

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 51-53 York St		Owner: Dan Reed		Phone:		Permit No: 970471	
Owner Address: 59 Longfellow Dr Cape Elizabeth, ME 04107		Lessee/Buyer's Name:		Phone: 870-3022 Pager		Business Name:	
Contractor Name: Dan Reed/Atlantic Foundation		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: MAY 19 1997 CITY OF PORTLAND </div>	
Past Use: Mix Use 4-1am w/Bus		Proposed Use: Same		COST OF WORK: \$ 47,500.00 FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>		PERMIT FEE: \$ 260.00 INSPECTION: Use Group 82 Type 3B Signature: <i>[Signature]</i>	
Proposed Project Description: Make Interior Renovations				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		Zone: B3 CBL: 040-C-030 Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 14 May 1997					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

13597/30-3624

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT *Dan Reed* ADDRESS: _____ DATE: 14 May 1997 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT 2

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

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Proposed Project Description: Make Interior Renovations				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/> Signature: _____ Date: _____		Zone: <i>B-3</i> CBL: 040-C-030 Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		
Permit Taken By: Mary Gresik		Date Applied For: 14 May 1997				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

15597/30-3624

PERMIT ISSUED
 WITH REQUIREMENTS

Approved In lieu of Changes only

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <i>Daniel W Reed</i> Dan Reed	ADDRESS:	DATE: 14 May 1997	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review
 Action:
 Approved
 Approved with Conditions
 Denied
 Date: *8/15/92*
D. Andrews
CEO DISTRICT 2
MR. ROWE

BUILDING PERMIT REPORT

DATE: 15/MAY/97 ADDRESS: 51-53 York ST.

REASON FOR PERMIT: To make interior renovations

BUILDING OWNER: Dan Reed

CONTRACTOR: Dan Reed / ATLANTIC FOUNDATION

PERMIT APPLICANT: APPROVAL: *1, *5, *6, *7, *8, *9, *10, *11, *12, *13 DENIED *14, *15, *20, *26

CONDITION(S) OF APPROVAL

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
8. Headroom in habitable space is a minimum of 7'6".
9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
12. Each apartment shall have access to two (2) separate, remote and approved means of egress.
13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19.
In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

permit #
97-0471

51kplan
40-C-030

Maple York PLACE

51 - 53 York Street ,Portland, Maine

Dear Site Plan Review Panel,

3.12.97

My name is Daniel W. Reed. I have an executed purchase and sales agreement with Katherine G. Connolly for the land and building at 51-53 York St. I have been approved for a mortgage for this property by Norwest Mortgage under the HUD-203k program. The HUD approved budget for rehabilitation of this property is \$55,000 (plus 10% contingency).

The completed project will consist of 4 residential units ,2 each on the 2nd and 3rd floor, with a continued business use at the street level.

The total square foot area of the site is 4,677. The ground coverage of the existing building is 4,272 square feet. The total floor area of the building is 9,072 square feet.

There are no existing or proposed easements or other burdens on the property.

The solid waste generated by the development will consist of household trash and office/food service waste and will be nominal.

All off- site facilities, including sewer, water and streets are existing.

The site stormwater runoff is handled by existing catchbasins.

The plan for rehabilitation of this property includes replacement of existing windows (onsite meeting with Deb Andrewes 3/4/97) and the full scope of work necessary to occupy the 4 residential units - including plumbing, heating, and electrical . Per HUD requirements, the project must be complete within 6 months after commencement (April thru September)

There are no known state or federal approvals necessary for this project.

Norwest Mortgage has approved financing for this project which includes an escrow account for rehabilitation costs. Contact Jeff Lunt at Norwest Mortgage 400 Southborough Dr. So. Ptd 772-4701 if any additional specific information is necessary.

Attached hereto is a copy of the sales contract for the property.

There appear to be sufficient alternative watering-holes in number and proximity to accommodate permanent migration of the wide variety of wildlife who frequent this location.

