STUD, AS INDICATED ON DRAWINGS.
8. WOOD OR METAL STUD BLOCKING SHALL BE PROVIDED FOR ALL WALL AND CEILING MOUNTED ITEMS (INCLUDING DOOR STOPS) AT GYPSON BOARD PARTITIONS AND CEILINGS.
9. NEW FINISH FLOORS ARE TO BE ALIGNED WITH EXISTING FINISH FLOORS UNLESS OTHERWISE INDICATED.
10. CERTAIN ELEMENTS OF THE EXISTING BUILDING CONSTRUCTION THAT ARE INTENDED TO REMAIN IN THE FINISHED BUILDING CONSTRUCTION MAY BE LOOSENED, DISPLACED, OR OTHERWISE DAMAGED DURING THE COURSE OF PERFORMING THE WORK. THE CONTRACTOR SHALL, AS PART OF THE WORK, REPAIR, REMOVE, AND/OR REPLACE ANY AND ALL SUCH ELEMENTS.
11. NEW DUCT PIPING AND CONDUIT PENETRATIONS IN EXISTING CONSTRUCTION ARE INTENDED TO AVOID EXISTING FRAMING UNLESS NEW FRAMING IS INDICATED. IF STEEL IS ENCOUNTERED WHEN A PENETRATION IS BEING CUT, WORK ON THAT PENETRATION IS TO STOP PENDING RELOCATION OF THE PENETRATION.
12. NEW AND EXISTING PENETRATIONS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE HIRSEARED AS REQUIRED BY CODE. SKETCHES TO EXPAND EXISTING PENETRATIONS OR PROVIDE ANY NEW PENETRATIONS IN EXISTING FLOOR SLABS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW.

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



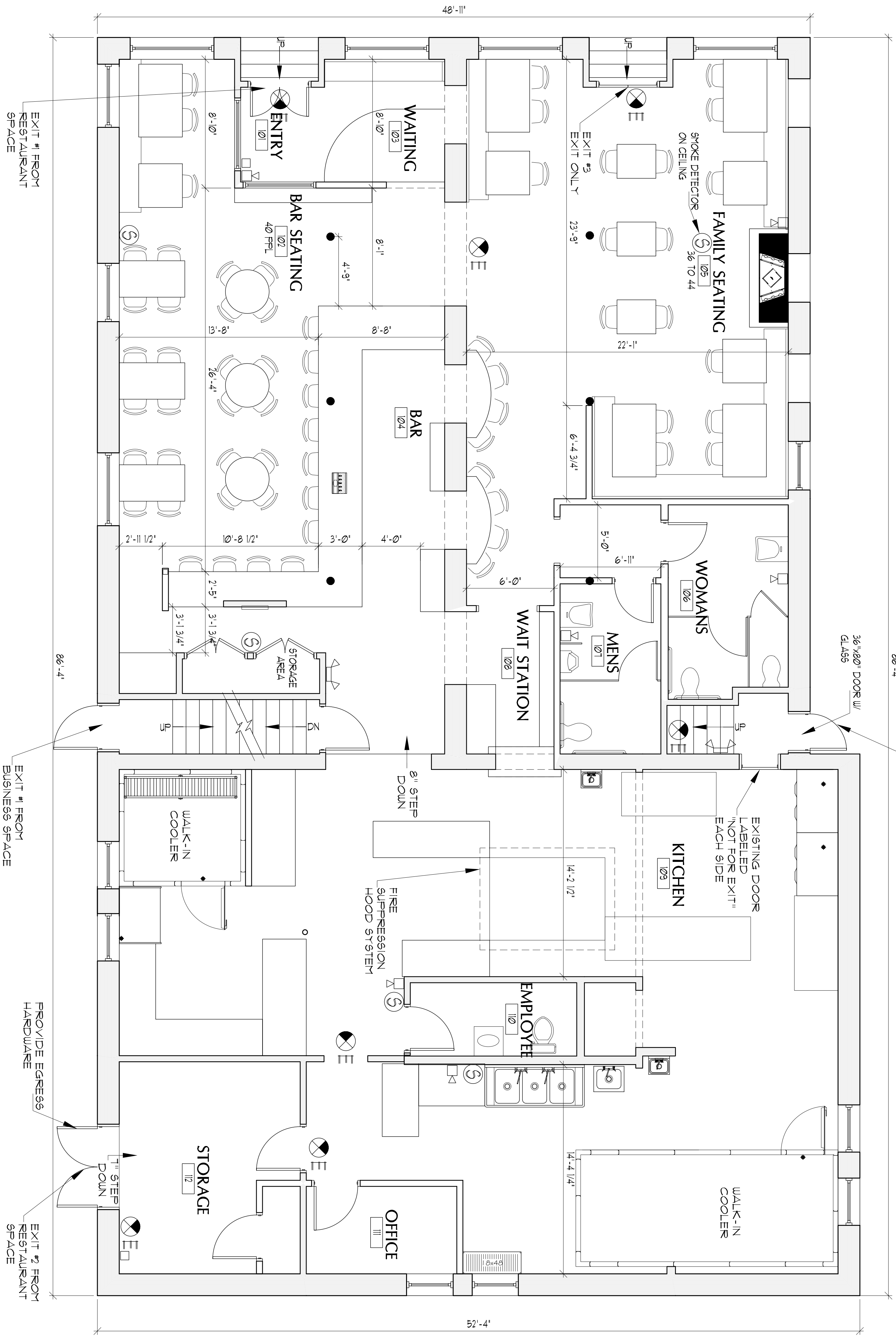
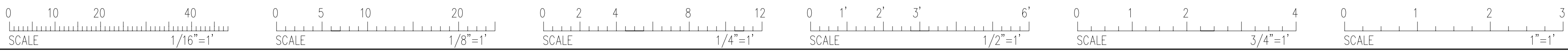
PORT CITY ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000
 fax: 207.761.2010
 info@portcityarch.com

