

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0390	Issue Date: JUN 17 2003	CBL: 040 C026001
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Location of Construction: 75 York St	Owner Name: 75 York Street Llc	Owner Address: 15 Franklin St CITY OF PORTLAND	Phone: 772-4656
Business Name:	Contractor Name: Benchmark	Contractor Address: 650 Main St So. Portland	Phone: 2078742963
Lessee/Buyer's Name:	Phone:	Permit Type: Change of Use - Commercial	Zone: 2

Past Use: Vacant/Restuarant Supply	Proposed Use: Office Space	Permit Fee: \$2,823.00	Cost of Work: \$400,000.00	CEO District: 2	B-3
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: B Type: 50 Signature: <i>[Signature]</i> Signature: <i>[Signature]</i> Date: 6/12/03	Proposed Project Description: Tenant Fit Up to Office Space/Modify Exterior (450#) plus small Addition
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 04/22/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>exemption submitted to PLANNING</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/7/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 030390
PERMIT ISSUED

This is to certify that 75 York Street Llc /Benchmark
has permission to Tenant Fit Up to Office Space Modify Exterior, 450' ADDITION **JUN 17 2003**
AT 75 York St 040 C026001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is leased or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 6/17/03
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0390	Date Applied For: 04/22/2003	CBL: 040 C026001
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Location of Construction: 75 York St	Owner Name: 75 York Street Llc	Owner Address: 15 Franklin St	Phone: () 772-4656
Business Name:	Contractor Name: Benchmark	Contractor Address: 650 Main St So. Portland	Phone (207) 874-2963
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Office Space	Proposed Project Description: Tenant Fit Up to Office Space/Modify Exterior
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/07/2003

Note: 04/29/03 - site plan exemption attached to bldg permit, I gave to planning to review - This is located within the B-3 zone - Not within the Historic District **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/17/2003

Note: **Ok to Issue:**

- 1) Guards on entryway "retaining wall" must be 42" w/ openings less than 4"

Entire exit access stairway must have a one hour fire rating.
New plans must be submitted reflecting these changes for review

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 05/09/2003

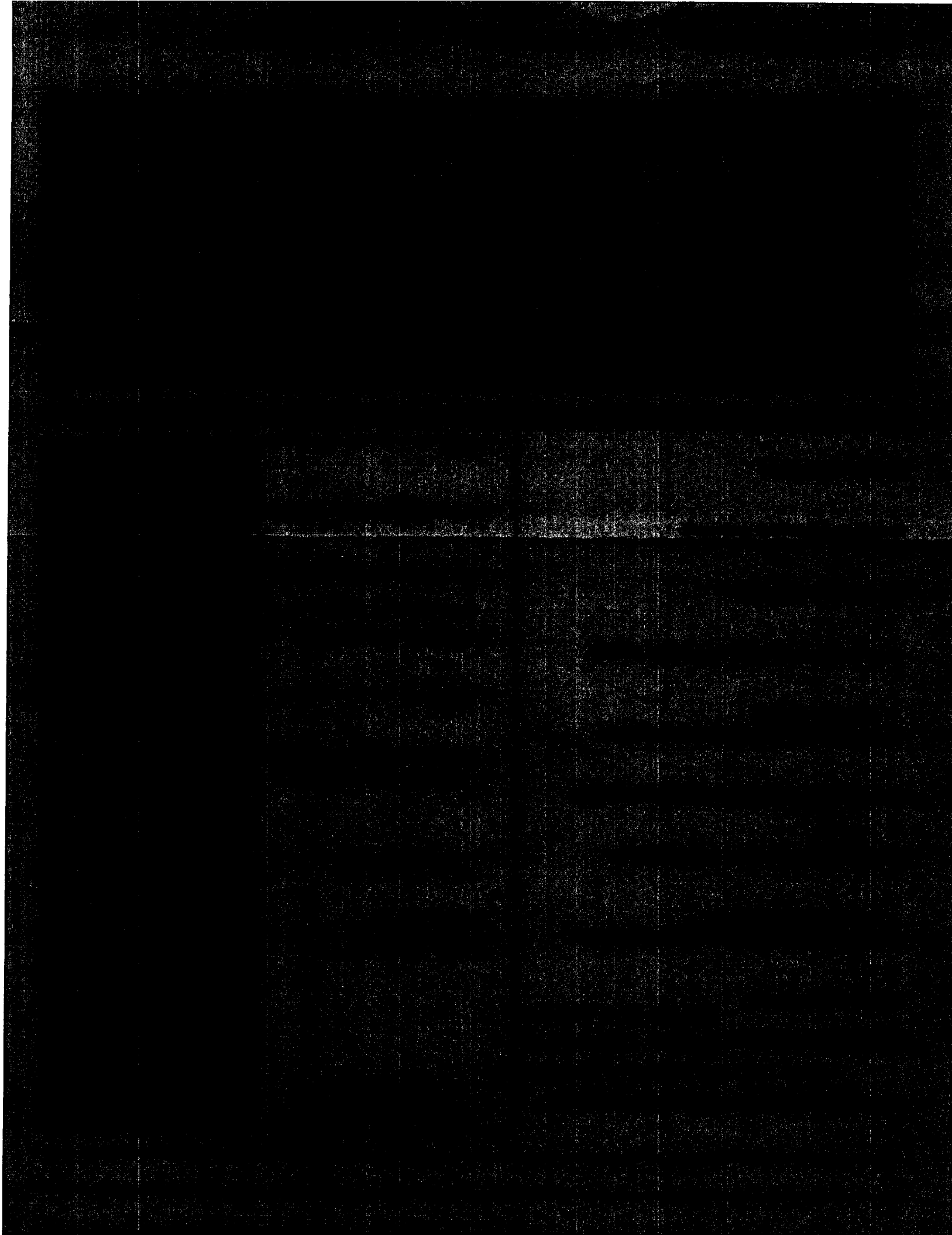
Note: **Ok to Issue:**

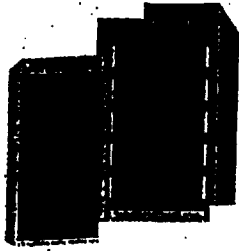
- 1) portable fire extiquishers shall be installed in accordance with NFPA 10 standards

Comments:

05/14/2003-mjn: Sent list of plan questions to architect

Received response on 6/12/03





CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Rm 315
 Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
 Department of Planning & Urban Development
 Division of Housing & Community Service

FROM: 75 York Street, LLC.

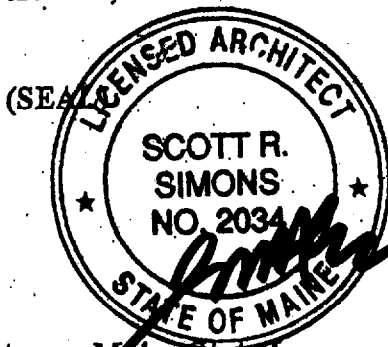
RE: Certificate of Design

DATE: April 18, 2003

These plans and/or specifications covering construction work on:

Renovations and minor alterations and
addition to existing building and site @ 75 York Street,
Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Signature]
 Title President
 Firm Scott Simons Architects
 Address 15 Franklin St, Portland, ME
04101

As per Maine State Law:

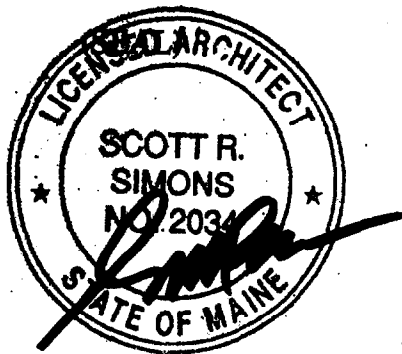
\$50,000.00 or more in new construction; repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: Scott Simons Architects
Address of Project 75 York Street, Portland, ME
Nature of Project Interior renovations, minor site
changes, and minor building addition
Date April 18, 2003

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature [Signature]
Title President
Firm Scott Simons Architects
Address 15 Franklin Street
Portland, ME 04101
Telephone 207-772-4656



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Scott Simons Architects

DATE: April 18, 2003

Job Name: 75 York Street L.L.C. Building

Address of Construction: 75 York Street, Portland, ME 04101

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) BUSINESS ("B")
 Type of Construction SB Bldg. Height 23'6" (EXIST.) Bldg. Sq. Footage 7680 EXIST + 950 NEW
 Seismic Zone 2 (A_s = 0.11) Group Class _____
 Roof Snow Load Per Sq. Ft. 12 psf Dead Load Per Sq. Ft. 15 psf (floor) / 12 psf (roof)
 Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. 18 psf
 Floor Live Load Per Sq. Ft. 50 + 20 psf / 80 @ corridors

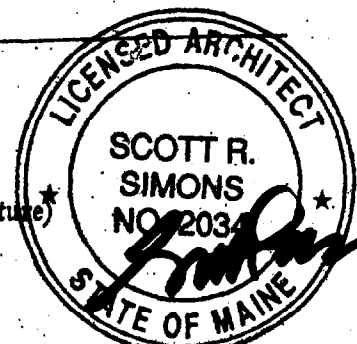
Structure has full sprinkler system? Yes No _____ Alarm System? Yes _____ No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.

(Designers Stamp & Signature)



facsimile transmittal

To: Scott Simons From: Mike Nugent
Fax: 828-4656 Date: May 13, 2003
Phone: 772-4656 Pages: 1
Re: 75 York St. (040 C026)

Urgent For Review Please Comment Please Reply Please Recycle

I have started the review of the above project and have questions:

- 1) What are the potential uses for lease spaces?
- 2) Retaining wall will require a Guard (see Section 1825. 1999 BOCA Code)
- 3) A full size set of plans must be provided, the 11" x 17" are for archiving purposes.
- 4) All proposed guards must be 42 inches in height with openings less than 4 inches.
- 5) Roof loading must be calculated in accordance with Section 7.3 of ASCE 7 (Section 1608.3)
- 6) Stairways appear to have inconsistent ratings (less than 1 hour) if you use Wall type "B" on page A100
- 7) Pipe Rail must have code compliant balusters.

Still An Issue
6/13/03



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2003-0093
Application I. D. Number
05/12/2003
Application Date
Renovations & Addition
Project Name/Description

75 York Street Lic
Applicant
15 Franklin St, Portland, ME 04101
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 772-4656 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

75 - 75 York St, Portland, Maine
Address of Proposed Site
040 C026001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

450 s.f. Proposed Building square Feet or # of Units **B3** Zoning
Acreage of Site _____

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review _____ Date **05/16/2003**

Zoning Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____
 Condition Compliance _____ signature _____ date _____
Reviewer Marge Schmuckel
Zony is ok See Approval DATED 5/7/03
 Additional Sheets Attached

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: 75 YORK STREET, PORTLAND		Zone: B-3
Total Square Footage of Proposed Structure EXIST: 7680 SF NEW: 450 SF		Square Footage of Lot 11,738 S.F.
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Property owner, mailing address: 75 YORK STREET, L.L.C. 40 SCOTT SIMONS ARCHITECTS 15 FRANKLIN STREET, PORTLAND	Telephone: 772-4656
Consultant/Agent, mailing address, phone & contact person SAME	Applicant name, mailing address, telephone #/Fax#/Pager#: SAME	Project name: 75 YORK STREET RENOVATIONS & ADDITION
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot Subdivision, amount of lots <input type="checkbox"/> \$25.00 per lot \$ _____ Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ Traffic Movement \$1,000 Stormwater Quality \$250.00 Other _____ After the fact review - Major project \$1,500.00 After the fact review - Minor project \$1,200.00		
Major Development _____ \$500.00 Minor Development <input checked="" type="checkbox"/> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: 75 YORK STREET, LLC 40 SCOTT SIMONS ARCHITECTS Mailing address: 15 FRANKLIN STREET State and Zip: PORTLAND, ME 04101 Contact person: SCOTT SIMONS Phone: 772-4656		

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: 05.12.03
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This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Project Name, Address of Project

Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
_____	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
_____	(2)	Name and address of applicant and name of proposed development	a
_____	(3)	Scale and north points	b
_____	(4)	Boundaries of the site	c
_____	(5)	Total land area of site	d
_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
_____	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
_____	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	(11)	Approx location of buildings or other structures on parcels abutting the site	d
_____	(12)	Location of on-site waste receptacles	e
_____	(13)	Public utilities	e
_____	(14)	Water and sewer mains	e
_____	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
_____	(18)	Parking areas	g
_____	(19)	Loading facilities	g
_____	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	(21)	Curb and sidewalks	g
_____	(22)	Landscape plan showing:	h
_____	(23)	Location of existing proposed vegetation	h
_____	(24)	Type of vegetation	h
_____	(25)	Quantity of plantings	h
_____	(26)	Size of proposed landscaping	h
_____	(27)	Existing areas to be preserved	h
_____	(28)	Preservation measures to be employed	h
_____	(29)	Details of planting and preservation specifications	h
_____	(30)	Location and dimensions of all fencing and screening	i
_____	(31)	Location and intensity of outdoor lighting system	j
_____	(32)	Location of fire hydrants, existing and proposed	k
_____	(33)	Written statement	c
_____	(34)	Description of proposed uses to be located on site	l
_____	(35)	Quantity and type of residential, if any	l
_____	(36)	Total land area of the site	b2
_____	(37)	Total floor area and ground coverage of each proposed building and structure	b2
_____	(38)	General summary of existing and proposed easements or other burdens	c3
_____	(39)	Method of handling solid waste disposal	4
_____	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
_____	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject to	8
_____	(44)	The status of any pending applications	8
_____	(45)	Anticipated timeframe for obtaining such permits	h8



Scott Simons Architects

15 Franklin St. Art
Portland, ME 04101-4169

(207) 772-4656
(207) 828-4656 FAX
scott@simonsarchitects.com

MEMORANDUM

Date: May 12, 2003
Project name/number: 75 York Street, LLC, SSA #02034.00
Re: Building Permit Narrative
From: Scott Simons
To: City of Portland Planning Department
Cc: Paul Becker, Jobfile 3.1

NARRATIVE

75 York Street LLC is proposing to renovate the existing building at 75 York Street, Portland, ME to provide professional office spaces for Scott Simons Architects and Becker Structural Engineers. The renovations do not require a change of use. We did not think they required a Site Plan Application, appearing to fall within the City's "Exemption" requirements. However, we have been advised that we are required to file a "Minor Site Development" Application, and are including the documents required on the City of Portland Site Plan Checklist.