Sincerely,

Daniel W Reed

Daniel W. Reed

51-53 York St



FROM : CEHS

PHONE NO. : 2077678050

Jan. 02 1997 02:15PM P1

FROM : The Dunham Group

TEL: 207 773 7100

JAN. 2. 1997 12:42 PM P 2

CONTRACT FOR SALE OF REAL ESTATE

Portland, Maine 1/2/97

Received of Daniel Reed, or its assigns, hereinafter called the Purchaser, the sum of Three thousand Dollars (\$3,000.00) as earnest money and in part payment on account of the purchase price of the following described real estate, situated in County of Cumberland, State of Maine, to wit:

A 4,548 ± parcel of land, building(s) and fixtures therein therein located at 51 and 53 York Street. The property is further depicted on City of Portland Assessors Map as Lots 30, 31, 33 on Map 40.

The total purchase price being One Hundred Sixty Five Thousand Dollars (\$165,000.00) payment to be made as follows:

The earnest money deposit shall be applied to the purchase price with the balance in cash or certified check at closing.

Said deposit is received and held by the Broker, subject to the following conditions:

1. That The Dunham Group, shall hold said earnest money or deposit and act as escrow agent until transfer of title; that until Jan. 6, 1997 at 5:00 p.m. will be given for obtaining the Owner's acceptance; and in the event of the Owner's non-acceptance, this deposit shall be promptly returned to purchaser. Deposit will be held in a non-interest-bearing account / X interest-bearing account. If earnest money or deposit is held in an interest-bearing account, said interest will accrue to Purchaser, except in event of default.

2. That a good and sufficient deed, showing good and merchantable title, shall be delivered to the Purchaser, and it is agreed that this transaction shall be closed and the Purchaser shall pay the purchase price as provided herein and execute all papers necessary for the completion of its purchase within ninety (90) days from the Effective Date of this contract. However, should the title prove defective, then the Seller shall have a reasonable time, (not to exceed sixty (60) days, unless the parties otherwise agree in writing) after due notice of such defect or defects, to remedy the title; and hereby agrees to use diligent efforts to cure any such defect or defects. If, after such time, the defect or defects are not corrected so that there is a merchantable title, then the Purchaser may, at its option, withdraw said deposit and be relieved from all obligations hereunder.

3. The property shall be conveyed by a warranty deed, and shall be free and clear of all encumbrances except easements of record, restrictive covenants of record, usual public utilities servicing the property and zoning ordinances and building codes.

4. The full possession be given IMMEDIATELY upon transfer of title, unless otherwise agreed to in writing by both Purchaser and Seller.

5. The following items shall be pro-rated as of transfer of title:

Real estate taxes for the fiscal year in the Town of Gorham, Maine
Seller is responsible for any unpaid taxes for prior years.
Electricity: Yes X No _____; Fuel: Yes X No _____
Water: Yes X No _____; Rents: Yes X No _____
Association Fees: Yes N/A No _____; Sewer: Yes X No _____

6. Purchaser and Seller will each pay its transfer tax as required by the State of Maine.

FROM : CEHS

PHONE NO. : 2077678050

Jan. 02 1997 02:16PM P2

FROM : The Durham Group

TEL: 207 773 7100

JAN. 2. 1997 12:43 PM P 3

7. The risk of loss or damage to said premises by fire or otherwise, until transfer of title hereunder is assumed by the Seller.

8. FINANCING: This contract is subject to an approved HUD 203K mortgage of ninety-five percent (95%) of the purchase price, at an interest rate not to exceed 10% and amortized over a period of not less than twenty (20) years.

- a) The Purchaser is under a good-faith obligation to actively seek and accept financing on the above-described terms. The Purchaser acknowledges that a breach of this good-faith obligation to obtain financing will be a breach of this Contract.
- b) Loan approval shall be obtained and notice thereof shall be given to Seller within Forty five (45) days of the Effective Date of this Contract.
- c) If either of these conditions is not met within said time period, the Seller may, at any time thereafter, declare this Contract null and void, and the earnest money shall be returned to the Purchaser.