PORTLAND PIE COMPANY
 YORK STREET
 PORTLAND, ME

#	DATE	DESCRIPTION
REVISIONS		

Date Issued
 Project Number 07123
 Drawing Scale
 SHEET NAME

TITLE SHEET
 Drawn By NLS
 Checked By JCC
T10



LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

EMERGENCY LIGHT
 SMOKE DETECTOR
 EXIT LIGHT
 PULL STATION
 STROBE LIGHT
 PROVIDE EGRESS HARDWARE

Portland Pie Interior renovations
51-53 York Street
Portland, Maine

Project Number: 07213
 Review Completed By: John Charette
 Applicable Code(s):
 IBC 2003
 NFPA 101 - Life Safety Code

Overview
 The building is and existing loadbearing masonry building with interior wood framed floors, walls and roof. The owner proposes to change the use of the first floor area into a restaurant and commercial kitchen. The ceiling of the first floor will be rated 2 hrs to provide separation between uses.

Chapter 3
Use and Occupancy:

Table 302.3.2	Mixed Use/ Separated use	Assembly Section 303
A-2	Office use	
B	Fire Separation between uses (at Ceiling)	
2Hr		

Existing Building area:

Proposed Use	Gross area	Net use areas
Basement	2,185	Restaurant 2185
first floor	4,351	Kitchen 1707
Second Floor	4,351	Storage 2185
Third Floor	2,185	Office 4004
		1707

Chapter 4
Special Detailed Requirements based on Use:
None

Chapter 5
General Building Heights and Areas

Construction Type	Type 3	(Unprotected)
Table 503 A.3	9,500 Sq.ft.	
Base Area:	3 Stories	
Base Height:		

Modifications Allowed - Not applicable existing structure

Chapter 6
Construction Type

Types of Construction (hours)	III (200)	IBC 2003	2003 Life safety
Structural Frame	0		
Ext. Bearing Walls	2		Existing construction solid brick masonry
Int. Bearing Walls	0		0 where less than 30'
Non-bearing ext. walls	0		
Non-bearing Int. Walls	0		
Floor	0		
Roof	0		

Chapter 7
707.2 Exception 1 shall be provided for conduits, pipes etc
707.2 Exception 3 rated junction boxes shall be used in the ceiling
707.4 A 1 hour shaft is existing from 1st floor to roof for duct supply and return
711.3 Floor separating mixed occupancies shall have rating as required of table 302.3.2
712.4.1 Fire stopping shall be used at pipe penetration up to 6" dia. And shall not exceed 144 sq. inches in 100 square feet.
711.7 Duct penetrations shall comply with section 716
716.3.1 1.5 hour dampers shall be provided
716.5.3 Fire dampers shall be provided where the duct penetrates a shaft enclosure.

Chapter 8
Interior Finishes

Vent. Exits	Exit Corridors	Rooms
A-3 Non-Sprinkered	A	A
S-2 Non-Sprinkered	B	C

(Sprinklered uses are existing to remain)

Chapter 9
Fire Protection The building does NOT have a full NFPA 13 fire Protection system for existing uses
903.2.1.2 Based on Items 1 - 3 a sprinkler system is not required
903.2.12.2 An ansul hood system shall be installed at the oven area of the commercial kitchen
904.11 Commercial hood system shall be installed

Chapter 10
Occupant Load Table 1004.1.2

Area Per Use Occupant	Total Occupants	Required Number of Exits
A-2	15	2 Table 1018.1
B	100	2 Table 1018.1

Chapter 10
Egress Width

Inches Per occupant	Stairs w/o doors w/o sprinkler	Stairs w/ doors w/ sprinkler	Stairs w/ doors w/ sprinkler	Provided
0.3	0.2	0.2	0.15	
A-2 Use	44	29	29	72.2 @ 3'
B Use	20	13	13	72.2 @ 3'

