

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that **ALL IN ENTERPRISES, LLC**

Located At **51 YORK ST**

Job ID: **2012-06-4241-ALTCOMM**

CBL: **040- C-030-001**

has permission to Remove section of retaining wall next to left wall of building & replace with concrete stairs 10'6" x 5'6" provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

MB 2/3/12
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4241-ALTCOMM	Date Applied: 6/14/2012	CBL: 040- C-030-001	
Location of Construction: 51-53 YORK ST	Owner Name: ALL IN ENTERPRISES, LLC - Ned Getchell	Owner Address: 5 LINCOLN AVE SCARBOROUGH, ME 04074	Phone:
Business Name: Portland Pie Co.	Contractor Name: Zachau Construction, Inc.	Contractor Address: 1185 Route 1 Freeport ME 04032	Phone: (207) 865-9925
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Restaurant - Portland Pie Co. (first floor)	Proposed Use: Same - restaurant - remove section of retaining wall next to left wall of building & replace with set of concrete stairs 10'6" x 5'6"	Cost of Work: 8000.00	CEO District:
		Fire Dept: 7/12/12 Signature: <i>[Signature]</i> (58)	Inspection: Use Group: N/A Type: N/A IBC-2009 Signature: <i>[Signature]</i>
Proposed Project Description: Add small exterior concrete stairway		Pedestrian Activities District (P.A.D.) 7/3/12	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>Admin. Author.</i> 2012-524</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: 7/12/12 <i>OK w/ conditions</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: 7-2-12 <i>Robert Wiene</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Jeff Levine, AICP, Director

Job ID: 2012-06-4241-ALTCOMM

Located At: 51 YORK ST

CBL: 040- C-030-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Historic

1. The section of metal fencing shown on the submitted plans shall be eliminated. Building Inspections Director, Tammy Munson, has confirmed that the fencing is not required by building code.
2. The new stairs shall not be physically attached to the abutting building. Installation of a single handrail within the building's mortar joints is acceptable. Handrail to be painted brick red to be visually recessive.
3. Any cleaning of newly exposed or previously exposed masonry shall follow best practices for historic masonry. Mortar used in patching or pointing masonry joints must match the historic mortar in color, texture and tooling. Mortars should be softer and more vapor permeable than the bricks and no harder or more impermeable than the historic mortar.
4. The surface cleaning of structures and objects, if appropriate, shall be undertaken with the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be undertaken.
5. Wherever possible, new additions or alterations to structures and objects shall be undertaken in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would be unimpaired.

Fire

1. Installation shall comply with City Code Chapter 10.
2. A handrail is required on both sides of the stair.

Job ID: 2012-06-4241-ALTCOMM

Located At: 51 YORK ST

CBL: 040- C-030-001

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

B-3
historic

Admin-Adm.
2012-524

06-4241
2012 ~~4-4964~~ SP



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Portland Pie Co. / 53 York St.</u>		
Total Square Footage of Proposed Structure/Area <u>58</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>C</u> Lot# <u>30</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Zachau Construction, Inc.</u> Address <u>1185 U.S. Rte. 1, Freeport, ME</u> City, State & Zip <u>04032</u>	Telephone: <u>865-9925</u>
Lessee/DBA (If Applicable) <u>All in Enterprises LLC</u> <u>5 Lincoln Ave</u> <u>Scarborough ME 04074</u>	Owner (if different from Applicant) Name <u>Portland Pie Co.</u> Address <u>53 York St.</u> City, State & Zip <u>Portland, ME 04101</u>	Cost Of Work: \$ <u>7,400.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>100 -</u>
Current legal use (i.e. single family) <u>Restaurant</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Add small concrete stairway - exterior</u> <u>- beside building</u>		
Contractor's name: <u>Zachau Construction, Inc.</u> Address: <u>1185 U.S. Rte. 1</u> City, State & Zip: <u>Freeport, ME 04032</u> Who should we contact when the permit is ready: <u>Jon Provost - 865-9925 ext 225</u> Mailing address: <u>P.O. Box J, Freeport, ME 04032</u>		