A narrative of the key elements of the renovations are as follows:

1. Site Development

- a. Existing parking lot to remain. Shim and topcoat with 1" bituminous paving
Paint striping for parking spaces as per City standards.
- b. Remove approx. 550 SF of existing paving, to create landscaped area at
northwest corner of site. Remove 80 SF concrete slab along north edge of
existing building
- c. Install new concrete retaining wall along western edge of property,
as shown on the site plan. Height varies with height of adjacent property.
Remove existing sloped rip-rap in same area. Existing guardrail along property line
to remain.
- d. Install landscaping, dumpster screen, etc, as shown on the site plan
- e. Install street trees and rugosa along the edge of the property where it abuts the City
sidewalk, as shown on the site plan.
- f. Install a new timber guardrail along the eastern edge of the existing parking lot, as
shown and detailed on the site plan

2. Renovations to the Existing Building

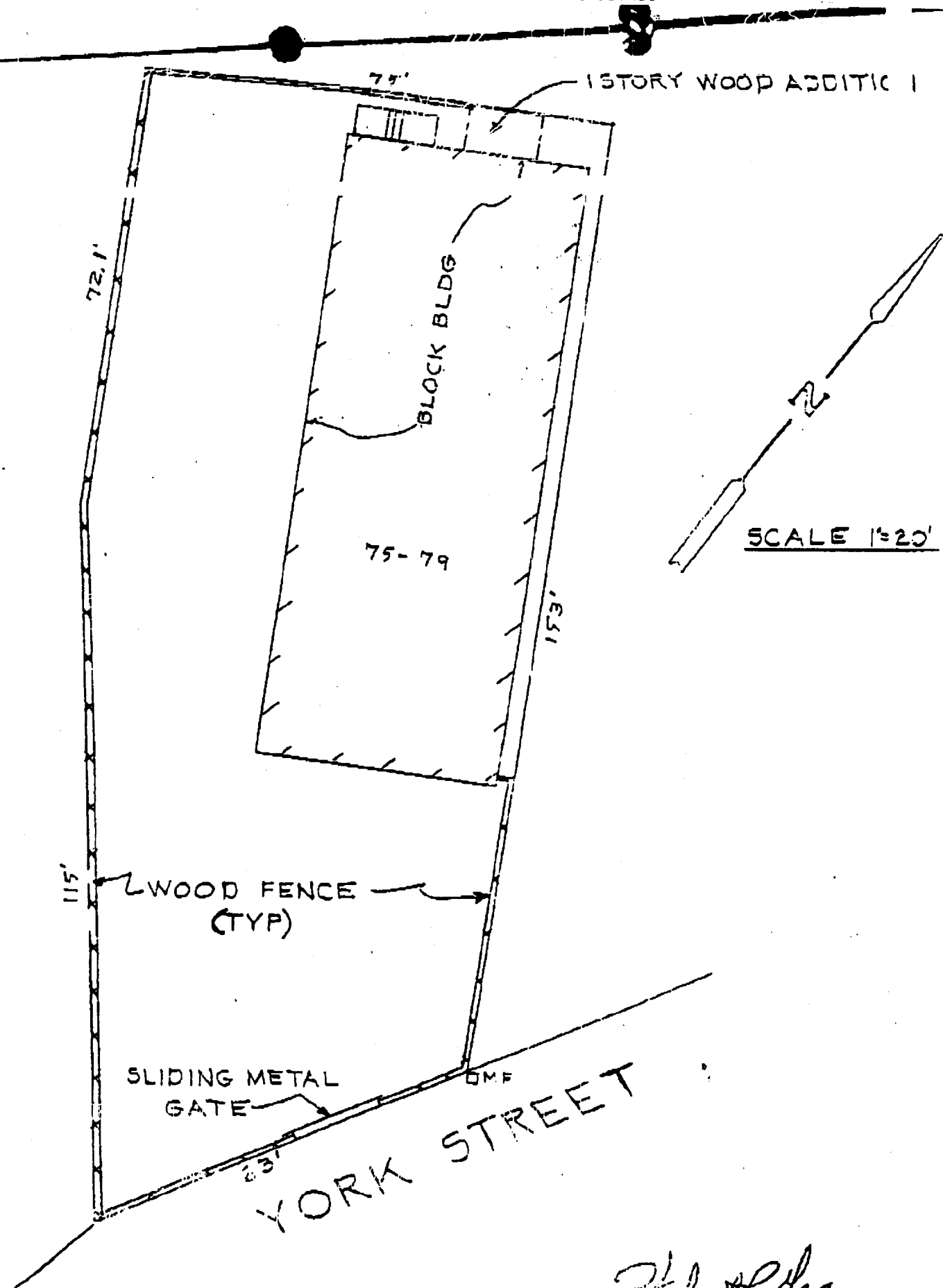
The existing two-story, 7,680 SF concrete block (CMU) bearing wall and wood frame building will be completely renovated, including:

1. structural reinforcing of the wood floor and roof framing, to bring the building up to
current structural codes and standards
2. new exterior aluminum frame windows and steel doors
3. new EPDM roofing and rigid roof insulation
4. repairs and repainting of existing wood soffits and fascias

5. repointing and repainting of existing CMU walls
6. new interior drywall partitions, electrical power and lighting, wood shelving, carpet and VCT flooring, acoustical tile ceilings on the ground floor (open ceilings to wood structure above on the first floor), etc.

3. Addition to the Existing Building

2. the existing 80 SF, one-story wood frame addition will be removed
3. a new 450 SF, one story wood frame addition will be built on an existing concrete slab and foundation, with exterior finishes as indicated on the elevations, and interior finishes the same as the renovated space, as noted above.



Hubert L. ...

WARRANTY DEED

Know all Men by these Presents,

That Eat First, LLC, a limited liability company organized and existing under the laws of the State of Maine, and having a place of business at 53 Deer Hill Avenue, Westbrook, Maine 04092, for consideration paid, grant to:

75 York Street LLC

a limited liability company, organized and existing under the laws of the State of Maine and having a place of business in the City of Portland, in the County of Cumberland, and State of Maine, whose mailing address is: C/O Scott Simons, Architects, 15 Franklin Street, Portland, Maine 04101, with warranty covenants, the land in Portland, County of Cumberland, and State of Maine, described as follows:

A certain lot or parcel of land, together with any buildings and improvements thereon, situated in the City of Portland, County of Cumberland, and State of Maine as set forth in Exhibit A attached hereto and made a part hereof.

In Witness Whereof, the said Eat First, LLC, has caused this instrument to be executed by Eric A. Taylor, its Member thereunto duly authorized this 3rd day of the month of February, 2003.

MAINE REAL ESTATE TAX PAID

Signed, Sealed and Delivered in presence of

[Handwritten signature]

Eat First, LLC

By: [Handwritten signature] Eric A. Taylor Its: Member

State of Maine, County of Cumberland ss.

February 3, 2003

Then personally appeared the above named Eric A. Taylor, Member of said Eat First, LLC and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Eat First, LLC.

Before me,

[Handwritten signature]

Attorney at Law/Notary Public

Printed Name

Donnelly S. Douglas

Donnelly S. Douglas Attorney At Law

EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated on the northwesterly side of York Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning on York Street at the southerly corner of land formerly of J. B. Brown, being about two hundred and seventy (270) feet southwesterly from the westerly corner of York and Maple Streets;

Thence running northwesterly by said Brown land about one hundred and ffity-three (153) feet to land formerly owned by W. P. I. Baker;

Thence southwesterly by line of said Baker land and land formerly owned by J. Simonton, seventy-five (75) feet, more or less, to land owned by the heirs of J. K. King;

Thence southeast by line of said J. K. King land sixty-five (65) feet, more or less, to a stake;

Thence southeast by south and by line of said King heirs and by line of land formerly owned by Katherine Cleary one hundred and fifteen (115) feet, more or less, to York Street;

Thence northeast along the line of said York Street sixty-three (63) feet, more or less, to the point of beginning.

Containing 11,738 square feet, more or less.

Being the same premises conveyed to Eat First, LLC by warranty deed from Eric A. Taylor and Mary Jo Taylor dated March 8, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14624, Page 92.

Received
Recorded Register of Deeds
Feb 04, 2003 02:46:15P
Cumberland County
John B. O'Brien



Incorporated 1866 • Member FDIC
www.norwaysavingsbank.com

November 27, 2002 (Revised 12/19/02)

COPY

Mr. Paul B. Becker, P.E., Becker Structural Engineers, Inc.
Mr. Scott R. Simons, Scott Simons Architects
19 Commercial Street
Portland, ME 04101-4701

Re: 75 York Street, Portland, Maine

Dear Paul and Scott:

This letter, when properly signed and accepted, will constitute an agreement between Norway Savings Bank (the "Bank") which agrees to lend, and an entity to be determined prior to closing (the "Borrower") who agrees to borrow in accordance with the following terms and conditions:

- BORROWER:** LLC to be determined prior to closing, satisfactory to Bank.
- LOAN AMOUNT AND TYPE:** \$720,000.00 commercial mortgage; however, advances shall not exceed the lesser of 80% of project cost or "*as complete*" appraised value.
- PURPOSE:** Finance acquisition and renovation of 75 York Street, Portland, Maine.
- TIMING OF REPAYMENT:** Six-month renovation phase with interest billed monthly. Upon completion of renovation phase, principal and interest billed monthly based on a fifteen-year amortization schedule.
- MATURITY:** Up to fifteen years and six months from the date of closing.
- INTEREST RATE:** Wall Street Journal Prime as it may vary; however, for the initial five years and six months the interest rate shall neither fall below 4.25% nor rise above 8.5%. Thereafter, Wall Street Journal Prime as it may vary through loan maturity. *Wall Street Journal Prime is 4.25% currently.*
- COMMITMENT FEE:** Not Applicable
- GUARANTORS:** Unlimited, joint and several personal guarantees of Paul B. Becker and Scott R. Simons for the first 2 years, after which the personal guarantees will be subject to the following covenant. If the debt service coverage

ratio exceeds 1.2:1 (as defined below) then the personal guarantees will not apply. If, however, the debt service coverage ratio falls below 1.2:1 then the personal guarantees will be in full force and effect.

COLLATERAL: Valid first mortgage on 75 York Street, Portland, Maine, a first assignment of leases and rents emanating therefrom, and a first security interest in any fixtures related thereto.

**PREPAYMENT
PENALTY:**

The Borrower may, **without penalty**, remit accelerated principal payments or satisfy a mortgage in cash resulting from the sale of the underlying property; **however**, the following prepayment penalties are due the Bank if a loan is refinanced during the initial five years: 5% of the principal balance during the first year, 4% during the second year, 3% during the third year, 2% during the fourth year, and 1% during the fifth year. Despite the above, borrowers may convert to the "then current" fixed rate option being offered by Bank without experiencing a prepayment penalty.

ENVIRONMENTAL

INSPECTION: *Prior to closing*, the Borrower shall provide Bank with a Phase 1 Environmental Audit to determine if any further environmental investigation is warranted at Bank's sole discretion.

INSURANCE: Borrower shall maintain such insurance in form and amount as deemed acceptable to Bank.

**FINANCIAL
REPORTING:**

Borrower and Guarantors shall submit a detailed rent roll, federal income tax returns, and other financial information in scope and frequency acceptable to Bank, but annually at a minimum.

**OTHER
CONDITIONS:**

Borrower shall maintain a minimum debt service coverage ratio of 1:1 as tested on an annual basis. The debt service coverage ratio shall be defined as net income after taxes **plus** depreciation, amortization, and interest expense **less** dividends and distributions to shareholders **divided by** the CPLTD of the prior period plus interest expense.

Prior to closing, Borrower shall evidence **either** (1) leases with Becker Structural Engineers, Inc. and Scott Simons Architects with a minimum duration of five years at \$11.00 PSF and satisfactory to Bank in all other respects **or** (2) the willingness of Becker Structural Engineers, Inc. and Scott Simons Architects to provide their corporate guarantees at closing.

Prior to closing, Bank shall engage an independent real estate appraiser to

conduct an "as complete" commercial real estate appraisal of 75 York Street, Portland, Maine in order to confirm a maximum loan-to-value ratio of eighty percent (80%).

Prior to closing, the Borrower shall provide to the Bank a mortgagee's Title Insurance Policy, with the Survey Exception deleted, on the proposed mortgaged property and satisfactory to the Bank in all other respects.

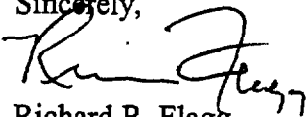
All costs incurred by the Bank in conjunction with preparing to close the subject loan are the sole responsibility of the Borrower and/or Guarantors whether or not the subject loan closes capped at \$5,000. If, however, the Bank deems it necessary to employ counsel to create/review any changes requested by Borrowers (or their counsel) to internally prepared loan documentation those costs will be borne by the Borrowers.

Primary operating deposit account(s) of the Borrower shall be maintained with the Bank with the various deposit/loan accounts of the guarantors to be moved at their discretion.

Other terms and conditions as may be deemed necessary by the Bank and/or its legal counsel.

If the above terms and conditions are acceptable to you, please indicate your approval by signing below and returning the original letter to me. This commitment shall expire on December 20, 2002 unless previously accepted by the Borrower. If accepted by the Borrower, the associated loan must close no later than January 31, 2003 unless extended, in writing, by the Bank.

Sincerely,



Richard R. Flagg
Vice President

SEEN AND AGREED:

Borrower: _____

By:
Its:

_____ Date

Becker & Simons

11/27/02

Page 4 of 4

Guarantors:

Paul B. Becker, Individually

Date

Scott R. Simons, Individually

Date

03-0390

All Purpose Building Permit Application

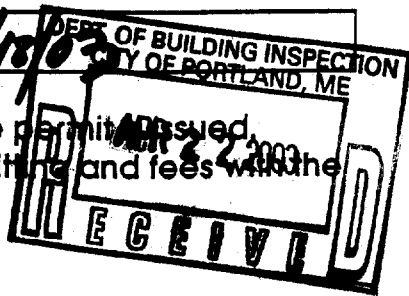
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 75 York Street, Portland, ME		
Total Square Footage of Proposed Structure 87,000 7,680 EXIST. + 450 NEW	Square Footage of Lot 11,738 SQ. FT.	
Tax Assessor's Chart, Block & Lot Chart# 40 Block# C Lot# 26	Owner: 75 YORK STREET LLC c/o SCOTT SIMONS ARCHITECTS	Telephone: 772-4656
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: SCOTT SIMONS ARCH. 15 FRANKLIN STREET APT. PORTLAND, ME 04101 772-4656	Cost Of Work: \$ 400,000 Fee: \$ 2,823.00
Current use: Vacant / Wholesale - mixed commercial		
If the location is currently vacant, what was prior use: Restaurant Supply		owe 75.00
Approximately how long has it been vacant: Four (4) weeks		
Proposed use: Office space Change of Use		
Project description: Renovate to office space. All new systems. Modify exterior.		
Contractor's name, address & telephone: Benchmark Property Services, Who should we contact when the permit is ready: Dave O'Connell, GM Mailing address: 650 Main Street, South Portland, ME 04106		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 874-2963 or 772-4656		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: 04/18/09
--	----------------



This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Scott Simons Architects

15 Franklin St. Art
Portland, ME 04101-4169

(207) 772-4656
(207) 828-4656 FAX
scott@simonsarchitects.com

MEMORANDUM

Date: June 12, 2003
Project name/number: 75 York Street, LLC, SSA #02034.00
Re: Building Permit Questions
From: Stephen Fraser
To: Mike Nugent, City of Portland Building Department
Cc: Scott Simons, Paul Becker, Dave O'Connell, Jobfile 3.1

The following are responses to questions in your May 13th fax memo.

- 1) Leased spaces will be Office Spaces.
- 2) Section 1825.5 states guards are only required if within 2 feet of a walk or drive. The retaining wall is more than 2 feet from the neighboring driveway. In addition this driveway is separated above by the traffic guard rail on the adjacent lot. According to BOCA a guard at the top of the retaining wall is not required.
- 3) A full size set of plans was provided with the original application. I have provided you with an additional set with site revisions mandated by the planning board.
- 4) We do not have any guard rails.
- 5) The roof loads are calculated under BOCA 1999 flat roof section. The roof loading information appears on drawings S-1
- 6) This is a communicating stair and not an exit stair. We are only required to protect the vertical opening. We have chosen to do this by rating the walls at the top of the stair. Only one exit is required from each space.
- 7) Again Section 1825.5 states an exception to guards. By installing a pipe rail it keeps pedestrians 2'-0" away from the edge. If you would like, we would be willing to add an additional intermediate horizontal bar @ 18" to prevent children from running under. We have used this detail before and believe it is acceptable under BOCA.

Please respond with any comments as soon as promptly as it is critical that we receive a building permit as soon as possible. Thank you.

389 Congress St.Rm 315
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

facsimile transmission

To: Scott Simons From: Mike Nugent

Fax: 828-4656 Date: May 13, 2003

Phone: 772-4656 Pages: 1

Re: 75 York St. (040 C026)

Urgent For Review Please Comment Please Reply Please Recycle

I have started the review of the above project and have questions:

- 1) What are the potential uses for lease spaces?
- 2) Retaining wall will require a Guard (see Section 1825. 1999 BOCA Code)
- 3) A full size set of plans must be provided, the 11" x 17" are for archiving purposes.
- 4) All proposed guards must be 42 inches in height with openings less than 4 inches.
- 5) Roof loading must be calculated in accordance with Section 7.3 of ASCE 7 (Section 1608.3)
- 6) Stairways appear to have inconsistent ratings (less than 1 hour) if you use Wall type "B" on page A.100
- 7) Pipe Rail must have code compliant balusters.