Travel Distance
Table 1015.1
200 Who sprinkler

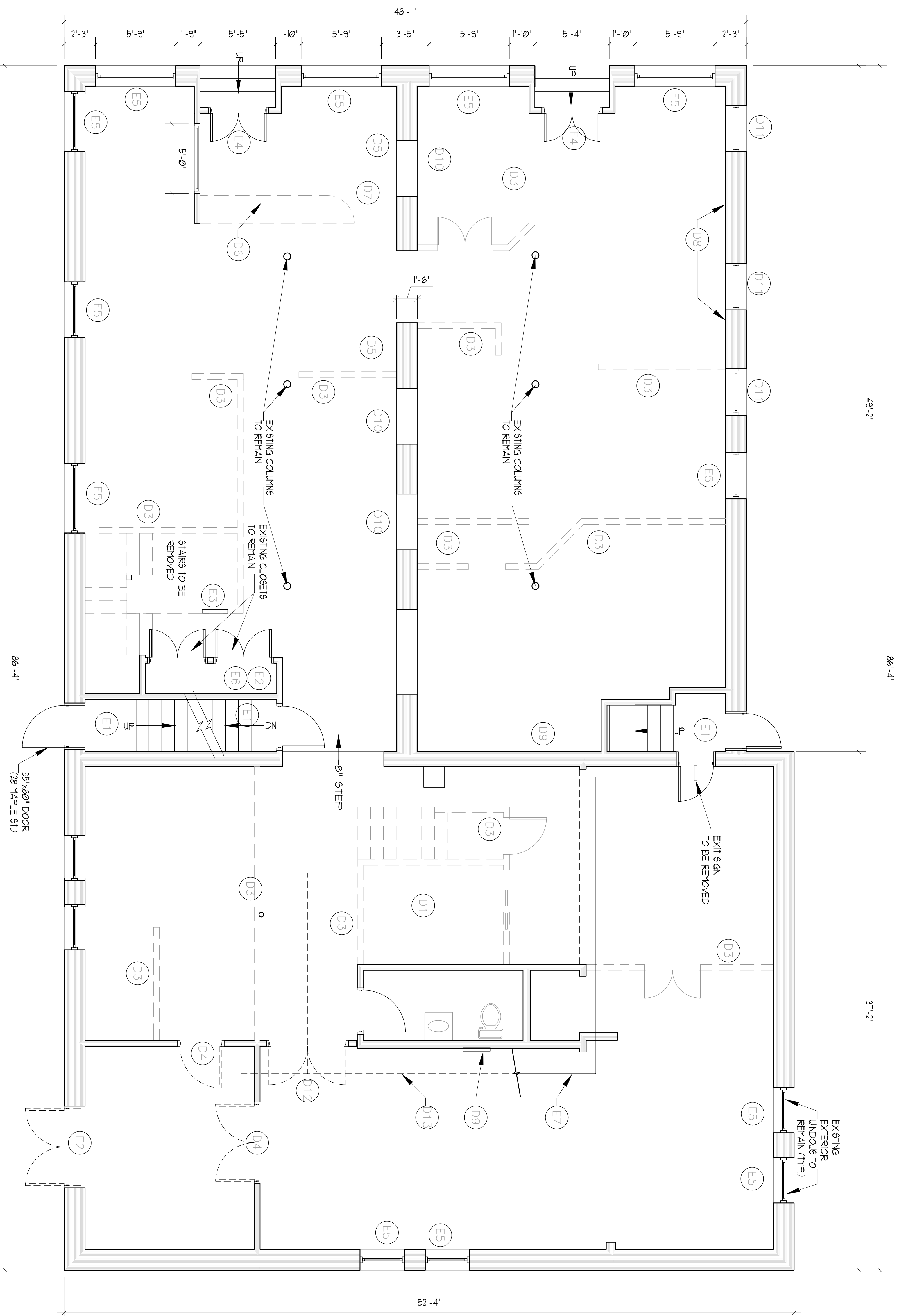
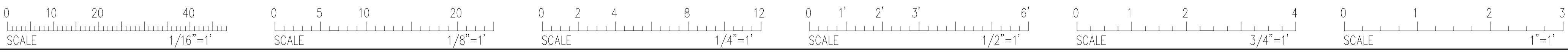
Corridor Fire Resistance
Table 1016.1
1 who sprinkler system

PORTLAND PIE ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 fax: 207.761.9000
 info@portcityarch.com

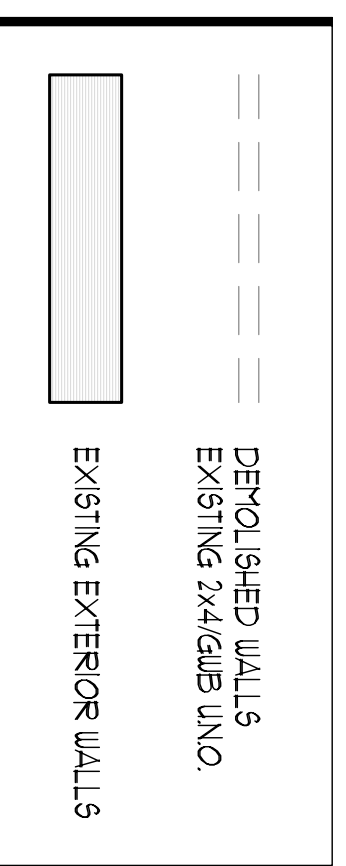
PORTLAND PIE COMPANY
YORK STREET
PORTLAND, ME

#	DATE	DESCRIPTION
REVISIONS		
Date Issued	08/20/01	
Project Number	0713	
Drawing Scale	1/8" = 1'-0"	
SHEET NAME	LIFE SAFETY PLAN	