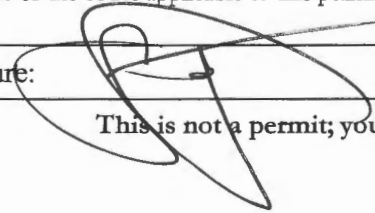
RECEIVED
JUN 14 2012

Dept. of Building Inspections
City of Portland Maine

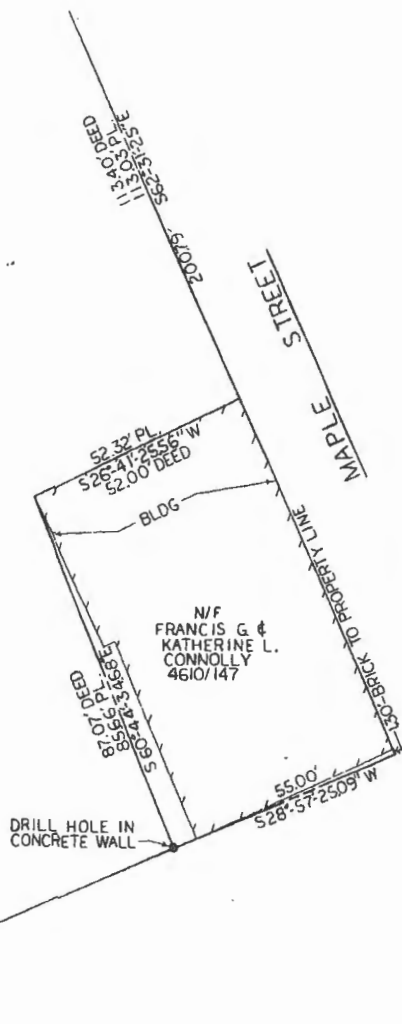
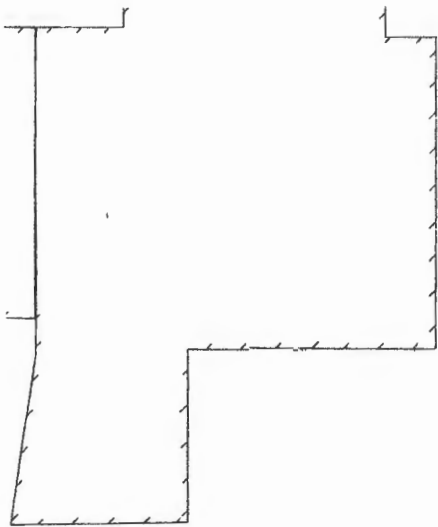
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 6/11/12

This is not a permit; you may not commence ANY work until the permit is issue



LEGEND

- PROPE
- MF MONU
- x ----- FENCE
- N/F NOW C
- IS IRON :