.....



Scott Simons Architects

15 Franklin St. Art
Portland, ME 04101-4169

(207) 772-4656
(207) 828-4656 FAX
scott@simonsarchitects.com

MEMORANDUM

Date: April 18, 2003
Project name/number: 75 York Street, LLC, SSA #02034.00
Re: Building Permit Narrative
From: Scott Simons
To: City of Portland Building Department
Cc: Paul Becker, Dave O'Conner, Jobfile 3.1

NARRATIVE

75 York Street LLC is proposing to renovate the existing building at 75 York Street, Portland, ME to provide professional office spaces for Scott Simons Architects and Becker Structural Engineers. The renovations do not require a change of use, nor do they require a Site Plan Application (see #2 below). The key elements of the renovations are as follows:

1. Renovations to the Existing Building

The existing two-story, 7,680 SF concrete block (CMU) bearing wall and wood frame building will be completely renovated, including:

- a. structural reinforcing of the wood floor and roof framing, to bring the building up to current structural codes and standards
- b. new exterior aluminum frame windows and steel doors
- c. new EPDM roofing and rigid roof insulation
- d. repairs and repainting of existing wood soffits and fascias
- e. repointing and repainting of existing CMU walls
- f. new interior drywall partitions, electrical power and lighting, wood shelving, carpet and VCT flooring, acoustical tile ceilings on the ground floor (open ceilings to wood structure above on the first floor), etc.

2. Addition to the Existing Building

- a. the existing 80 SF, one-story wood frame addition will be removed
- b. a new 450 SF, one story wood frame addition will be built on an existing concrete slab and foundation, with exterior finishes as indicated on the elevations, and interior finishes the same as the renovated space, as noted above.

3. Site Development

- a. existing parking lot to remain. Shim and topcoat with 1" bituminous paving
- b. remove approx. 550 SF of existing paving, to create landscaped area at northwest corner of site. Remove 80 SF concrete slab along north edge of existing building
- c. install new concrete retaining wall along western edge of property, as shown on the site plan. Height varies with height of adjacent property. Remove existing sloped rip-rap in same area.
- d. install landscaping, dumpster screen, etc, as shown on the site plan

TEMPORARY & PERMANENT EROSION CONTROL CONSTRUCTION PHASE

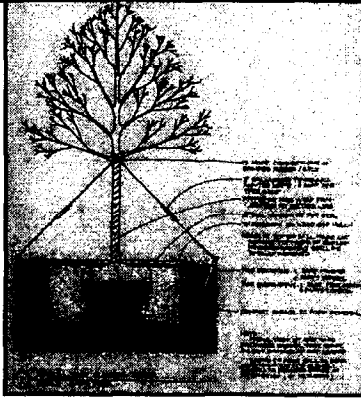
1. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EROSION CONTROL MEASURES THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.

GENERAL SITE PLAN NOTES:

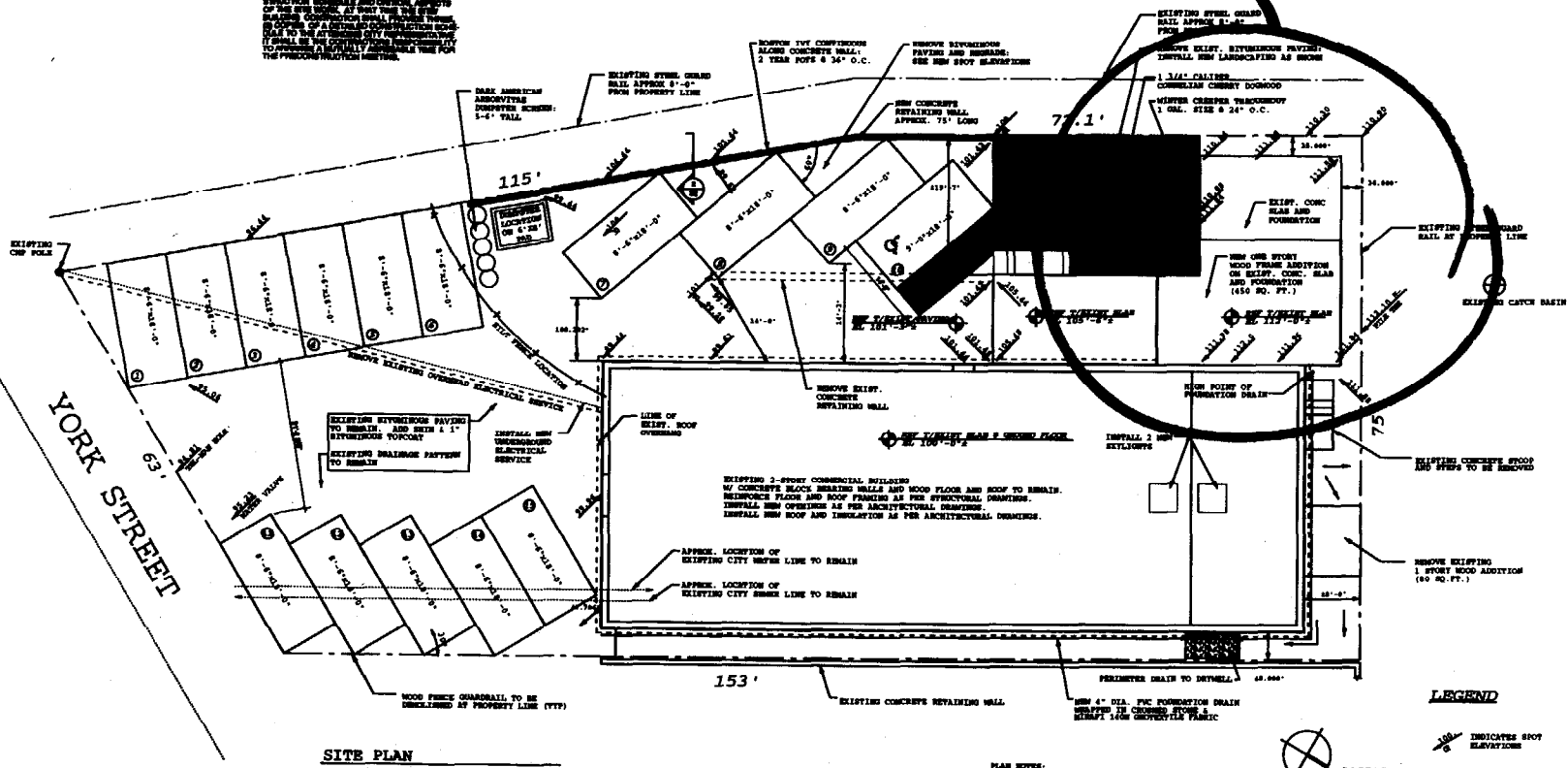
4. ALL STREET INTERSECTIONS TO CONFORM TO CITY OF PORTLAND STANDARDS.
5. LANDSCAPING SHALL MEET THE "ARBORESCULE PLANTING STANDARDS OF THE CITY OF PORTLAND" AND THE "LANDSCAPING STANDARDS OF THE CITY OF PORTLAND".
6. THE EXISTING SITE SHALL BE DEVELOPED AND ADAPTED TO THE USE OF THE PROJECT. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY CHANGES TO UTILITIES SHALL BE APPROVED BY THE CITY OF PORTLAND.
7. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
11. PRIOR TO CONSTRUCTION A PROFESSIONAL ENGINEER SHALL PREPARE A PERMANENT EROSION CONTROL PLAN THAT SHALL BE APPROVED BY THE CITY OF PORTLAND.

PERMANENT FILTER BARRIER INSTALLATION

1. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EROSION CONTROL MEASURES THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT PERIOD IN THE AREA OF THE CONSTRUCTION.



SEE ENLARGED PLAN



SITE PLAN

PLAN NOTES:
1. GRADING SHALL MAINTAIN SLOPE AWAY FROM BUILDING EXCEPT WHERE NOTED.



PROJECT NORTH

LEGEND

- INDICATES SPOT ELEVATION
- INDICATES SLOPE FOR BUILDING

ZONING ORDINANCE
 ZONE: B-3; COMMERCIAL BUSINESS
 USE: PROFESSIONAL OFFICES
 SETBACKS: NONE
 MIN. LOT SIZE: NONE
 MIN. STREET FRONTAGE: 15 FEET
 ACTUAL STREET FRONTAGE: 63 FEET
 MIN. BUILDING HEIGHT: EXISTING/ N/A
 MAX. BLDG HEIGHT: EXISTING/ 14 FEET
 PARKING: 1/400 OF OFFICE SPACE
 62,400 SQ/ 40000 = 15 SPACES REQ'D
 15 SPACES PROVIDED ON SITE.



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PROJECT
75 YORK STREET
PROFESSIONAL OFFICES
 75 YORK STREET
 PORTLAND, ME

TITLE
SITE PLAN

STATUS:
CONTRACT DRAWINGS
PERMIT SUBMISSION

DATE: 04/24/2024
SCALE: 1/4" = 1'-0"
PROJECT NO.: 2024-001
DRAWN BY: JAMES
CHECKED BY: JAMES
DWG NO.: S1

*B-3 Zone
 No setback
 Requirements
 No parking req.
 For ch. of use
 Not in historic
 Area*

REMOVE BITUMINOUS
PAVING AND REGRADE:
SEE NEW SPOT ELEVATIONS

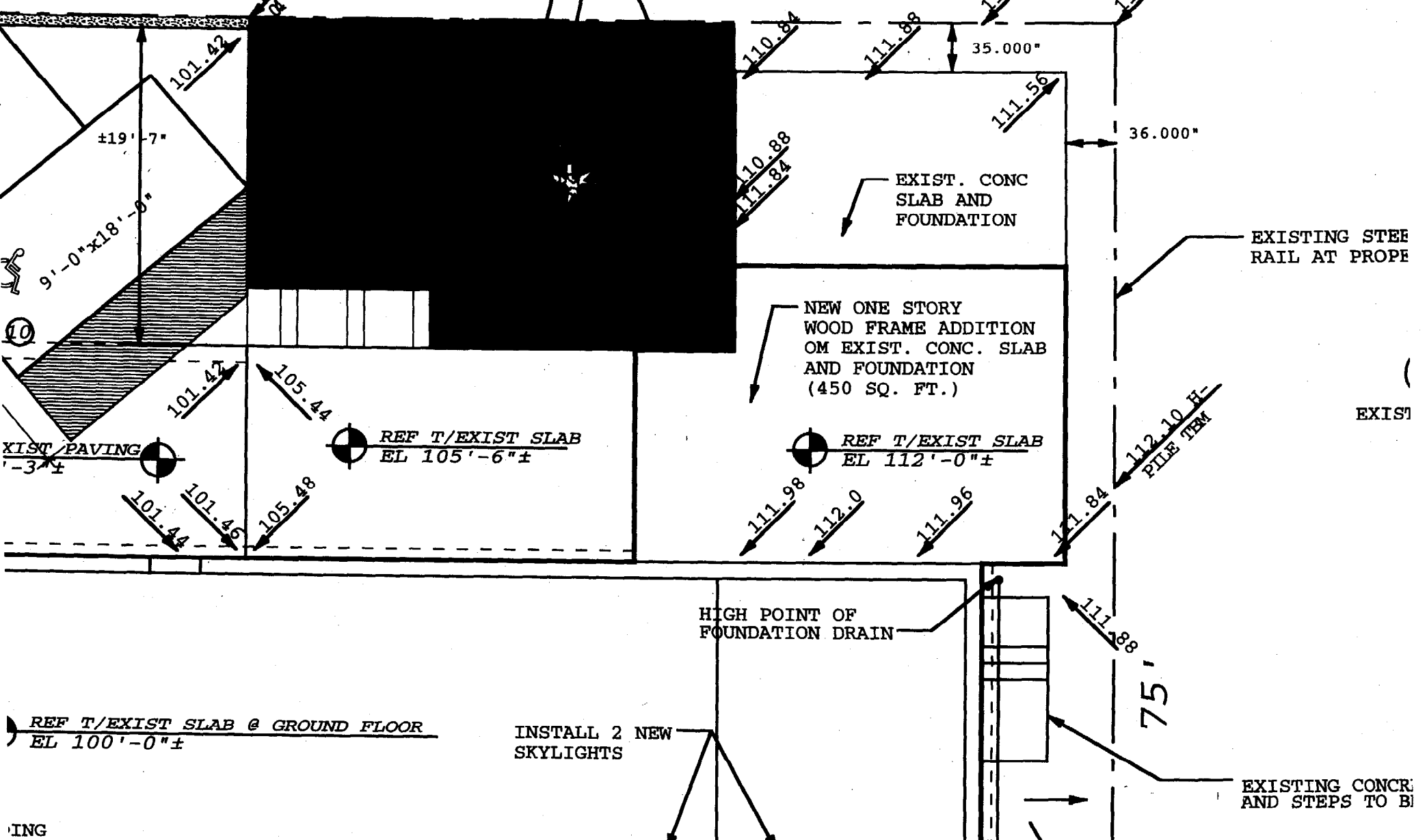
REMOVE EXIST. BITUMINOUS PAVING:
INSTALL NEW LANDSCAPING AS SHOWN

1 3/4" CALIPER
CORNELIAN CHERRY DOGWOOD

WINTER CREEPER THROUGHOUT
1 GAL. SIZE @ 24" O.C.

NEW CONCRETE
RETAINING WALL
APPROX. 75' LONG

72.1'



EXIST. CONC
SLAB AND
FOUNDATION

NEW ONE STORY
WOOD FRAME ADDITION
ON EXIST. CONC. SLAB
AND FOUNDATION
(450 SQ. FT.)

EXISTING STEEL
RAIL AT PROPE

EXIST

HIGH POINT OF
FOUNDATION DRAIN

INSTALL 2 NEW
SKYLIGHTS

EXISTING CONCR
AND STEPS TO BI

ING

TEMPORARY & PERMANENT EROSION CONTROL

CONSTRUCTION PHASE

- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UN-TREATED OR UNVEGETATED CONDITION FOR A MINIMUM OF 14 DAYS FROM THE FINAL GRADING OF LOAM. LOAM WILL BE STOCK PILED FOR FUTURE USE AND PROTECTED FROM EROSION LOSSES BY MULCH AND FILTER FABRIC/ HAY BALE BARRIERS. THE LOCATION OF SUCH STOCKPILES SHALL BE DETERMINED BY THE CITY INSPECTOR AND THE PROJECT ENGINEER AT THE TIME OF THE CONSTRUCTION.
- PRIOR TO CLEARING AND GRUBBING THE SITE, HAY BALES AND FILTER FABRIC WILL BE INSTALLED AND SLOAKED ACCROSS ALL POINTS OF CONCENTRATION AND/OR GRADES IN EXCESS OF 3 PERCENT AND AT THE INLETS OF ALL CATCH BASINS. BARRIERS SHALL FOLLOW LIMITS OF CONSTRUCTION.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED FOR INGRESS AND EGRESS FROM THE PROJECT SITE PRIOR TO CONSTRUCTION.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED BY SEPT. 15TH OF THE YEAR OF CONSTRUCTION THEN ON THAT DATE THESE AREAS WILL BE GRAZED AND SMOOTHED, THEN SEED TO A WINTER COVER CROP OF RYE AT THE RATE OF 112 LBS/ACRE OR 3 LBS. 1,000 SQUARE FEET AND MULCHED AT THE RATE OF 70 LBS/1,000 SQUARE FEET. THE RYE SEEDING WILL PROCEED BY AN APPLICATION OF 3 TONS OF LIME AND 100 LBS. OF 10-10-10 FERTILIZER PER ACRE OR ITS EQUIVALENT. FINAL VEGETATION OF THE SITE SHALL NOT BE CONSIDERED COMPLETE UNTIL EACH DISTURBED AREA NOT TO BE PAVED OR TREATED WITH RIP-RAP HAS A VEGETATIVE COVER OF AT LEAST 60% OF ITS SURFACE.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS. THE DISPOSAL OF POST SEEDING SEDIMENT, IF ANY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TEMPORARY MULCH WILL BE ADDED TO ALL EXPOSED SOIL SURFACES WITHIN SEVEN (7) DAYS OR PRIOR TO ANY STORM EVENT.