9. The Purchaser is encouraged to seek information from professionals regarding any specific issue or concern. The property is to be conveyed "as is". This Contract is subject to the following inspections, with results being satisfactory to the Purchaser:

TYPE OF INSPECTION	YES	NO	RESULTS REPORTED TO SELLER
a. General Building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
b. Sewage Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
c. Water Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
d. Radon Air Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
e. Radon Water Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
f. Asbestos	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
g. Lead Paint	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days
h. Environmental Scan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	within <u>21</u> days

All inspections will be done by qualified inspectors chosen and paid for by the Purchaser. The results of each inspection will be reported to the Seller, in writing, within the number of days from the Effective Date specified above. If the result of any inspection is unsatisfactory to the Purchaser, Purchaser may, at its option, by notifying the Seller in writing within the specified number of days, declare the Contract null and void and any earnest money deposit shall be returned to the Purchaser.

10. In the event the Purchaser does not notify the Seller in writing that an inspection or a condition is unsatisfactory within the time period stated, that contingency shall be deemed to have been waived by the Purchaser with respect to that inspection or condition. It is understood that in the absence of the inspection(s) listed above, the Purchaser is relying completely upon its own opinion as to the condition of the Property.

11. That in the case of the failure of the Purchaser to make either of the payments or any part hereof, or to perform any of the covenants on his part made or entered into, this Contract shall be terminated and the Purchaser shall forfeit said earnest money or deposit and any interest thereon; and the same will be retained by the Seller as liquidated damages, and the escrow agent is hereby authorized by the Purchaser to pay over to the Seller the earnest money or deposit and any interest thereon. Said deposit and interest will constitute full and complete liquidated damages, with no further recourse to either party.

12. All covenants and agreements herein contained will extend to and be obligatory upon the heirs, personal representatives, successors and assigns of the respective parties.

FROM : CEHS

FROM : The Dunham Group

PHONE NO. : 2077678050

TEL: 207 773 7100

Jan. 02 1997 02:17PM P3

JAN. 2. 1997 12:44 PM P 4

13. The Purchaser acknowledges that it has been informed by the the Broker that the Broker is acting as the Seller's agent in this transaction and that the Broker makes no warranties of any kind regarding the condition, permitted use, or value of the Seller's real or personal property.

14. All representations, statements and agreements heretofore made between the parties are merged into this agreement, which alone fully and completely expresses their respective obligations, and this agreement is entered into by each party after opportunity for investigation, neither party relying on any statements or representations not embodied in this agreement, made by the other or on its behalf.

15. All parties to this contract agree to accept facsimile copies of this document and any signatures thereto as originals.

16. Property to be delivered to Purchaser "broom clean".

When signed by all parties, this is a binding Contract. If not fully understood, consult an attorney. A copy of the Contract is to be received by all parties and receipt of a copy is hereby acknowledged.

I/We hereby agree to purchase the above-described property at the price and upon the terms and conditions set forth.

W.C. R... 1/2/97 David W. Reed 008-56-0813
Witness Date Purchaser Social Security # or Tax I.D. #

[Signature] 1/2/97 Katherine S. Connolly
Witness Date Purchaser Social Security # or Tax I.D. #

I/We hereby accept the offer and agree to deliver the above-described property at the price and upon the terms and conditions above stated. I/We further agree to pay the above-named Broker as commission for its services herein the sum of eight (8%) of the purchase price. In the event said earnest money is forfeited by said Purchaser, one-half thereof will be paid to said Broker and the remainder to me/us, provided, however, that the Broker's portion shall not exceed the full amount of the commission herein specified.