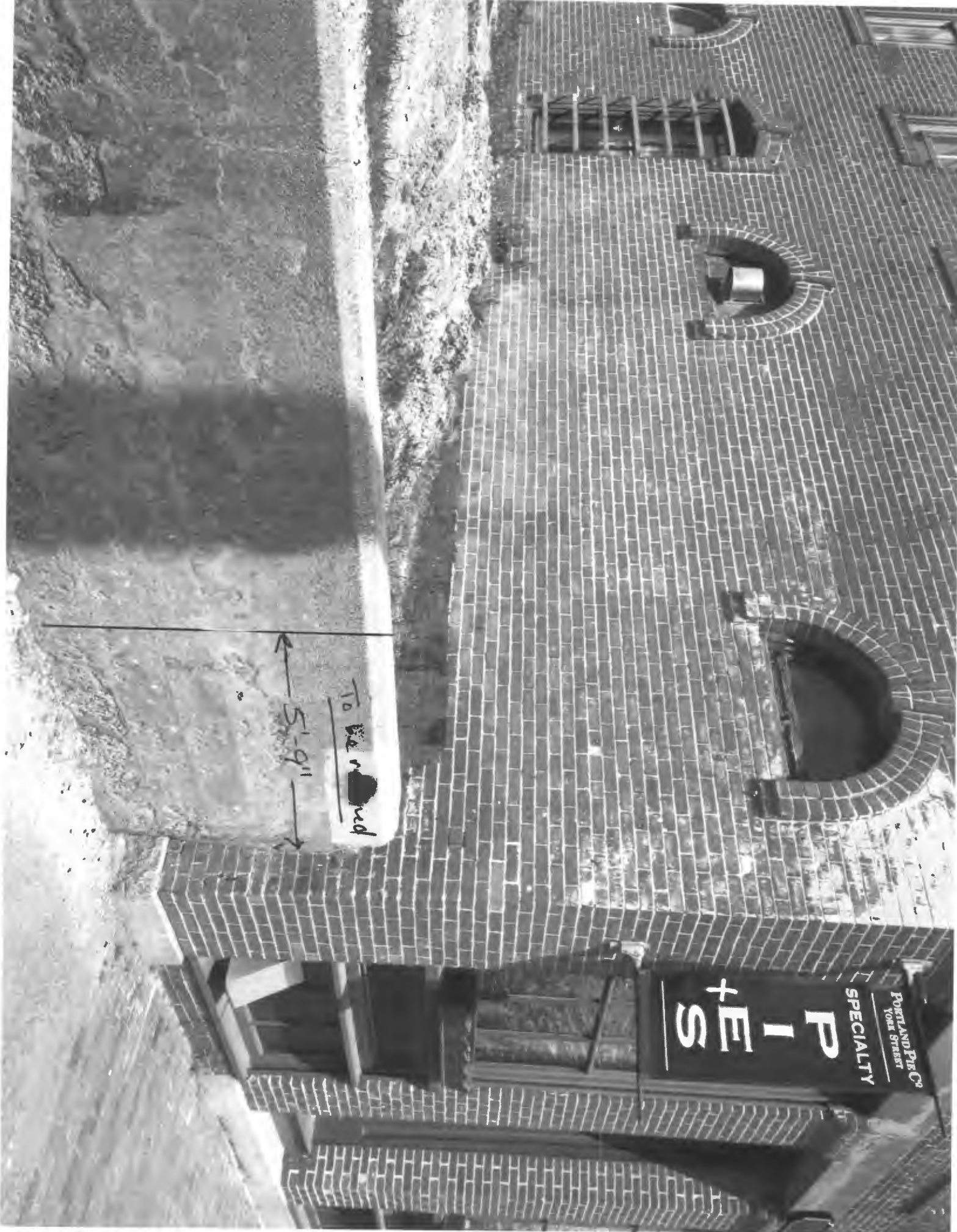
NOTES

1. OWNER OF RECORD: DEED RECORDED AT DEEDS BOOK 4842
2. LOCUS PARCEL JS
3. LOT AREA: LOT C LOT C
4. REFERENCE WAS M RECORDS, SURROUNDING MEZOIAN BY ROBE 1989.
5. THIS PLAN CONFOR FOR LAND SURVEY

RECEIVED

JUL - 2 2012

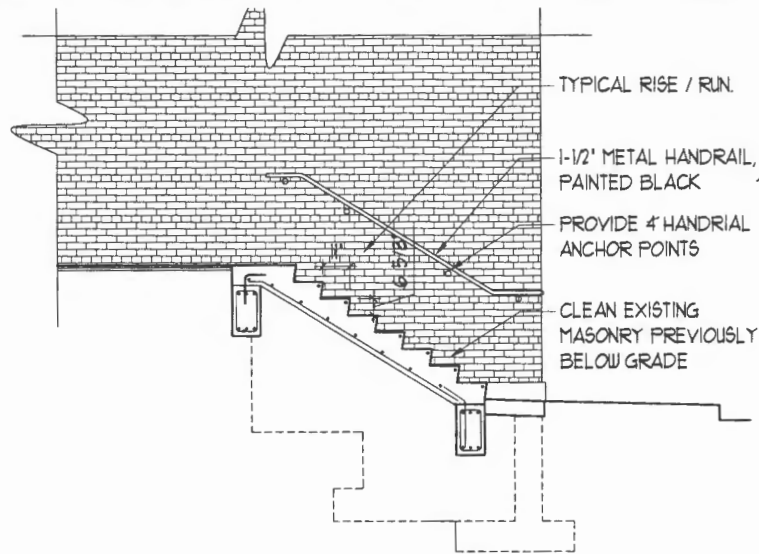
Dept. of Building Inspections
City of Portland Maine



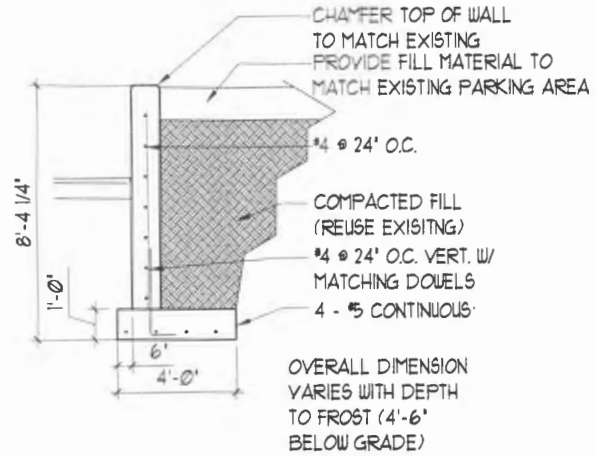
To be removed

5'-9"