VEGETATION PHASE

REVEGETATION MEASURES WILL BEGIN IMMEDIATELY UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED IN PARAGRAPH 4. ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

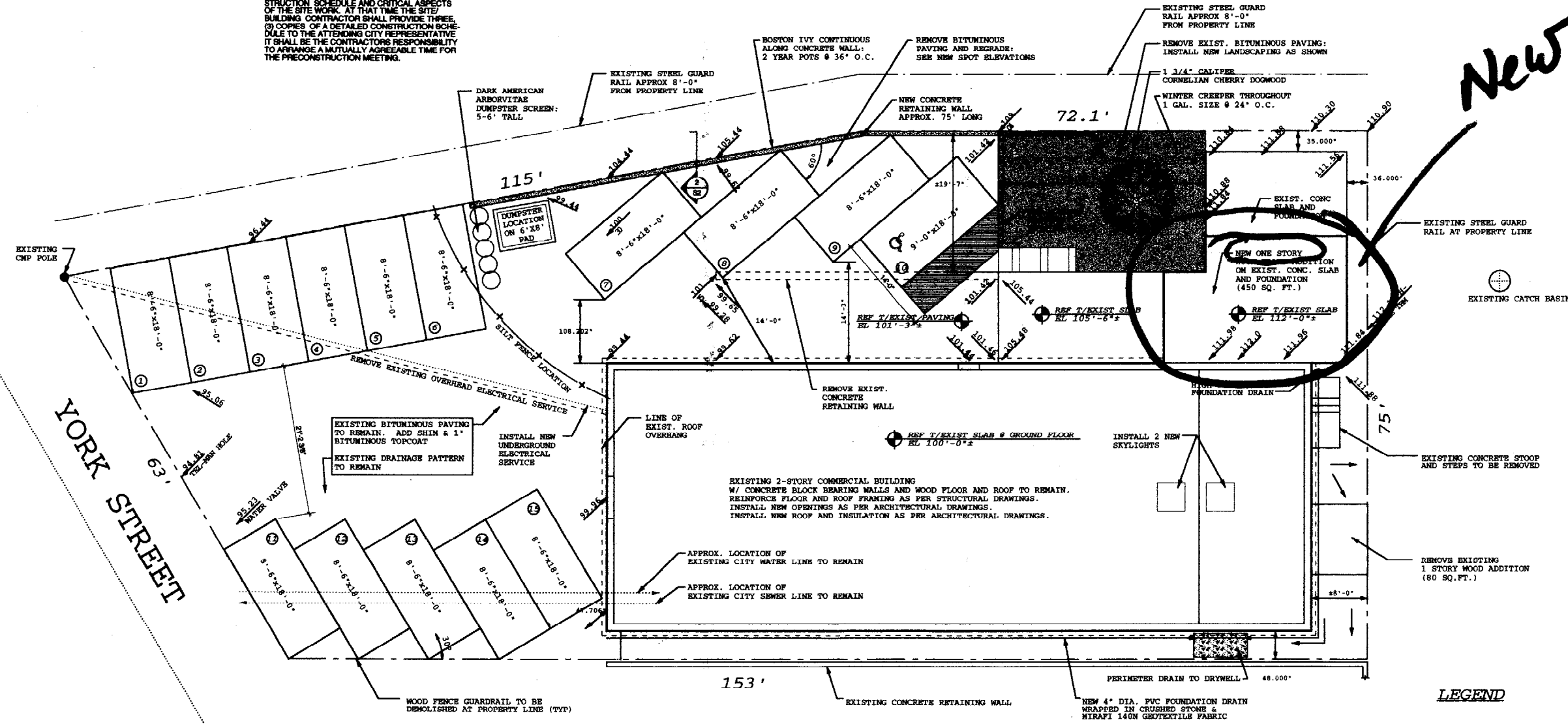
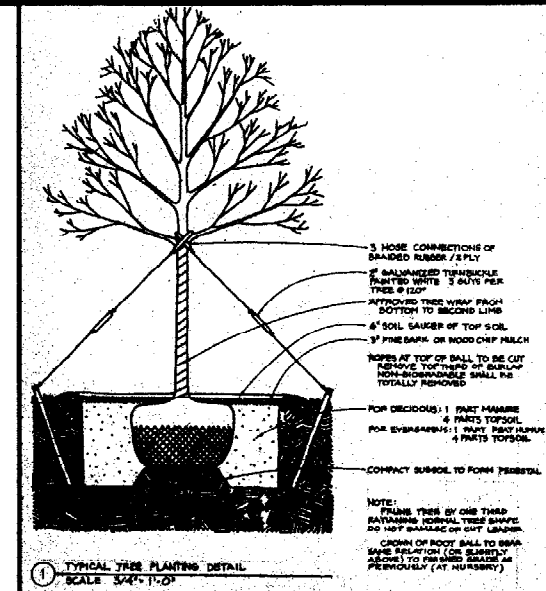
- FOUR INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
- IN LEAU OF SOIL TESTS, AGRICULTURAL LIMESTONE WILL BE SPREAD AT THE RATE OF THREE TONS PER ACRE. 10-20-20 FERTILIZER WILL FOLLOW AT A RATE OF 80 LBS. PER ACRE. THOSE TWO SOIL AMENDMENT WILL BE INCORPORATED IN THE SOIL PRIOR TO THE INSTALLATION OF PLANTINGS.
- FOLLOWING SEED BED PREPARATION, THE LANDSCAPED AREAS SHALL BE PLANTED AS SHOWN ON THE LANDSCAPING PLANS. ALL OTHER AREAS SHALL BE SEED WITH ROADSIDE MIXTURE #3 AS SPECIFIED IN MDOT 717.03.
- ALL HAY BALE BARRIERS WILL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 75% ESTABLISHED AND THEN REMOVED WITH TEN DAYS.

GENERAL SITE PLAN NOTES:

- ALL STREET INTERVENTIONS TO CONFORM TO CITY OF PORTLAND STANDARDS.
- LANDSCAPING SHALL MEET THE 'ARBORICULTURE SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES' OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATION FROM THE APPROVED SITE, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LANDSCAPED AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREA, LOCATION AND SIZE OF BUILDINGS.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CLIMATE AND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION MARCH 1991 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADEING.
- A: DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE)
- PRIOR TO CONSTRUCTION A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

EROSION CONTROL FILTER BARRIER NOT TO SCALE

- INSTALLATION**
- EXCAVATE 8" X 8" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER FABRIC.
 - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 - DRIVE POSTS INTO THE GROUND UNTIL APPROX 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN FABRIC SECTIONS AS SHOWN ABOVE.
 - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
 - BARRIER SHOULD BE MIRAFI SILT FENCE OR EQUAL.



SITE PLAN
1/8" = 1'-0"

PLAN NOTES:
1 GRADING SHALL ACHIEVE SLOPE AWAY FROM BUILDING WHEREVER POSSIBLE



LEGEND

- 100' INDICATES SPOT ELEVATIONS
- INDICATES SLOPE FOR DRAINAGE

ZONING ORDINANCE

ZONR: B-3: DOWNTOWN BUSINESS

USE: PROFESSIONAL OFFICES

SETBACKS: NONE

MIN. LOT SIZE: NONE

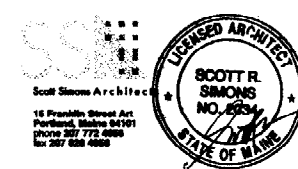
MIN. STREET FRONTAGE: 15 FEET

ACTUAL STREET FRONTAGE: 63 FEET

MIN. BUILDING HEIGHT: EXISTING/ N/A

MAX. BLDG HEIGHT: EXISTING/ 14 FEET

PARKING: 1/400 SF OFFICE SPACE.
61,605 SF/ 400SF = 15 SPACES REQ'D
15 SPACES PROVIDED ON SITE.



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PROJECT:

75 YORK STREET PROFESSIONAL OFFICES

75 YORK STREET
PORTLAND, ME

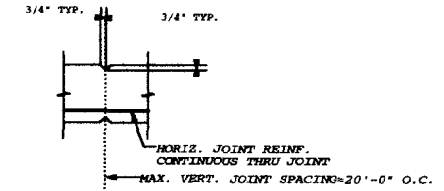
TITLE:

SITE PLAN

STATUS:
CONTRACT DRAWINGS PERMIT SUBMISSION

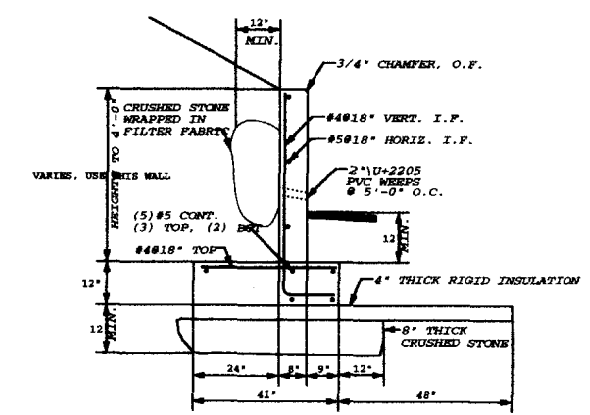
DATE: 04/08/03	REVISION/DATE:
SCALE: 1/8" = 1'-0"	
PROJECT NO: 02534.00	
DRAWN BY: WWS	
DWG NO.:	

S1

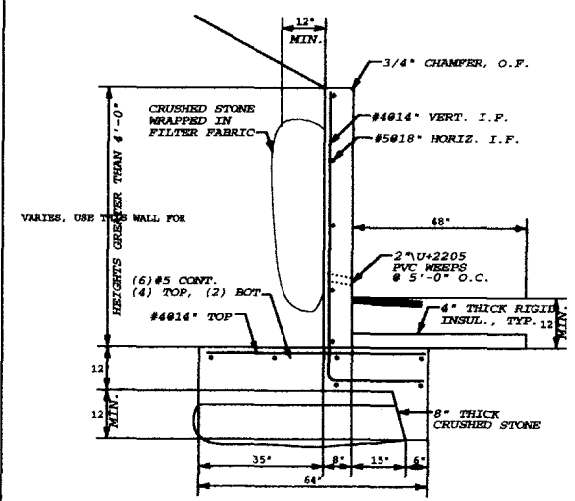


TYP RETAINING WALL CONTROL JOINT 1"=1'-0"

SECTION 3 1"=1'-0"

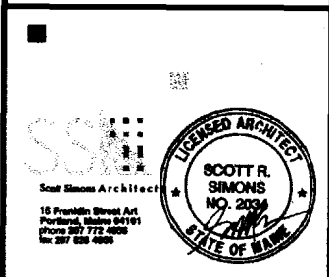


SECTION 2 1/2"=1'-0"



SECTION 1 1/2"=1'-0"

ZONING ORDINANCE
 ZONE: B-3: DOWNTOWN BUSINESS
 USE: PROFESSIONAL OFFICES
 SETBACKS: NONE
 MIN. LOT SIZE: NONE
 MIN. STREET FRONTAGE: 15 FEET
 ACTUAL STREET FRONTAGE: 63 FEET
 MIN. BUILDING HEIGHT: EXISTING/ N/A
 MAX. BLDG HEIGHT: EXISTING/ 14 FEET
 PARKING: 1/400 SF OFFICE SPACE.
 61,605 SF/ 400SF = 16 SPACES REQ'D
 15 SPACES PROVIDED ON SITE.



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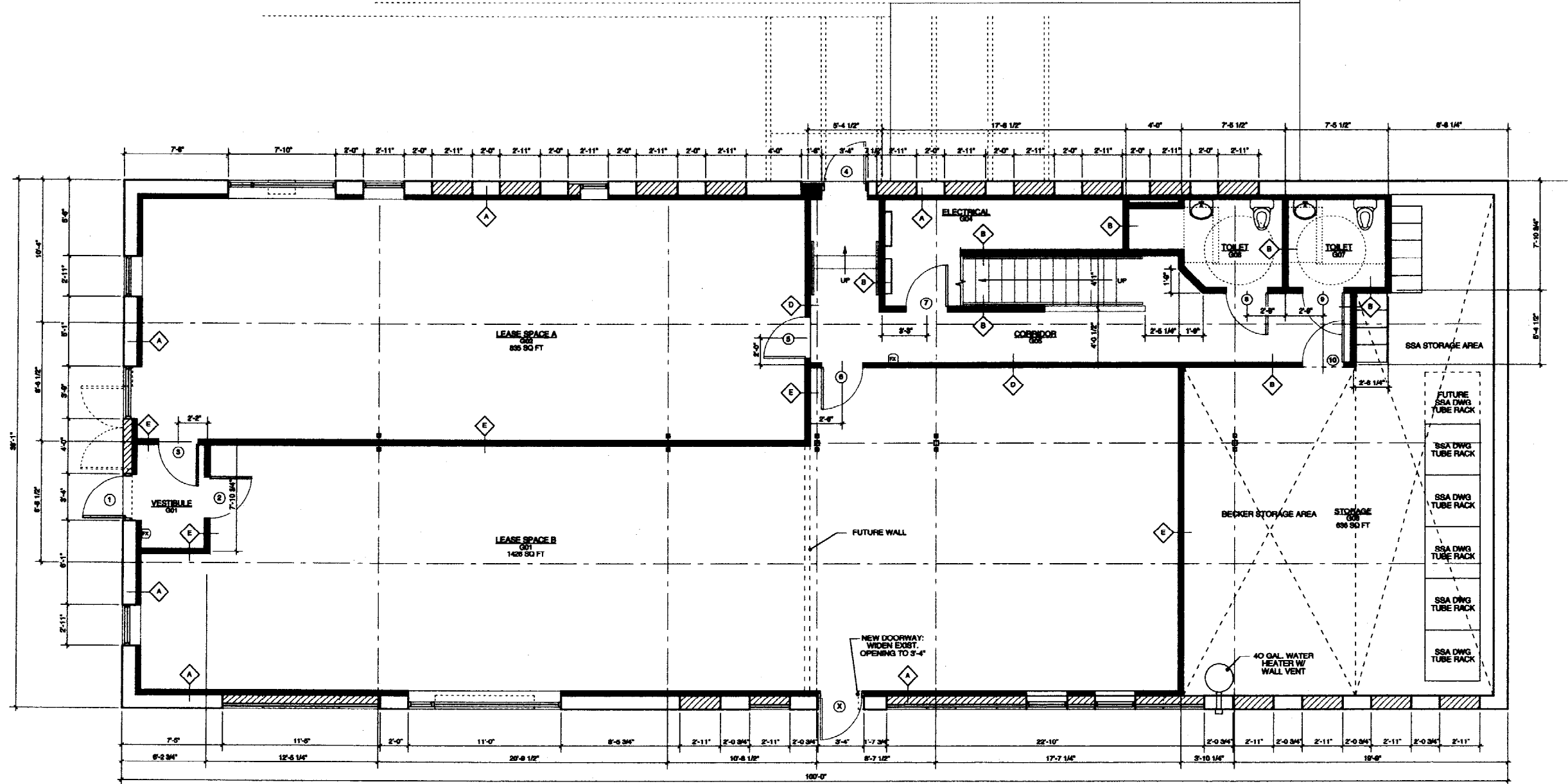
PROJECT
75 YORK STREET PROFESSIONAL OFFICES
 75 YORK STREET
 PORTLAND, ME

TITLE
SITE DETAILS

STATUS
CONTRACT DRAWINGS PERMIT SUBMISSION

DATE: 04.08.03
 SCALE: 1/2" = 1'-0"
 PROJECT NO. 02094.00
 DRAWN BY: WHGG
 2003 © Scott Simons Architects

DWG NO. **S2**



1 GROUND FLOOR PLAN

38 x 100 = 3800

WALL TYPE SCHEDULE

- A EXISTING CMU WALL
TYPAR BUILDING WRAP
2x4 STUDS @ 16" O.C.
3 1/2" BATT INSULATION
POLY VAPOR BARRIER
1/2" PTD. GWB
- B 1/2" PTD. GWB
2x4 STUDS @ 16" O.C.
1/2" PTD. GWB
- C 5/8" PTD. GWB
2x4 STUDS @ 16" O.C.
5/8" PTD. GWB
1 HOUR FIRE UL# 305
- D 1/2" PTD. GWB
2x4 STUDS @ 16" O.C.
3 1/2" SOUND ATT. BATT
1/2" PTD. GWB
- E 5/8" PTD. GWB
2x4 STUDS @ 16" O.C.
SOUND ATT. BATT
5/8" PTD. GWB
1 HOUR FIRE UL# 305

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SCOTT R. SIMONS
NO. 2034
STATE OF MAINE
LICENSED ARCHITECT

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PROJECT
**75 YORK STREET
PROFESSIONAL OFFICES**

75 YORK STREET
PORTLAND, ME

TITLE
**GROUND
FLOOR PLAN**

STATUS:
**CONTRACT DRAWINGS
PERMIT SUBMISSION**

DATE: 04.28.03
SCALE: 1/8" = 1'-0"
PROJECT NO. 02094.00
DRAWN BY: S. FRASER
DWG NO.