Drawn By: NLG
 Checked By: JCC
A01

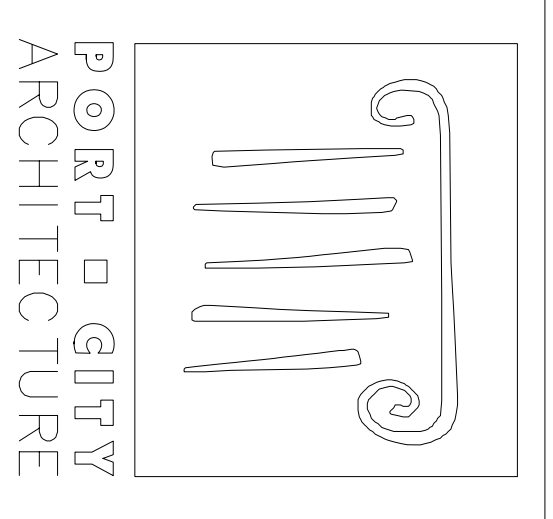


EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTES
SEE TITLE SHEET FOR GENERAL NOTES

- D1 REMOVE EXISTING STAIRS REFRAME FLOOR ABOVE TO MATCH EXISTING CONSTRUCTION.
- D2 REMOVE EXISTING LIGHTING TYPICAL ALL LOCATIONS IN RESTAURANT AREA. PATCH AND REPAIR ALL GLUE OPENINGS. PREP CEILING TO RECEIVE NEW LAYER OF 3/4" TYP X GIBS.
- D3 DEMOLISH WALL IN ENTIRETY.
- D4 REMOVE EXISTING DOOR AND FRAME.
- D5 REMOVE EXISTING FINISH SUBSTRATE AND FURRING TO INTERIOR FACE OF MASONRY.
- D6 REMOVE EXISTING COUNTER AND COUNTER TOP
- D7 REMOVE EXISTING RAMP
- D8 REMOVE EXISTING OUTLETS AND JUNCTION BOXES ALONG WALL
- D9 REMOVE EXISTING ELECTRICAL PANEL.
- D10 DEMOLISH EXISTING MASONRY TO PROVIDE 48" WIDE ARCHED OPENING. SLOPE LOADBEARING MASONRY AS REQUIRED. SALVAGE BRICK WHERE POSSIBLE.
- D11 REMOVE EXTERIOR WINDOW (HIGH ARCH WINDOW)
- D12 REMOVE DOOR ONLY FRAME TO REMAIN
- D13 REMOVE DUCTWORK
- E1 EXISTING STAIRS WALLS AND DOORS TO REMAIN
- E2 EXISTING CLOSET TO REMAIN
- E3 EXISTING ELECTRICAL PANEL TO REMAIN (DISCONTINUE SUB FEED TO BASEPENT)
- E4 EXISTING ENTRY DOORS TO REMAIN
- E5 EXISTING WINDOWS TO REMAIN.
- E6 EXISTING TELEPHONE DATA FEED TO REMAIN.
- E7 EXISTING DUCT TO REMAIN