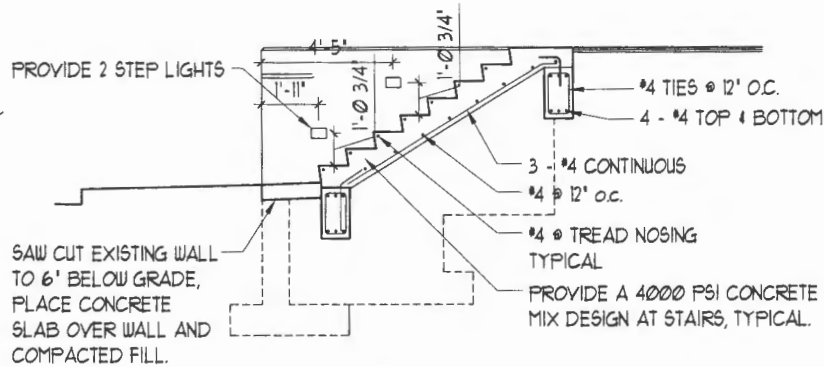
PORTLAND PIE Co
SPECIALTY
PIES
1001 STREET



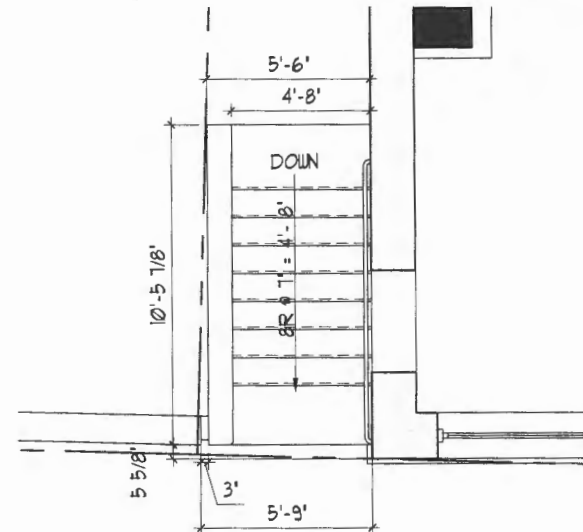
4 STAIR SECTION
 SCALE: 1/4" = 1'-0"



2 STAIR SECTION
 SCALE: 1/4" = 1'-0"



3 STAIR SECTION
 SCALE: 1/4" = 1'-0"



1 STAIR PLAN
 SCALE: 1/4" = 1'-0"



PORTLAND PIE CO. ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000
 fax: 207.761.2010
 info@portcitypie.com

PORTLAND PIE CO.
 53 YORK STREET PORTLAND MAINE

JOB:
ISSUE DATE
PRINT 11/16/10
DRAWN BY JCC
TITLE
STAIR PLAN & SECTIONS
SCALE
1/4" = 1'-0"
DRAWING NO.

A11

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice Chair
Otis Baron
Scott Benson
Michael Hammen
Ted Oldham
John Turk

December 1, 2010

John Charette
65 Newbury Street
Portland, Maine 04101

Re: Removal of section of retaining wall and construction of stairs; 53 York Street

Dear Mr. Charette:

This office has reviewed and approved your proposal, submitted on behalf of client Nat Getchell, to remove a section of concrete retaining wall immediately adjacent to 53 York Street and construction of a set of concrete steps.

Approval is subject to the following conditions:

- * That the section of metal fencing shown on the submitted plans be eliminated. Building Inspections Director, Tammy Munson, has confirmed that the fencing is not required by building code.
- * That the new stairs not be physically attached to the abutting building. Installation of a single handrail within the building's mortar joints is acceptable. Handrail to be painted brick red to be visually recessive.

All improvements shall be carried out as shown on plans and specifications included in your 11/17/10 application, except as to comply with the conditions above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work. This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Deborah Andrews
Historic Preservation Program Manager

Cc: Nat Getchell



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

2012 064841

JUN 14 2012

PROJECT NAME: Building Inspections
City of Portland, Maine

Portland Pie Exterior Stairs

PROJECT ADDRESS: 53 York St.