REVISION DATE:

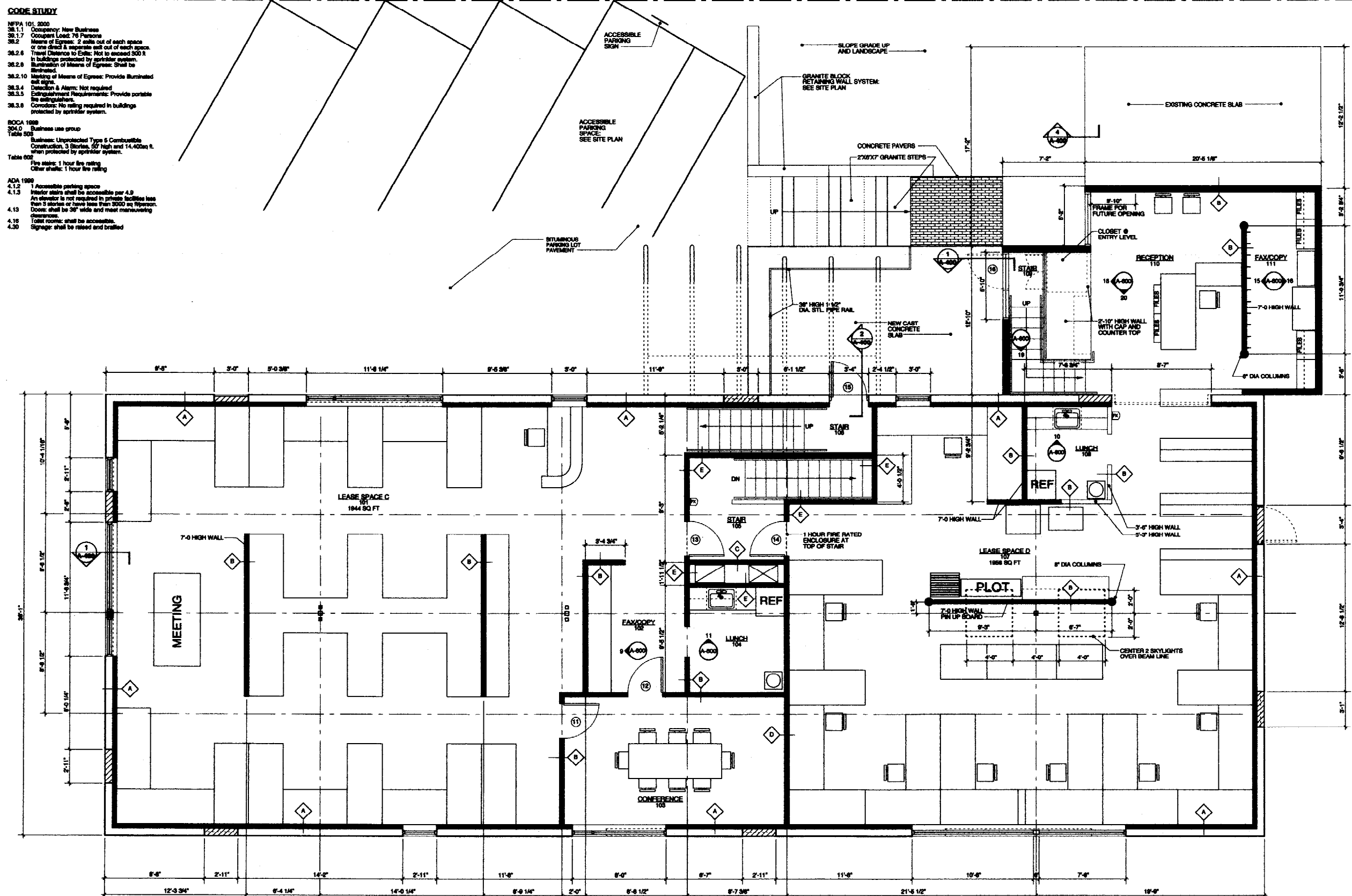
A100

CODE STUDY

NFPA 101, 2000
 38.1.1 Occupancy: New Business
 38.1.7 Occupant Load: 76 Persons
 Means of Egress: 2 exits out of each space or one direct & separate exit out of each space.
 38.2.6 Travel Distance to Exit: Not to exceed 300 ft in buildings protected by sprinkler system.
 38.2.8 Illumination of Means of Egress: Shall be illuminated.
 38.2.10 Marking of Means of Egress: Provide illuminated exit signs.
 38.3.4 Detection & Alarm: Not required.
 38.3.5 Suppression Requirements: Provide portable fire extinguishers.
 38.3.6 Conditions: No racking required in buildings protected by sprinkler system.

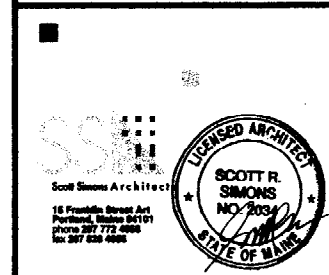
BOCA 103
 304.0 Business use group
 Table 503
 Business: Unrestricted Type 5 Combustible Construction, 3 Stories, 55' high and 14,400 sq ft when protected by sprinkler system.
 Table 602
 Fire alarm: 1 hour fire rating
 Other shafts: 1 hour fire rating

ADA 1991
 4.1.2 Accessible parking spaces
 4.1.3 Accessible route shall be accessible per 4.3
 An elevator is not required in private facilities less than 3 stories or have less than 3000 sq ft.
 4.1.9 Doors: shall be 36" wide and meet maneuvering clearances.
 4.1.10 Tables and counters: shall be accessible.
 4.3.0 Signage: shall be raised and brailled.



WALL TYPE SCHEDULE

A	EXISTING CMU WALL TYPAR BUILDING WRAP 2X4 STUDS @ 16" O.C. 3 1/2" BATT INSULATION POLY VAPOR BARRIER 1/2" PTD. GWB
B	1/2" PTD. GWB 2X4 STUDS @ 16" O.C. 1/2" PTD. GWB
C	5/8" PTD. GWB 2X4 STUDS @ 16" O.C. 5/8" PTD. GWB 1 HOUR FIRE UL# 305
D	1/2" PTD. GWB 2X4 STUDS @ 16" O.C. 3 1/2" SOUND ATT. BATT 1/2" PTD. GWB
E	5/8" PTD. GWB 2X4 STUDS @ 16" O.C. SOUND ATT. BATT 5/8" PTD. GWB 1 HOUR FIRE UL# 305



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PROJECT
**75 YORK STREET
 PROFESSIONAL OFFICES**
 75 YORK STREET
 PORTLAND, ME

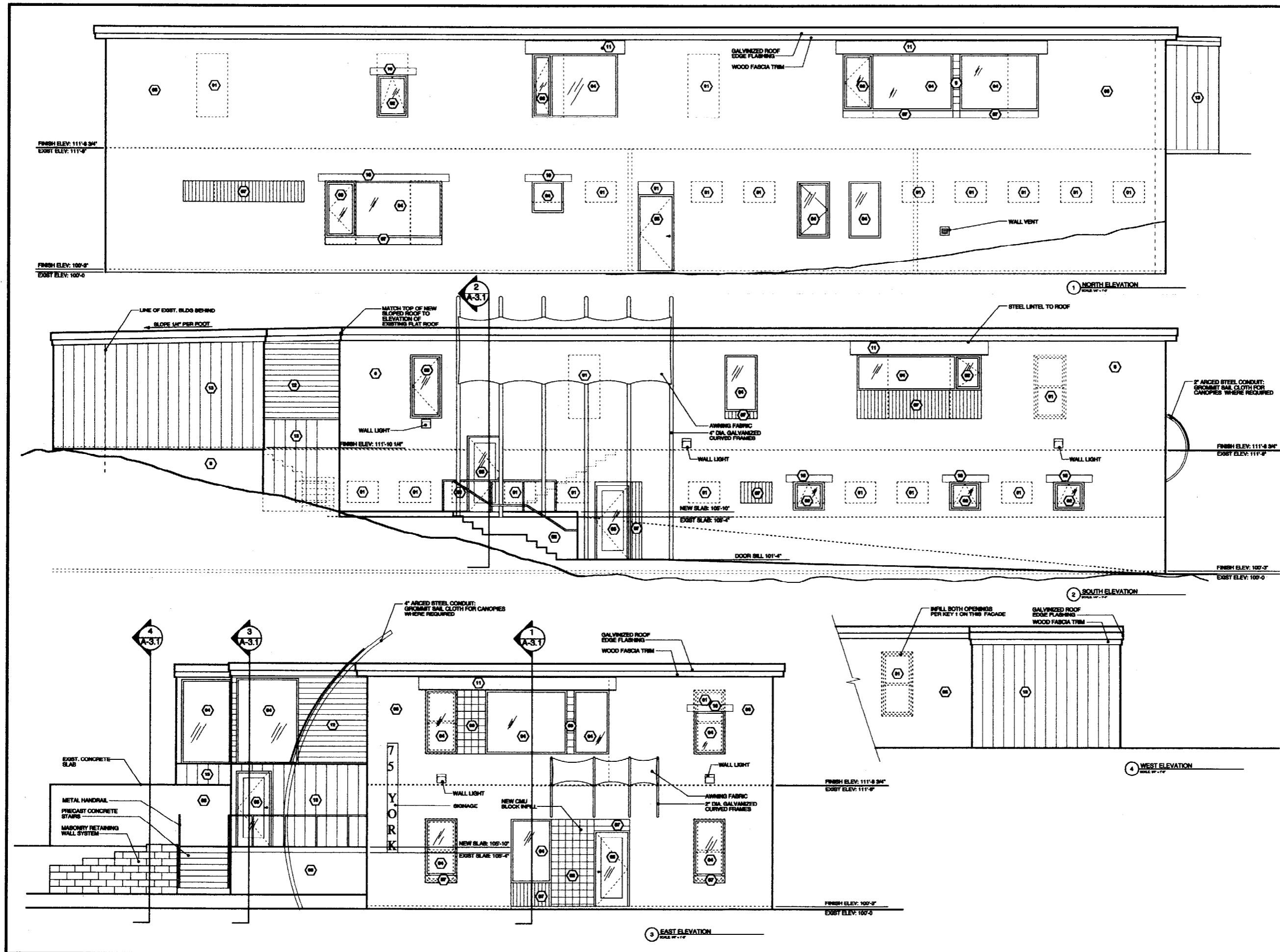
TITLE
**FIRST
 FLOOR PLAN**

STATUS:
**CONTRACT DRAWINGS
 PERMIT SUBMISSION**

DATE: 04.08.03	REVISION/DATE:
SCALE: 1/4" = 1'-0"	
PROJECT NO. 02094.00	
DRAWN BY: S. FRASER	2003 © Scott Simons Architects

DWG NO.
A101

1 FIRST FLOOR PLAN
DATE: 04-08-03



WINDOW AND DOOR KEYED NOTES

- (M) REMOVE EXISTING MULL; REPLACE W TEXTURED BLOCK TO MATCH
- (N) REMOVE SPILL OR CUR; INSTALL ANHANG WINDOW
- (O) REMOVE SPILL OR CUR; INSTALL CASSEMENT WINDOW
- (P) REMOVE SPILL OR CUR; INSTALL CASE WINDOW
- (Q) REMOVE SPILL OR CUR; INSTALL STEEL ENTRY DOOR
- (R) EXISTING DECORATIVE CUR; POINTED & PAINTED
- (S) SPILL OPENING WITH CUR BACKUP AND EXPOSED 1X4 WOOD PANEL
- (T) PAINTED EXPOSED CONCRETE WALL
- (U) SPILL WITH NEW 8 X 8 BOARDS; CONCRETE IMPACT UNITS
- (V) INSTALL NEW PERIMETER CONCRETE LITE
- (W) INSTALL NEW 1\"/>

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SCOTT R. SIMONS
 ARCHITECT
 NO. 2034
 STATE OF MAINE