[Signature] 1/2/97 Katherine S. Connolly
Witness Date Seller Social Security # or Tax I.D. #

Witness Date Seller Social Security # or Tax I.D. #

[Signature]
Broker

Effective Date (Final Acceptance) Date:



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Dan Reed/Future Owner
Applicant 59 Longfellow Dr C.E. 04107

12 March 1997
Application Date

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent Daniel A Reed
Dan Reed 870-3022/Pager

51-53 York St
Address of Proposed Site

Applicant or Agent Daytime Telephone, Fax _____

040-C-030
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) Vacant to 4-fam + Bus Use
3,825 Existing 4,548 Sq Ft
 Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 300.00 subdivision _____

Approval Status:

Reviewer _____

- Approved Approved w/Conditions listed below Denied

1. _____
2. _____
3. _____
4. _____

Approval Date _____ Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: 51-53 York St



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Address: 51-53 York St

Applicant Dan Reed/Future Owner
59 Longfellow Dr C.S. 04107

12 March 1997
Application Date

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent Dan Reed
Dan Reed 870-3022/Pager

51-53 York St
Address of Proposed Site

Applicant or Agent Daytime Telephone, Fax _____

040-C-030
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) Vacant to 4-fam + Bus Use

3,825 Existing Proposed Building Square Feet or # of Units
4,548 Sq Ft Acreage of Site
 _____ Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 300.00 subdivision _____

Approval Status:

Reviewer _____

- Approved Approved w/Conditions listed below Denied

1. _____
2. _____
3. _____
4. _____

Approval Date 3/12/97 Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

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- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Applicant Dan Reed/Future Owner
39 Longfellow Dr C.E. 04107

Application Date 12 March 1997

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent Dan Reed 870-3022/Pager

Address of Proposed Site 51-53 York St
040-C-030

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply):
 New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) Vacant Lot 4-Lot + Bus Use

Proposed Building Square Feet or # of Units 3,875 Existing Acreage of Site 4,340 Sq Ft Zoning B-3

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 300.00 subdivision _____

Approval Status:

Reviewer RICHARD KNOWLAND

- Approved Approved w/Conditions listed below Denied
1. _____
2. _____
3. _____
4. _____
- NO SITE PLAN REVIEW REQUIRED. SEE ATTACHED NOTG.*

Approval Date _____ Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: _____



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Dan Reed/Future Owner
Applicant 59 Longfellow Dr C.E. 04107

12 March 1997
Application Date

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent Daniel W Reed
Dan Reed 870-3022/Pager

51-53 York St
Address of Proposed Site 040-C-030

Applicant or Agent Daytime Telephone, Fax _____

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply):
 New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) Vacant to 4-fam + Bus Use

3,825 Existing Proposed Building Square Feet or # of Units 4,548 Sq Ft Acreage of Site B-3 Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 300.00 subdivision _____

Approval Status:

Reviewer Steve Bushy

- Approved Approved w/Conditions listed below Denied

1. _____
2. _____
3. _____
4. _____

Approval Date 4/11/97 Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
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| Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| Performance Guarantee Released | _____ date | _____ signature | |
| Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| Defect Guarantee Released | _____ date | _____ signature | |

Address: 51-53 York St

$150 \times 139 \times 15 = 234$
 $150 \times 15 \text{ for corner} = 43$
 $R = 29$ 282

Area		Multiplier	Coefficient
Year	Unit	Coefficient	Land Value
19			\$282



Surveyed by *[Signature]*

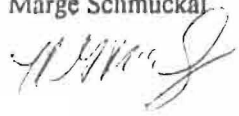
APR 11 1921

(Remarks on other Side)

2 - 5 3000+

- 16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 18. The Sprinkler System shall maintained to NFPA #13 Standard.
- 19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- ✓ 20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
- 26. *The vented ducts are required to be 2 hrs fire rated*
- 27. _____
- 28. _____


 R. Samuel Hoffes, Chief of Code Enforcement

cc: Lt. McDougall, PFD
 Marge Schmuckal


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