CHART/BLOCK/LOT: 40-C-30

APPLICATION FEE: (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Exterior concrete stairway and railings

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Portland Pie Co. - Nat Getchell
Address: 53 York St.
Portland
Work #: _____
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____


CONSULTANT/AGENT

Name: Zachau Construction, Inc. - G.C.
Address: 1185 U.S. Route 1
Freeport, ME 04032
Work #: (207) 865-9925
Cell #: (207) 807-8980
Fax #: _____
Home #: _____
E-mail: jon@zachauconstruction.com

Criteria for an Administrative Authorizations: (see section 14-523(4) on pg. 2 of this appl.)

Applicant's Assessment Planning Division Y(yes), N(no), N/A

- | | | |
|---|-------|-------|
| a) Is the proposal within existing structures? | N | _____ |
| b) Are there any new buildings, additions, or demolitions? | N | _____ |
| c) Is the footprint increase less than 500 sq. ft.? | Y | _____ |
| d) Are there any new curb cuts, driveways or parking areas? | N | _____ |
| e) Are the curbs and sidewalks in sound condition? | Y | _____ |
| f) Do the curbs and sidewalks comply with ADA? | Y | _____ |
| g) Is there any additional parking? | N | _____ |
| h) Is there an increase in traffic? | N | _____ |
| i) Are there any known stormwater problems? | N | _____ |
| j) Does sufficient property screening exist? | _____ | _____ |
| k) Are there adequate utilities? | N/A | _____ |
| l) Are there any zoning violations? | N | _____ |
| m) Is an emergency generator located to minimize noise? | N/A | _____ |
| n) Are there any noise, vibration, glare, fumes or other impacts? | N | _____ |

Signature of Applicant:  Date: 6/14/12

Jon Provost
Zachau Const. Inc.

Administrative Authorization Decision

Name: Portland Pie Exterior Stairs
Address: 53 York Street
Project Description: exterior concrete stairway and railings

Criteria for an Administrative Authorizations:
Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

(See

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	No	Yes – stairs and railings – changes approved by HP 2010 – still valid
c) Is the footprint increase less than 500 sq. ft.?	Yes	Yes
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?		n/a
k) Are there adequate utilities?	N/A	yes
l) Are there any zoning violations?	No	no
m) Is an emergency generator located to minimize noise?	N/A	n/a
n) Are there any noise, vibration, glare, fumes or other impacts?	No	no

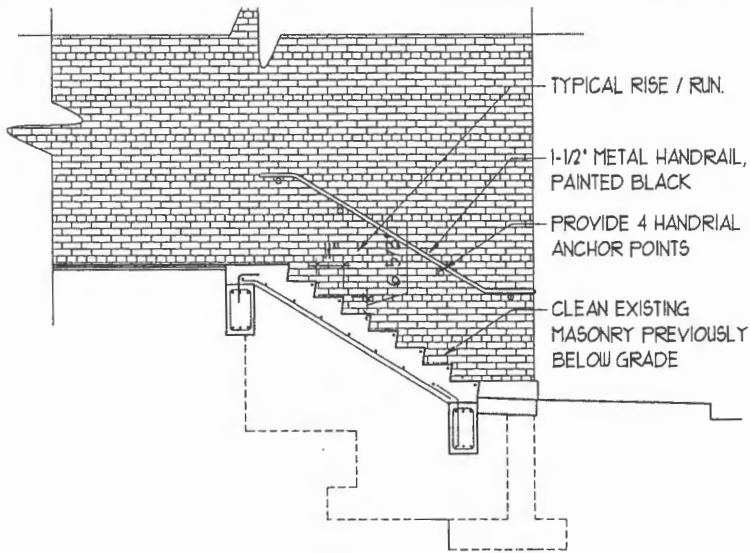
I confirmed with Deb Andrews, Historic Preservation Manager, that the 2010 approval for the stairs remains valid. The contractor provided a site map that was forwarded by J.B. Brown who own the property and support the change. The e-mail exchange is included.