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PROJECT
75 YORK STREET
PROFESSIONAL OFFICES

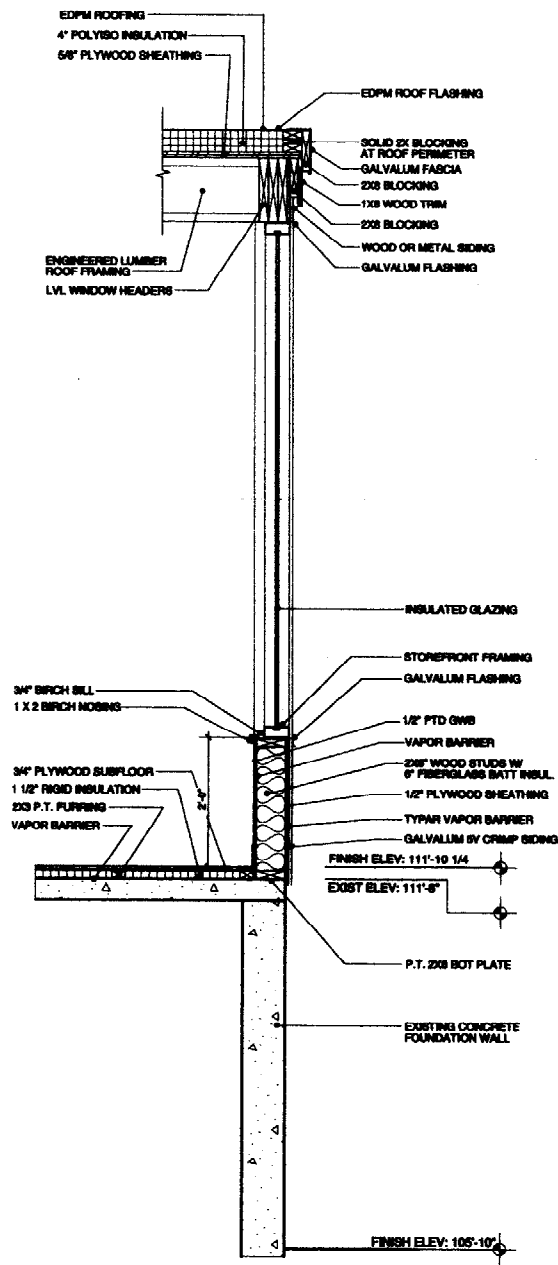
 75 YORK STREET
 PORTLAND, ME

TITLE

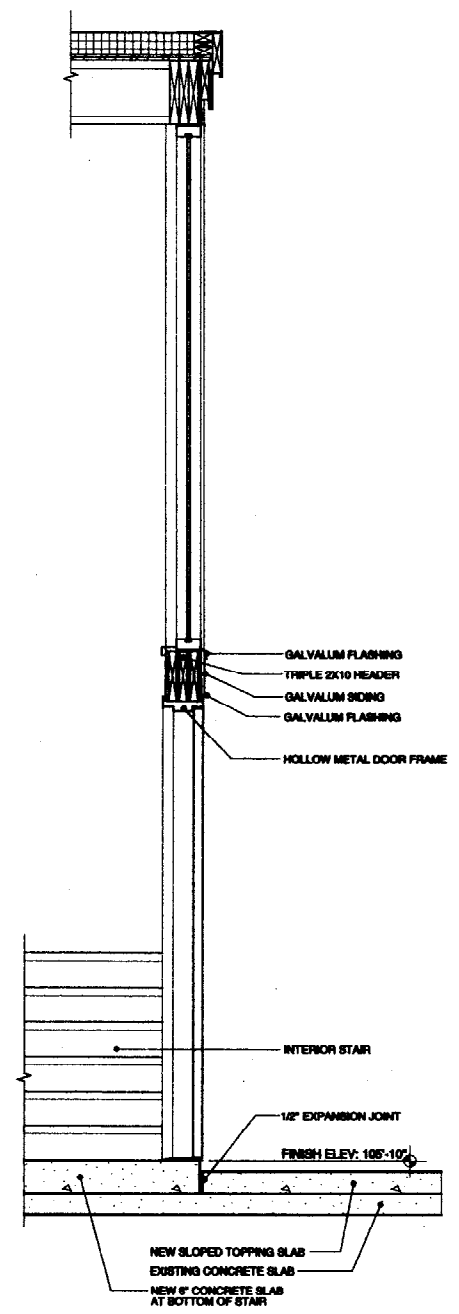
ELEVATIONS

STATUS:
CONTRACT DRAWINGS
PERMIT SUBMISSION

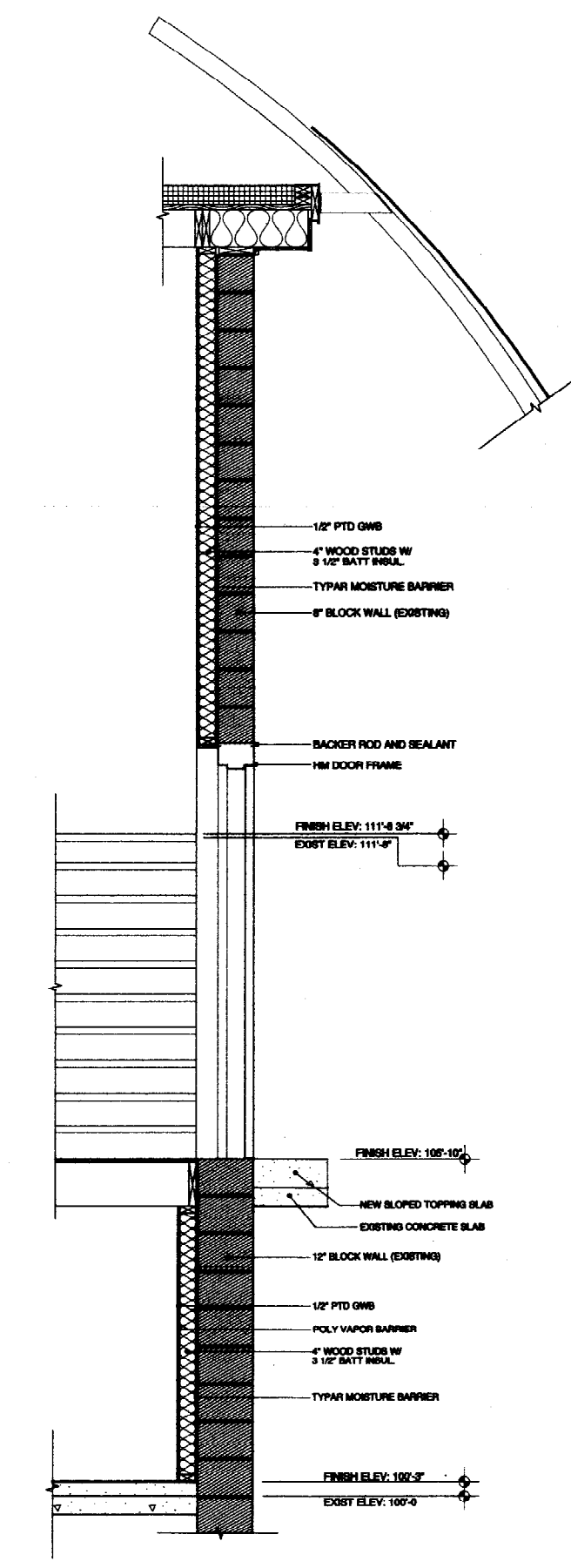
DATE: 04.08.09	REVISION DATE:
SCALE: 1/4" = 1'-0"	
PROJECT NO. 02004.00	
DRAWN BY: S. FRASER	
DWG NO. A200	



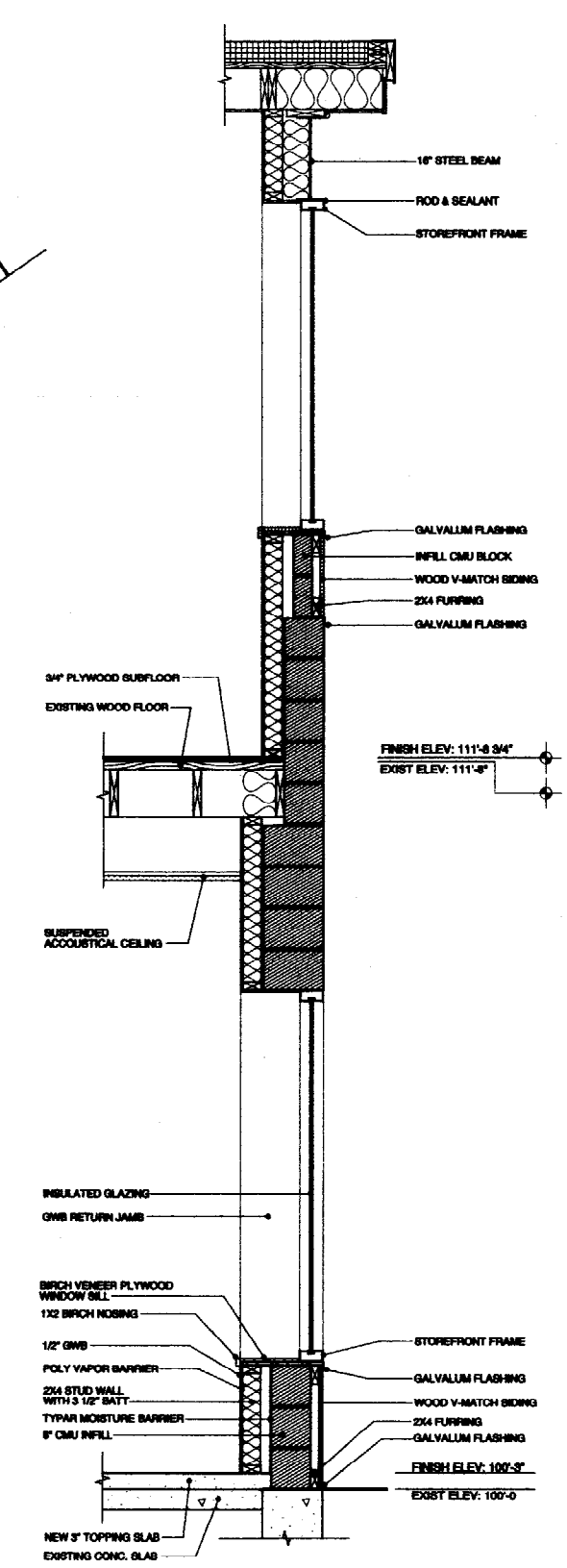
4 WALL SECTION: SSA CONFER.
SCALE: 3/4" = 1'-0"



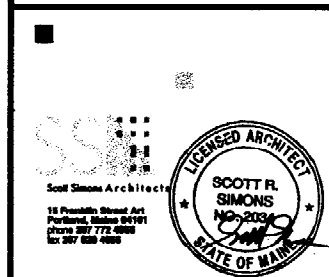
3 WALL SECTION: SSA ENTRY
SCALE: 3/4" = 1'-0"



2 WALL SECTION: BECKER ENTRY
SCALE: 3/4" = 1'-0"



1 WALL SECTION: EAST ENTRY
SCALE: 3/4" = 1'-0"



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PROJECT
**75 YORK STREET
PROFESSIONAL OFFICES**

75 YORK STREET
PORTLAND, ME

TITLE
WALL SECTIONS

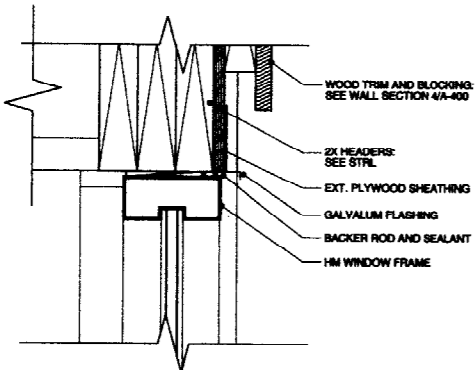
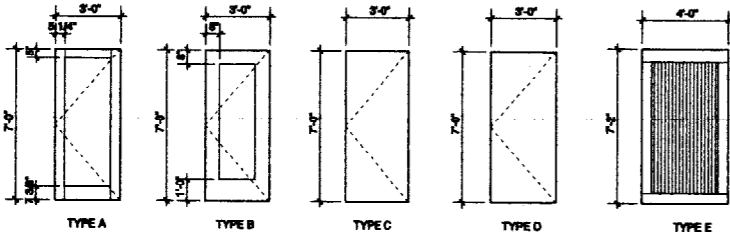
STATUS:
**CONTRACT DRAWINGS
PERMIT SUBMISSION**

DATE: 04.08.08
SCALE: 3/4" = 1'-0"
PROJECT NO. 02094.00
DRAWN BY: S. PRINSEN
DWG NO. **A400**

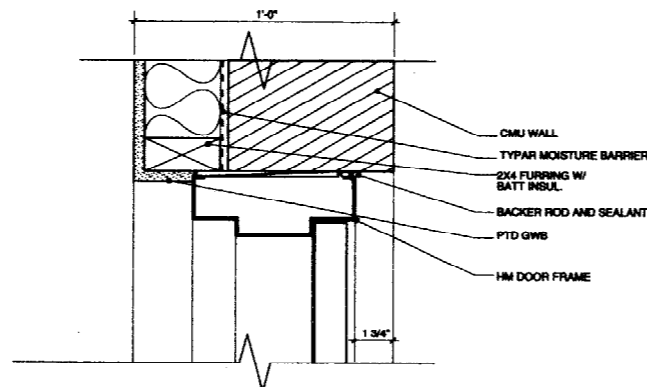
DOOR SCHEDULE

Door No.	Location	Style	Door Width	Door Height	Material	Thickness	Type	Frame Material	Head	Jamb	HW Type	Fire Label	Remarks
GROUND FLOOR													
1	001	Glass Entry	3'-0"	7'-0"	Inset Gl	1 3/4"	A	H.M.	SM 8	SM 8			Exterior w/ ADA Sill
2	001	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	B	H.M.	5/A/800	4/A/800		20 Min.	1/4" Glass/ Door Closer
3	001	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	B	H.M.	5/A/800	4/A/800		20 Min.	1/4" Glass/ Door Closer
4	005	Entry	3'-0"	7'-0"	Inset Gl	1 3/4"	C	H.M.	7	SM 7			1/4" Glass/ Door Closer
5	005	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
6	005	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
7	004	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
8	006	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
9	007	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
10	008	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
FIRST FLOOR													
11	103	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
12	103	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800			
13	105	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800		80 Min.	Door Closer
14	105	Flush Veneer	3'-0"	7'-0"	Solid Core	1 3/4"	D	H.M.	5/A/800	4/A/800		80 Min.	Door Closer
15	106	Glass Entry	3'-0"	7'-0"	Inset Gl	1 3/4"	A	H.M.	7	SM 7			Exterior
16	106	Glass Entry	3'-0"	7'-0"	Inset Gl	1 3/4"	A	H.M.	4	SM 4			Exterior
17	112	Sliding Barn	4'-0"	7'-2"	Wood	1 1/2"	E	Wood					Barn Door Hardware

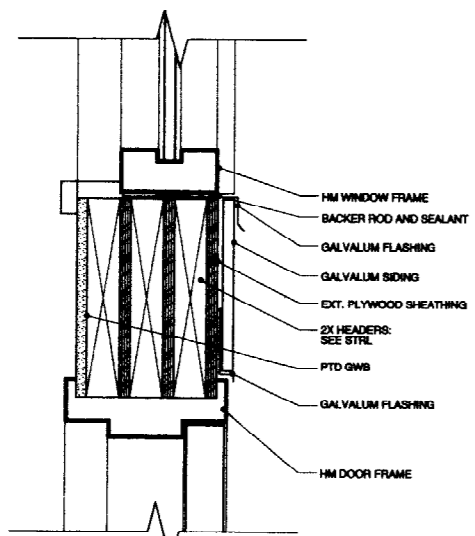
ALL HARDWARE SHALL BE ADA LEVER TYPE.