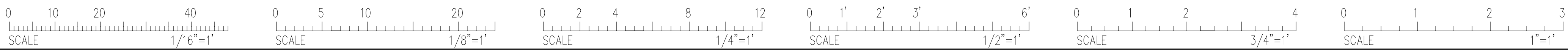


65 NEWBURY STREET
PORTLAND, ME 04101
fax: 207.761.9000
info@portgullyarch.com

PORTLAND PIE COMPANY
YORK STREET
PORTLAND, ME

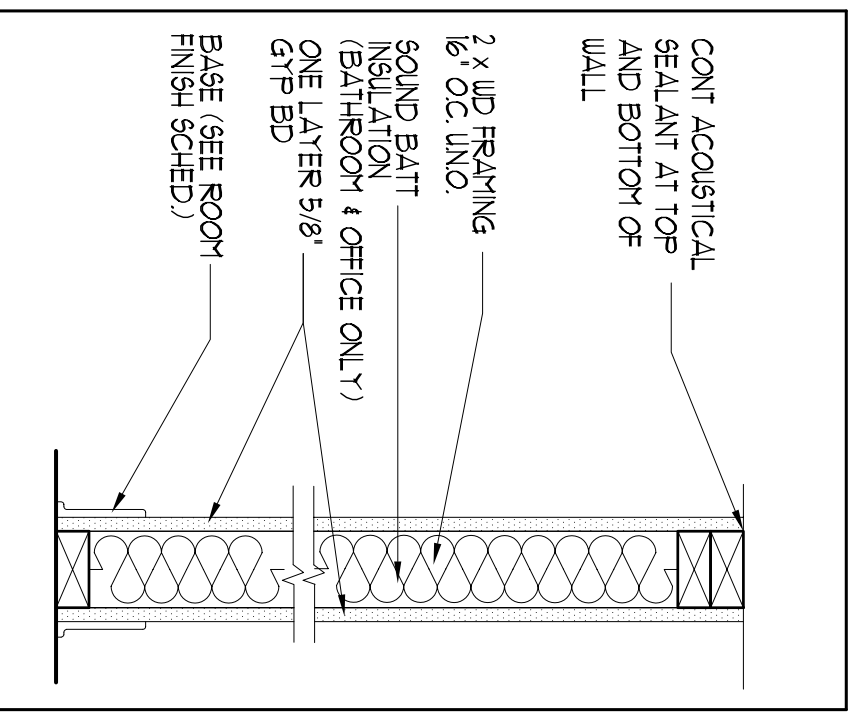
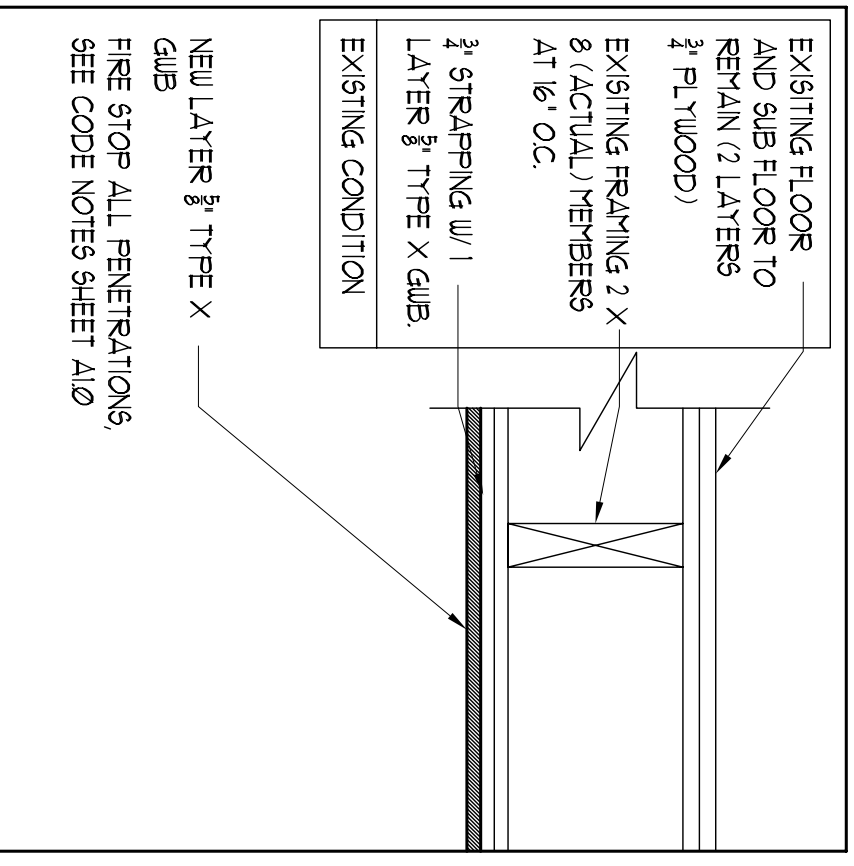
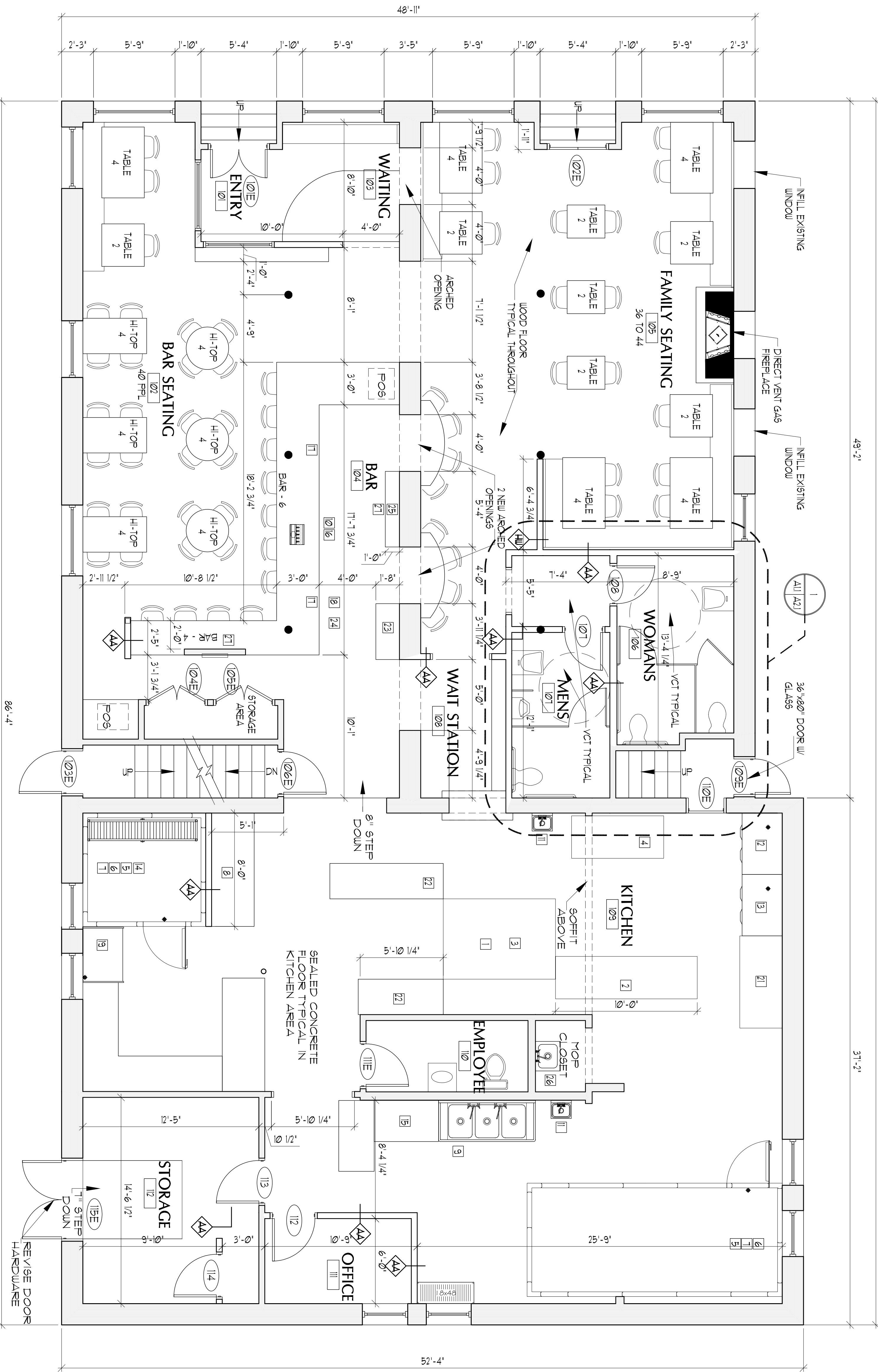
#	DATE	DESCRIPTION
REVISIONS		
	08/20/01	
Project Number 0713		
Drawing Scale 1/8" = 1'-0"		
SHEET NAME		
DEMOLITION FLOOR PLAN		