The Administrative Authorization for Portland Pie Exterior stairs at 53 York Street was approved by Barbara Barhydt, Development Review Services Manager on June 29, 2012 with the following conditions of approval listed below:

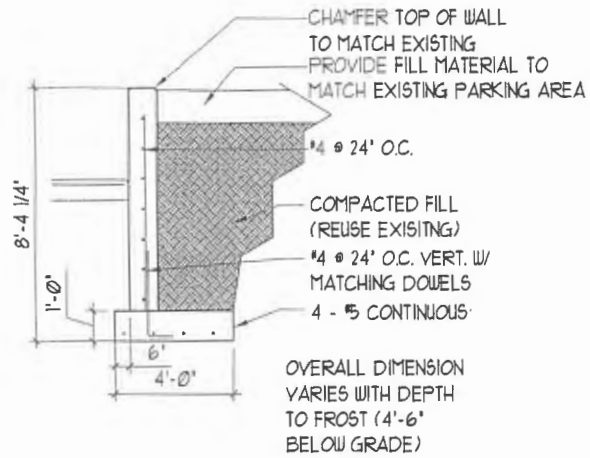
1. The stairs shall be constructed as approved by the Historic Preservation review in 2010.
2. The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



Barbara Barhydt
Development Review Services Manager
Date of Approval:

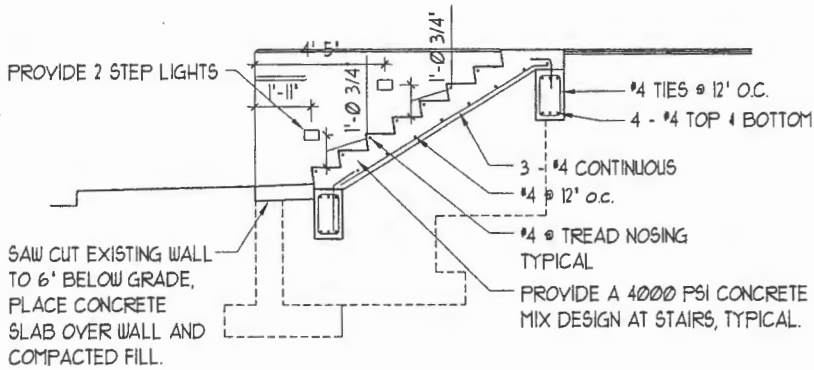


4 STAIR SECTION
SCALE: 1/4" = 1'-0"

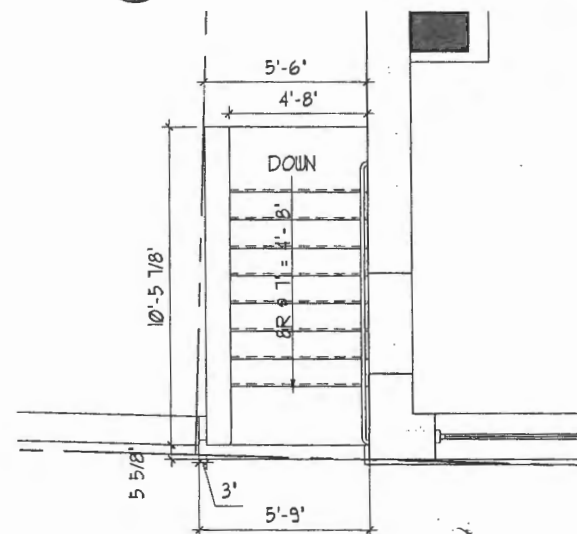


OVERALL DIMENSION VARIES WITH DEPTH TO FROST (4'-6\"/>

2 STAIR SECTION
SCALE: 1/4" = 1'-0"



3 STAIR SECTION
SCALE: 1/4" = 1'-0"



1 STAIR PLAN
SCALE: 1/4" = 1'-0"

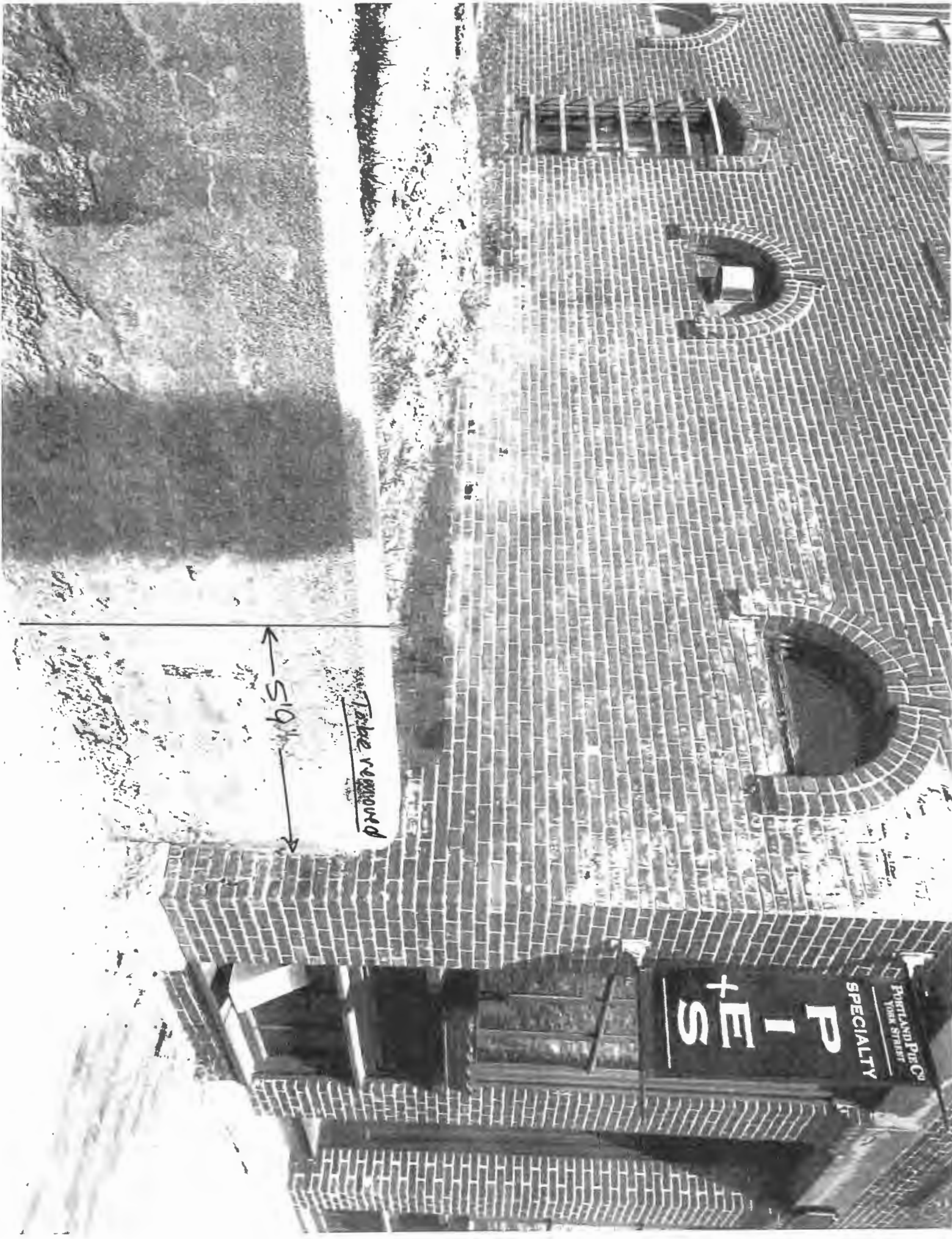


PORTLAND PIE CO. ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portlandpiearch.com

PORTLAND PIE CO.
53 YORK STREET PORTLAND MAINE

JOB:
ISSUE DATE
PRINT
DRAWN BY
TITLE
STAIR PLAN 1 SECTIONS
SCALE
1/4" = 1'-0"
DRAWING NO.

A1.1



PORTLAND Pie Co
108K STREET
SPECIALTY
PIES

Take around

SIDE

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice Chair
Otis Baron
Scott Benson
Michael Hammen
Ted Oldham
John Turk

December 1, 2010

John Charette
65 Newbury Street
Portland, Maine 04101

Re: Removal of section of retaining wall and construction of stairs; 53 York Street