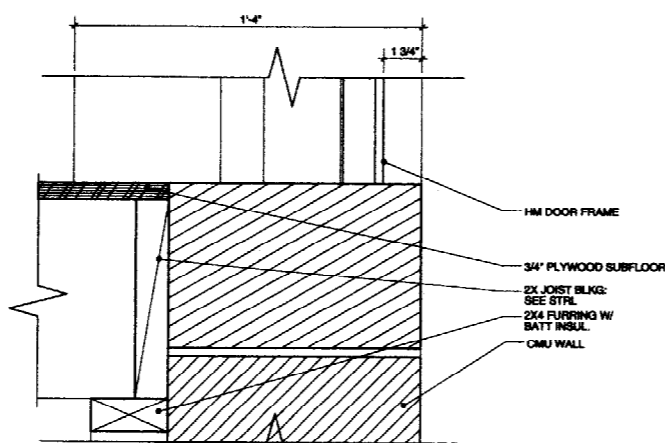
8 HEAD DETAIL @ STUD WALL
SCALE: 3" = 1'-0"



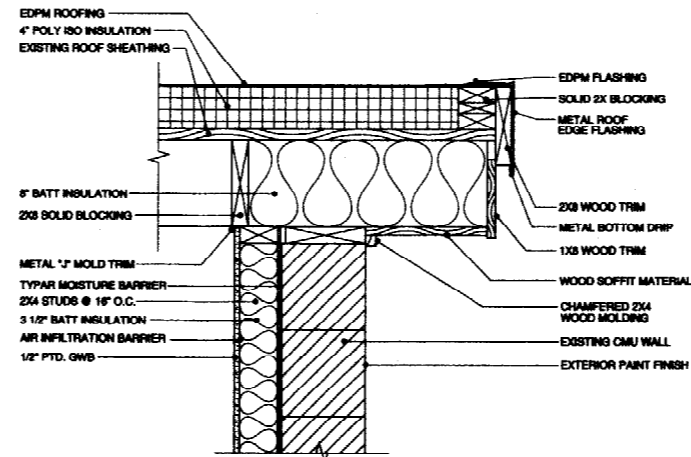
7 DOOR SILL @ MASONRY WALL
SCALE: 3" = 1'-0"



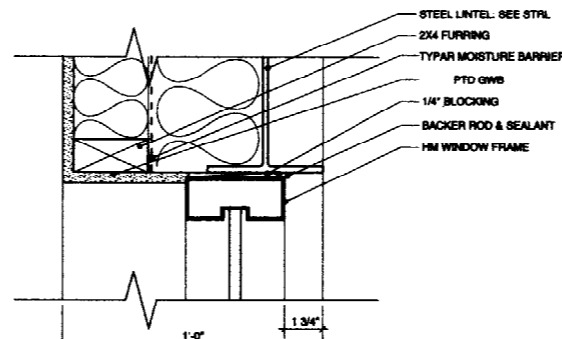
4 SILL DETAIL @ STUD WALL
SCALE: 3" = 1'-0"



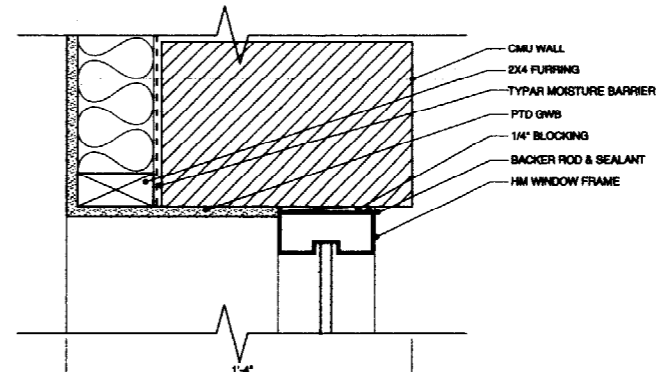
3 DOOR SILL @ MASONRY WALL
SCALE: 3" = 1'-0"



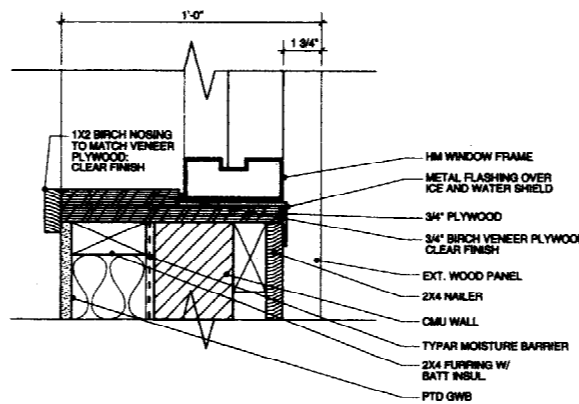
11 EAVE DETAIL @ CMU WALL
SCALE: 3" = 1'-0"



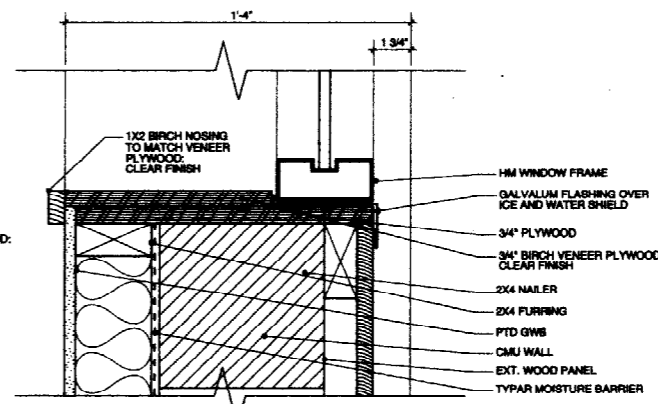
10 HEAD DETAIL @ 8" MASONRY WALL
SCALE: 3" = 1'-0"



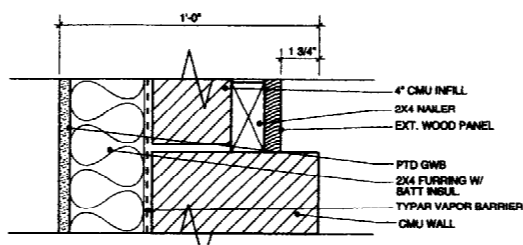
9 HEAD DETAIL @ 12" MASONRY WALL
SCALE: 3" = 1'-0"



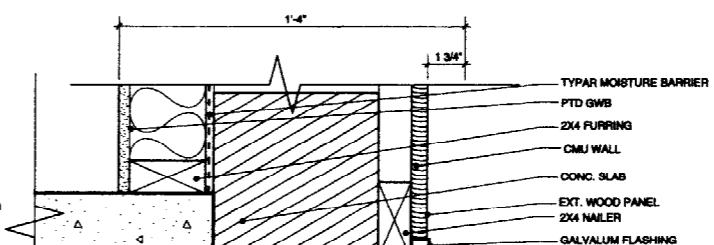
6 SILL DETAIL @ 8" MASONRY WALL
SCALE: 3" = 1'-0"



5 SILL DETAIL @ 12" MASONRY WALL
SCALE: 3" = 1'-0"



2 SILL DETAIL @ 8" MASONRY WALL
SCALE: 3" = 1'-0"



1 WOOD PANEL @ SLAB
SCALE: 3" = 1'-0"

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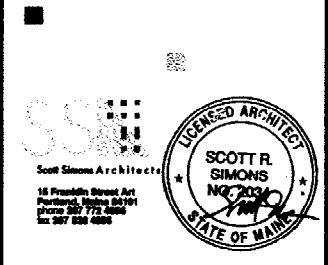
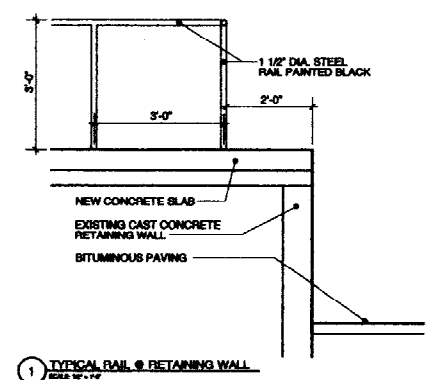
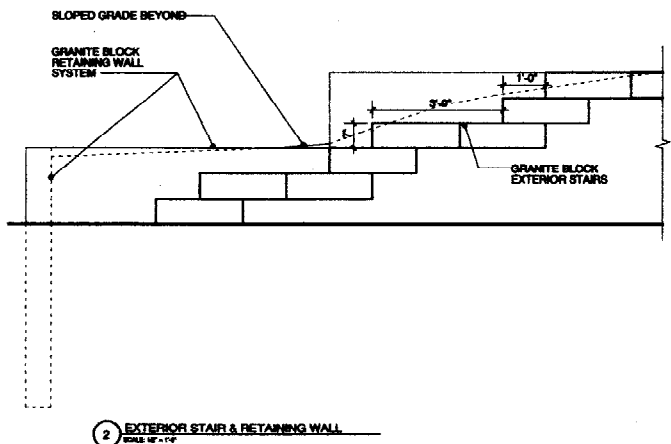
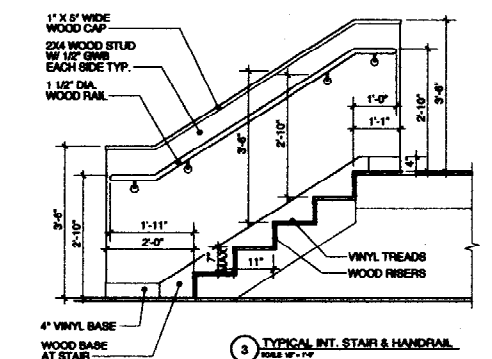
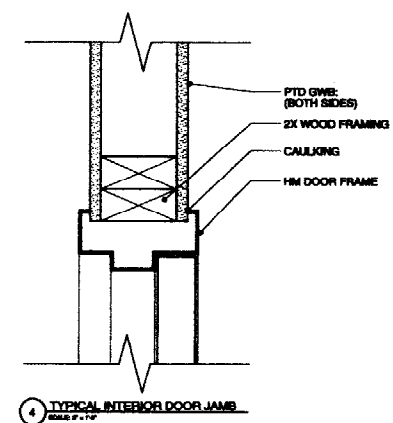
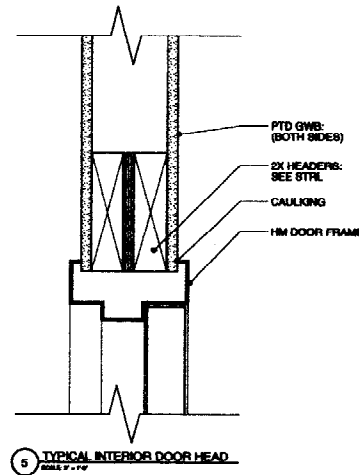
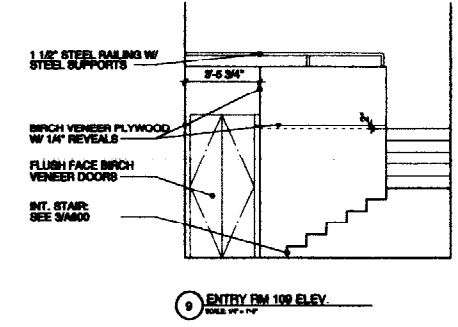
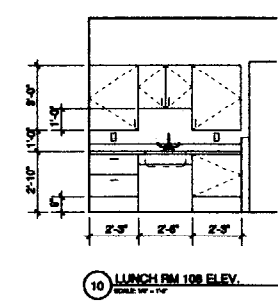
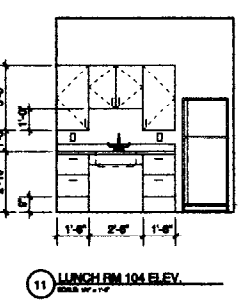
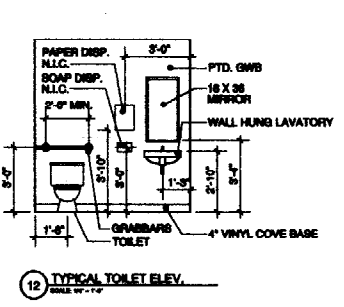
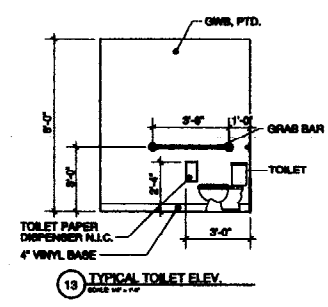
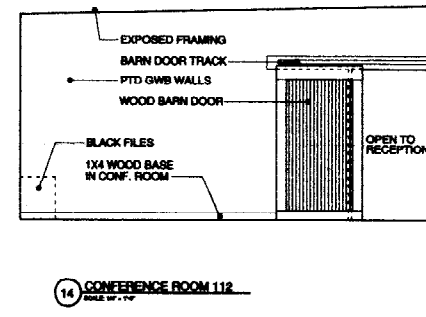
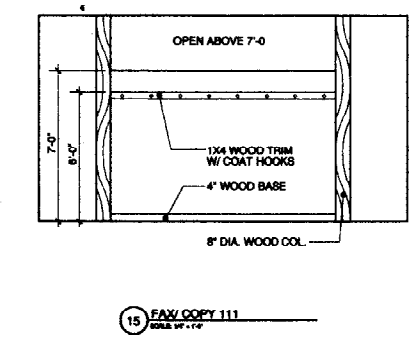
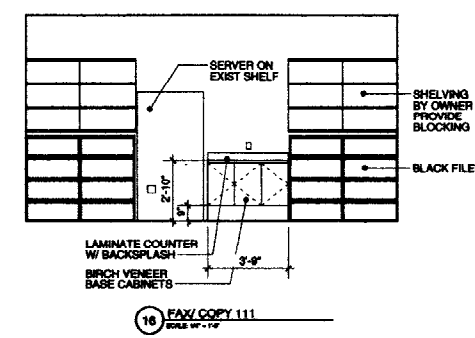
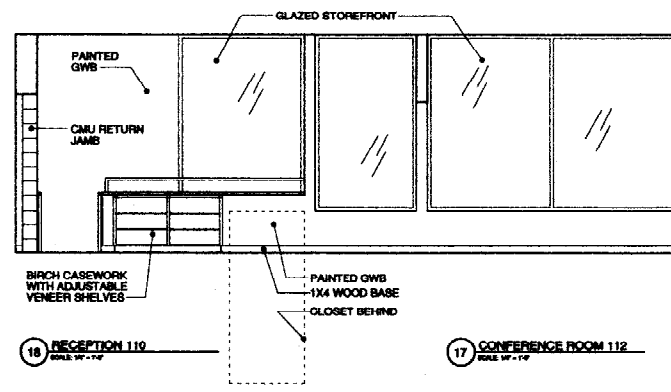
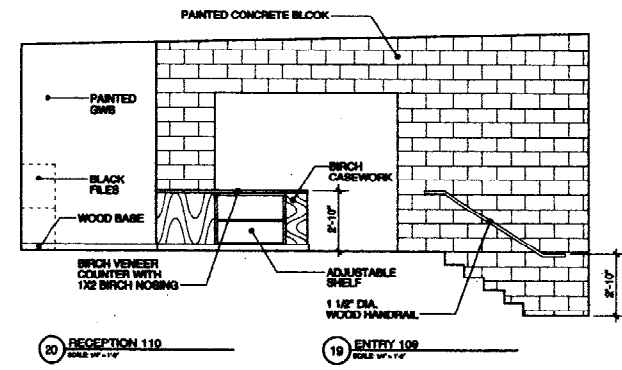
75 YORK STREET
PORTLAND, ME

TITLE
WALL SECTION DETAIL AND SCHEDULES

STATUS:
CONTRACT DRAWINGS PERMIT SUBMISSION

DATE: 04.08.03	REVISION/DATE:
SCALE: AS NOTED	
PROJECT NO. 0304.00	
DRAWN BY: WHS/SP	
DWG NO.	A500

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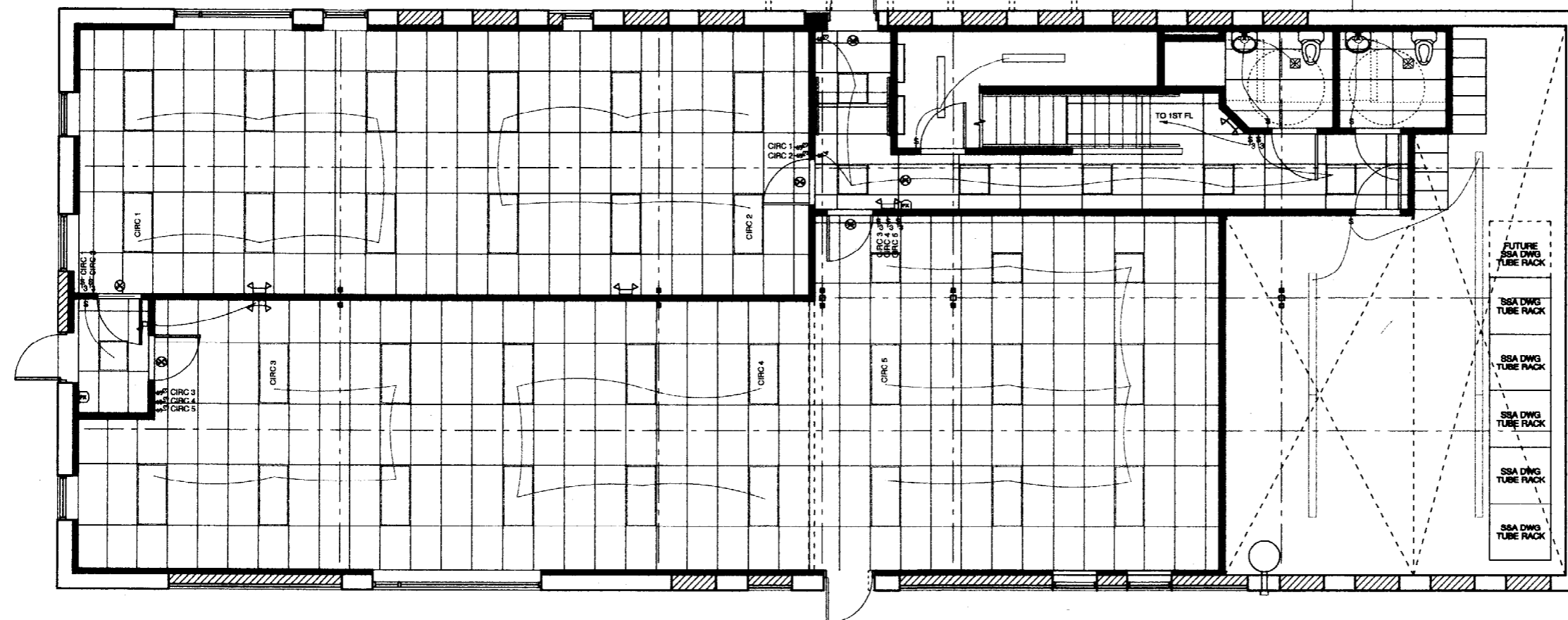
PROJECT
**75 YORK STREET
PROFESSIONAL OFFICES**