Drawn By
NLG
Checked By
JCC
D11

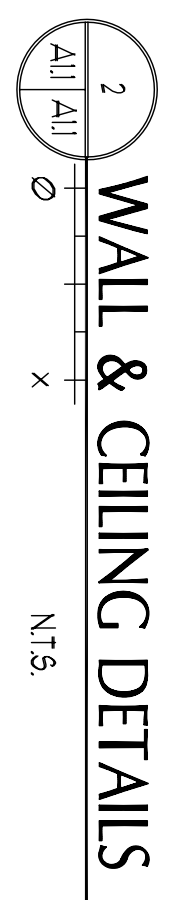


EQUIPMENT KEY

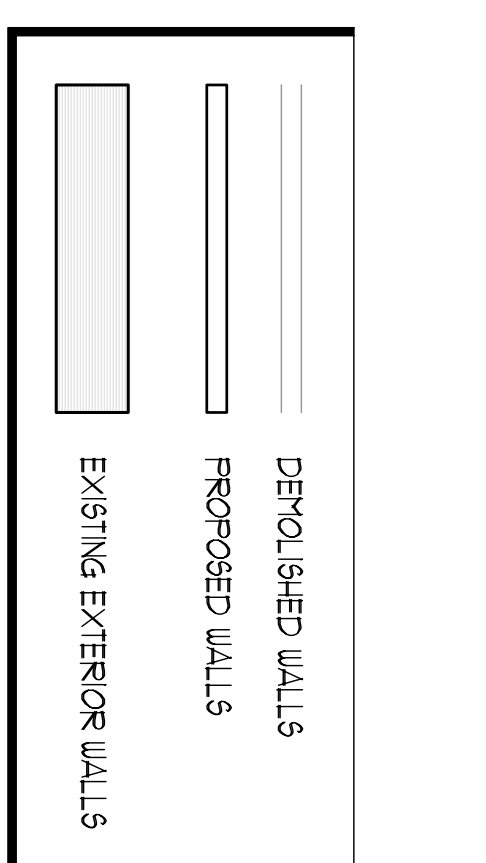
- 1 PIZZA OVEN (3)
- 2 PIZZA LINE PREP UNIT
- 3 HOOD
- 4 SANDWICH LINE PREP UNIT
- 5 WALK-IN COOLER
- 6 WALK-IN CONDENSOR FAN
- 7 WALK-IN COMPRESSOR MOTOR
- 8 PIZZA WASHER
- 9 BAT SINK (KITCHEN)
- 10 BAT SINK (BAR)
- 11 HAND WASH SINK
- 12 CHEST FREEZER
- 13 STANDUP FREEZER
- 14 BEER COOLER
- 15 BEER COOLER
- 16 KEGRATOR
- 17 BEER TAP SYSTEM
- 18 SODA COOLER (FRONT)
- 19 SODA COOLER (BACK)
- 20 COFFEE MAKER
- 21 DOUGH ROLLER
- 22 CUTTING TABLE
- 23 SLICE WASHER
- 24 ICE CHEST
- 25 WINE DISPLAY
- 26 MOP SINK
- 27 FLAT SCREEN TV