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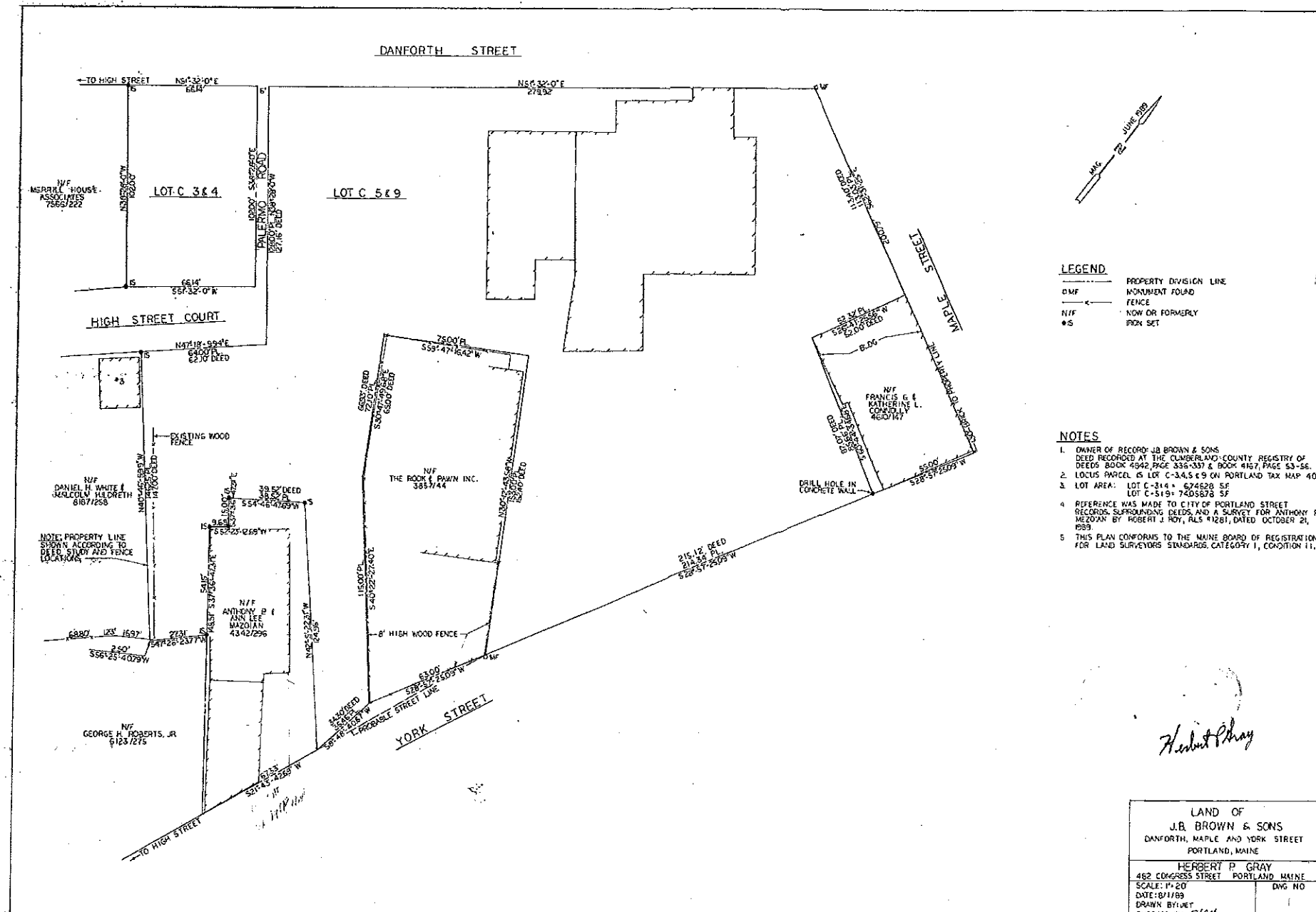
All improvements shall be carried out as shown on plans and specifications included in your 11/17/10 application, except as to comply with the conditions above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work. This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Deborah Andrews
Historic Preservation Program Manager

Cc: Nat Getchell



LEGEND

- PROPERTY DIVISION LINE
- MONUMENT FOUND
- FENCE
- N/F NOW OR FORMERLY
- #S PERM SET

NOTES

1. OWNER OF RECORD: J.B. BROWN & SONS
2. DEED RECORDED AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS: BOOK 4042, PAGE 336-337 & BOOK 4167, PAGE 53-56.
3. LOCUS PARCEL IS LOT C-314, S 49 ON PORTLAND TAX MAP 40.
4. LOT AREA: LOT C-314 = 624628 SF; LOT C-319 = 7405878 SF.
5. REFERENCE WAS MADE TO CITY OF PORTLAND STREET RECORDS: SURROUNDING DEEDS AND A SURVEY FOR ANTHONY P. MEZON BY ROBERT J. ROY, RLS #1281, DATED OCTOBER 21, 1989.
6. THIS PLAN CONFORMS TO THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS STANDARD, CATEGORY I, CONDITION II.

Herbert P. Gray

LAND OF J.B. BROWN & SONS DANFORTH, MAPLE AND YORK STREET PORTLAND, MAINE	
HERBERT P. GRAY 482 CONGRESS STREET PORTLAND MAINE	
SCALE: 1"=20'	DWG NO
DATE: 01/11/89	
DRAWN BY: JET	
CHECKED BY: HPG	

RECEIVED

JUL - 2 2012

Dept. of Building Inspections
City of Portland Maine