WALL & CEILING DETAILS



EXISTING FLOOR PLAN

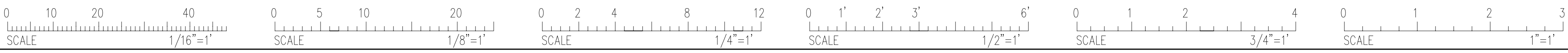


PORTLAND PIE COMPANY
 YORK STREET
 PORTLAND, ME

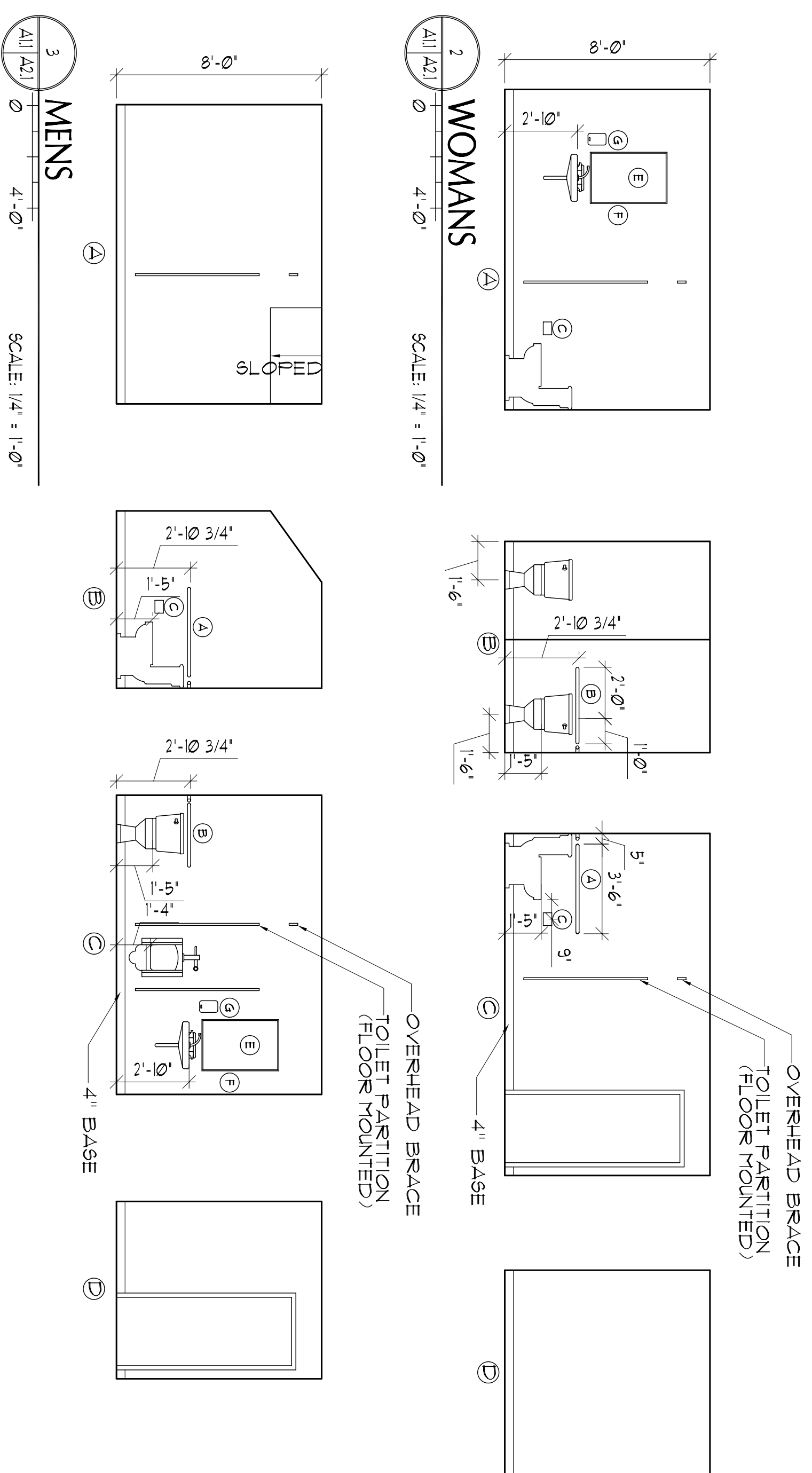
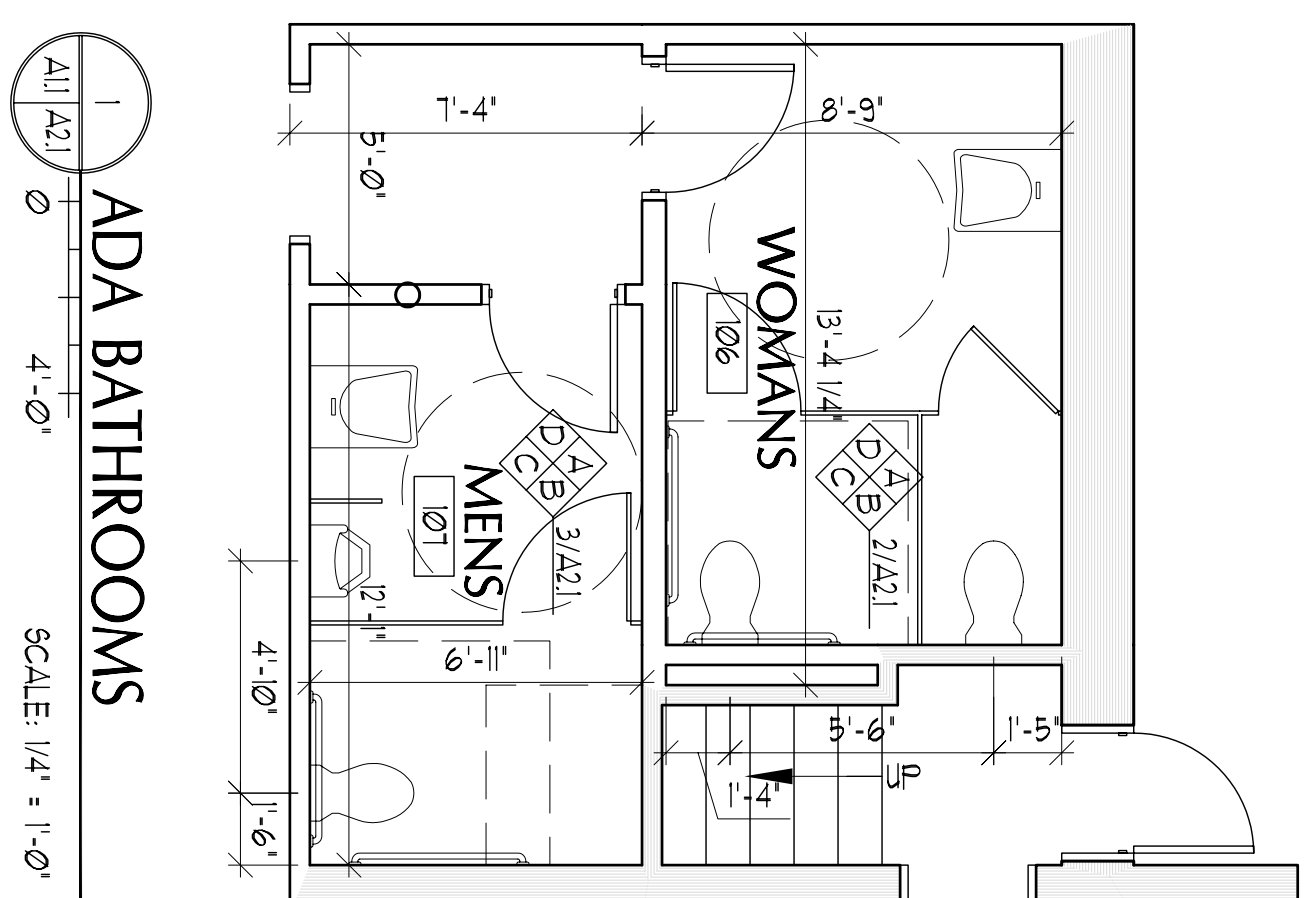
PORT GUTY ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000
 fax: 207.761.2010
 info@portgutyarch.com

Drawn By: NLG
 Checked By: JCC
A.11

#	DATE	DESCRIPTION
1	09/05/07	REVISIONS
2	07/13	Project Number
3	1/4" = 1'-0"	Drawing Scale
4		SHEET NAME

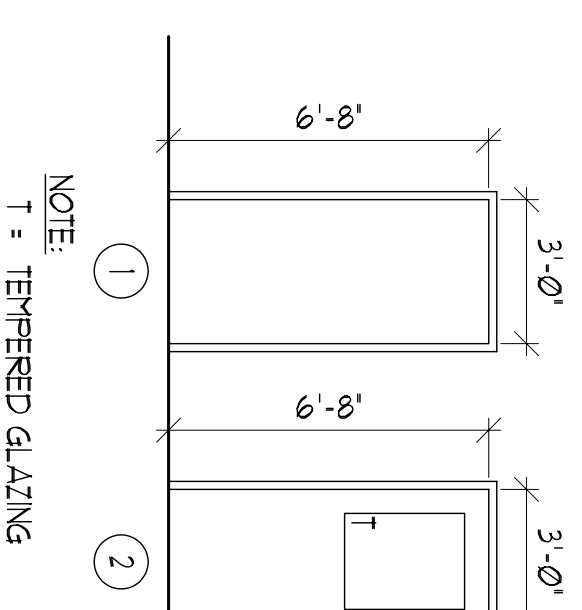


BATHROOM ACCESSORIES SCHEDULE		
NO.	ITEM	NOTES
A	3'-6" 1/2" DIA GRAB BAR	POINTING HEIGHT \$ @ 2'-10" AFF
B	3'-0" 1/4" DIA GRAB BAR	\$ @ 2'-10" AFF
C	TOILET PAPER DISPENSER	\$ @ 2'-0" AFF
D	CONVENATION TOILET DISPENSOR AND RUSH RECEPTICAL	BO. DRYER @ 35" AFF
E	MIRROR	BOTTOM @ 40" AFF
F	BABY CHANGING STATION	-
G	ROBE HOOK	BACK OF ALL TOILET DOORS



NO.	DESCRIPTION	SIZE	DOOR		FINISH	NOTES
			MAT	RATING		
101E	FOYER TO EXT	DBL 3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	DINING TO EXTERIOR	DBL 2'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	STAIR TO EXTERIOR	2'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	BAR TO STORAGE	DBL 2'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	BAR TO STORAGE	DBL 2'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	BAR TO DISH/WASH	3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	MEN ROOM	3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	WOMENS ROOM	3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	STAIR 2 TO EXTERIOR	3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN
101E	STAIR 2 TO KITCHEN	3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN LABEL "NOT AN EXIT"
112	KITCHEN TO BATHROOM	3'-0" x 6'-8"	UD	N/A	MTL	
113	KITCHEN TO OFFICE 1/2	3'-0" x 6'-8"	UD	2	N/A	MTL
113	KITCHEN TO VESTIBULE 1/2	3'-0" x 6'-8"	UD	2	N/A	MTL
114	VESTIBULE 1/2 TO STORAGE 1/4	3'-0" x 6'-8"	UD	1	N/A	MTL
114	VESTIBULE 1/2 TO EXTERIOR	DBL 3'-0" x 6'-8"	UD	N/A	MTL	EXISTING DOOR TO REMAIN ADD RECESS HARDWARE

DOOR SCHEDULE
SCALE: 1/4" = 1'-0"



PORTLAND PIE COMPANY
YORK STREET
PORTLAND, ME

PORT GUTY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
fax: 207.761.9000
info@portcityarch.com

Drawn By
Checked By
JCC

A2.1