75 YORK STREET
PORTLAND, ME

TITLE
**INTERIOR
ELEVATIONS
AND DETAILS**

STATUS: **CONTRACT DRAWINGS
PERMIT SUBMISSION**

DATE: 04.06.03
SCALE: 1/4" = 1'-0"
PROJECT NO. 02004.00
DRAWN BY: A. WILSON
DWG NO. **A600**



5 GROUND FLOOR RCP & ELEC. PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL KEY

- ⊕ DUPL EX RECEPTACLE
- ⊕ WH EXTERIOR RECEPTACLE W/ GFI
- ⊕ GFI DUPL EX GFI RECEPTACLE
- ◀ TELEPHONE CAT 3
- △ DATA CAT 5E
- ⊕ CEILING LIGHT FIXTURE
- ⊕ WALL LIGHT FIXTURE
- ⊕ SINGLE POLE SWITCH
- ⊕ 3 POLE SWITCH
- ⊕ DIM DIMMER SWITCH
- ⊕ ILLUMINATED EXIT SIGN
- ⊕ EMERGENCY EXIT LIGHT WITH BATTERY UNIT
- 2'x4' DROP-IN FLUORESCENT FIXTURE
- 2'x2' DROP-IN FLUORESCENT FIXTURE
- PENDENT MTD FLUORESCENT FIXTURE
- EXPOSED 2 LAMP FLOURESCENT FIXTURE

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REGISTERED ARCHITECT
 SCOTT R. SIMONS
 NO. 2034
 STATE OF MAINE

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PROJECT

**75 YORK STREET
PROFESSIONAL OFFICES**

75 YORK STREET
PORTLAND, ME

TITLE

**GROUND FLOOR
RCP &
ELECTRICAL PLAN**

STATUS:

**CONTRACT DRAWINGS
PERMIT SUBMISSION**

DATE: 04.08.03

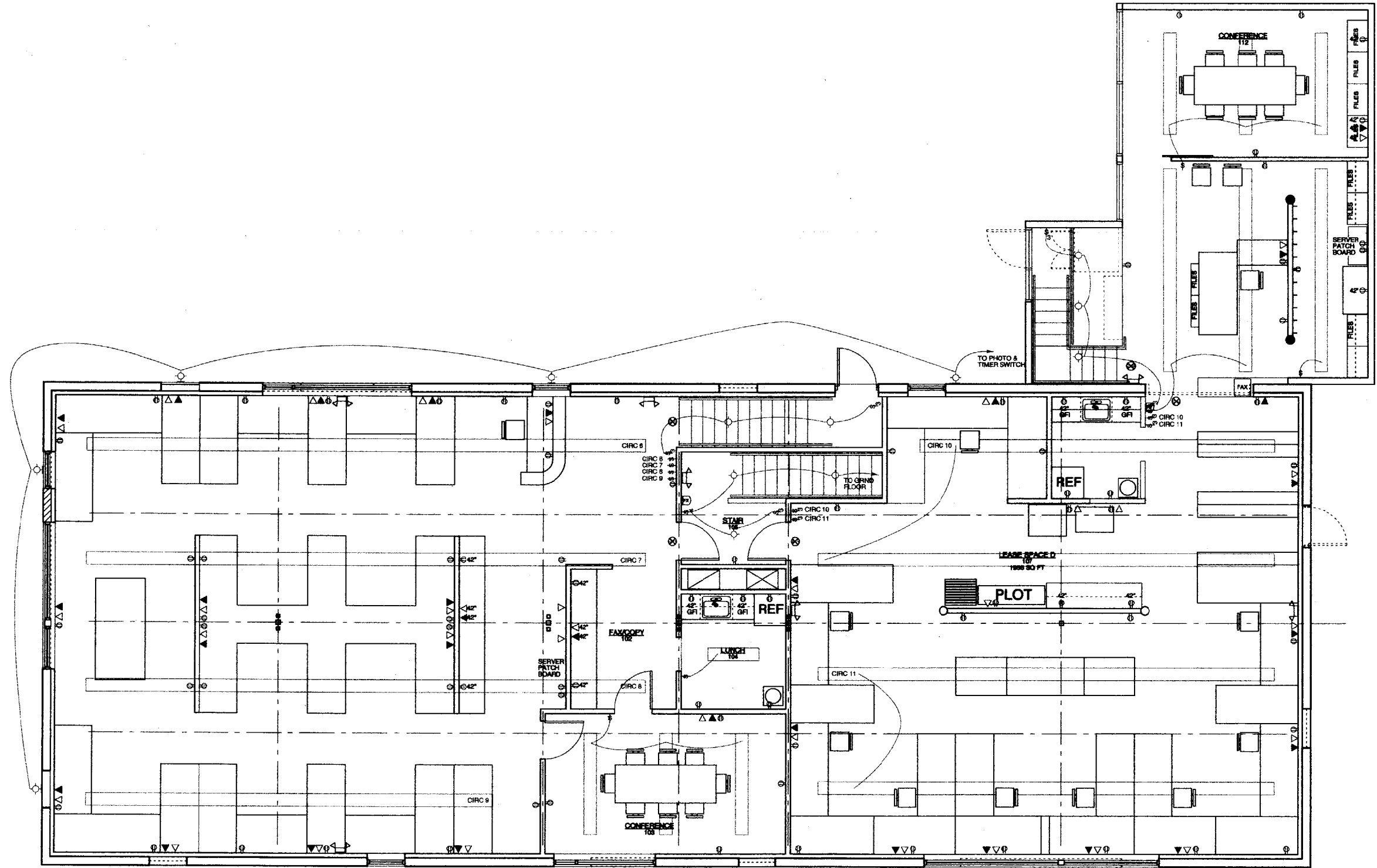
SCALE: 1/4" = 1'-0"

PROJECT NO. 0204.00

DRAWN BY: S. PRAMER

REVISION / DATE:

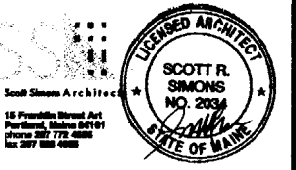
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1 FIRST FLOOR RCP & ELEC PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL KEY

⊕	DUPLEX RECEPTACLE
⊕WH	EXTERIOR RECEPTACLE W/ GFI
⊕GFI	DUPLEX GFI RECEPTACLE
⊕▲	TELEPHONE CAT 3
▲	DATA CAT 5E
⊕	CEILING LIGHT FIXTURE
⊕	WALL LIGHT FIXTURE
⊕	SINGLE POLE SWITCH
⊕	3 POLE SWITCH
⊕DIM	DIMMER SWITCH
⊕	ILLUMINATED EXIT SIGN
⊕	EMERGENCY EXIT LIGHT WITH BATTERY UNIT
⊕	2X4 DROP-IN FLUORESCENT FIXTURE
⊕	2X2 DROP-IN FLUORESCENT FIXTURE
⊕	PENDENT MITD FLUORESCENT FIXTURE
⊕	EXPOSED 2 LAMP FLUORESCENT FIXTURE



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PROJECT
75 YORK STREET PROFESSIONAL OFFICES

75 YORK STREET
PORTLAND, ME

TITLE
FIRST FLOOR RCP & ELECTRICAL PLAN

STATUS:
CONTRACT DRAWINGS PERMIT SUBMISSION

DATE: 04.09.03	REVISION / DATE:
SCALE: 1/4" = 1'-0"	
PROJECT NO. 03094.00	
DRAWN BY: S. FRASER	

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DWG NO. **E101**

GENERAL NOTES

- 1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINED SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, RELEASERS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
3. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
4. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S-DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
5. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE ENGINEER.
6. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

DESIGN LOADS

- 1. BUILDING CODE: BOCA NATIONAL BUILDING CODE (1996) ASCE 7-95 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
2. DESIGN LIVE LOADS: FLOORS TYP SUPPORTED FLOOR: 50 PSF
3. DESIGN LIVE LOADS: ROOF GROUND SNOW LOAD (Pg): 60 PSF SNOW EXPOSURE FACTOR (Ce): 0.7 SNOW LOAD IMPORTANCE FACTOR (I): 1.0 FLAT ROOF SNOW LOAD (Pf): 42 PSF + DRIFT

FOUNDATION NOTES (SOIL SUPPORTED)

- 1. FOUNDATION DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE UNDISTURBED NATIVE SOILS.
2. PRESUMPTIVE BEARING CAPACITY 3,000 PSF.
3. COMPACTED STRUCTURAL FILL ADJACENT TO FOUNDATION WALLS SHALL BE A CLEAN SANDY GRAVEL OR GRAVELLY SAND. COMPACT FILL TO RISE OF MAXIMUM DRY DENSITY PER ASTM D-1557. HAND OPERATED EQUIPMENT SHALL BE USED FOR COMPACTION ADJACENT TO FOUNDATION WALL.
4. PROVIDE 4-INCH PERFORATED PVC EXTERIOR FOUNDATION DRAINPIPE WHERE SHOWN ON THE DRAWINGS. PROVIDE POSITIVE GRAVITY FLOW TO OUTLET.
5. SOILS EXPOSED AT THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO FLOOD FOUNDATION EXCAVATIONS AND SHOULD BE ADEQUATELY PROTECTED FROM RAINFALL OR FREEZING CONDITIONS.
6. SLOPE FOOTING EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY OR PROVIDE SHEETING OR SHORING IN ACCORDANCE WITH OSHA REQUIREMENTS.

CONCRETE NOTES

- 1. CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 - 95)," AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301-96)." THESE PUBLICATIONS ARE AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3600.
2. CONCRETE MIX DESIGN: FOOTINGS AND INTERIOR SLABS: A. STRENGTH: 3000 PSI @28 DAYS B. AGGREGATE: 3/4" C. W/C RATIO: 0.45 MAX D. ENTRAINED AIR: 3% MAX, 1% MIN E. SLUMP: 4" MAX EXTERIOR TOPPING SLABS A. STRENGTH: 4000 PSI @28 DAYS B. AGGREGATE: 3/4" C. W/C RATIO: 0.45 MAX D. ENTRAINED AIR: 6% MAX, 4% MIN E. SLUMP: 4" MAX A. ADD AIR ENTRAINING ADMIXTURE AT MANUFACTURER'S PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING THE ABOVE NOTED AIR CONTENTS. B. ADDITIONAL SLUMP MAY BE ACHIEVED BY THE ADDITION OF A MIDRANGE OR HIGH RANGE WATER REDUCING ADMIXTURE. MAXIMUM SLUMP AFTER ADDITION OF ADMIXTURE SHALL BE 6 INCHES.
3. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
4. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.
5. FIBER REINFORCEMENT SHALL BE TYPE III SYNTHETIC VIRGIN HOMOPOLYMER POLYPROPYLENE FIBERS CONFORMING TO ASTM C1116.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
7. ANCHOR BOLTS SHALL BE FIELD DRILLED EPOXY BOLTS WITH THREADED ROD COMPONENTS CONFORMING TO ASTM A36 UNLESS NOTED OTHERWISE ON DRAWINGS.
8. ALL GROUT BENEATH BASE PLATES & BEARING PLATES SHALL BE "5-STAR" 5000-PSI NON-SHRINK GROUT BY U.S. GROUT CORP.

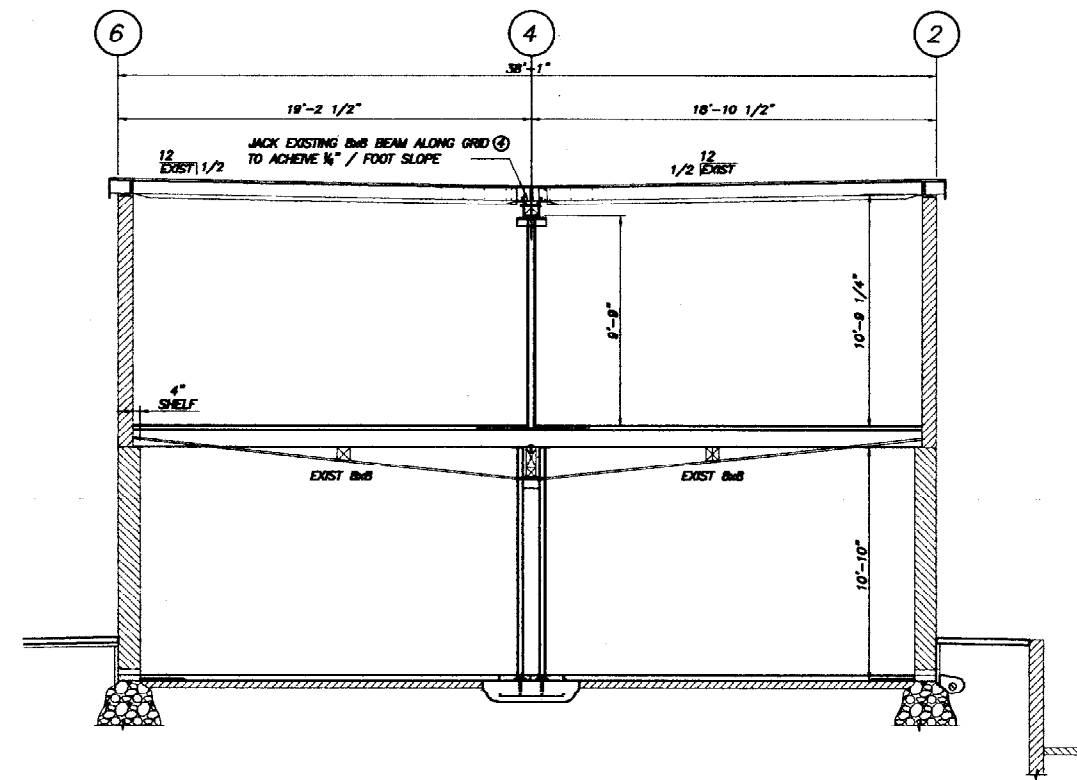
MASONRY NOTES

- 1. ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1-95.
2. ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90 GRADE N, TYPE I STANDARD WEIGHT BLOCKS INCLUDING STRETCHERS AND CORNER BLOCKS. MINIMUM PRISM STRENGTH OF BLOCK SHALL BE Fm = 1500 PSI IN 28 DAYS. MATCH EXISTING EXTERIOR FINISH WITH NEW BLOCKS, UNO.
3. MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270, TYPE M OR S.
4. GROUT SHALL CONFORM TO ASTM-C478.
5. REINFORCING SHALL BE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
6. HORIZONTAL JOINT REINFORCING SHALL BE DWR-0-IML TRUSS DESIGN, STANDARD CLASS MILL GALVANIZED WITH 3/16" DIAMETER SIDE RODS AND 9 GAUGE CROSS TIES, UNO. REINFORCING SHALL BE PLACED IN MASONRY WALLS AT EVERY SECOND BLOCK COURSE.
7. REPLACEMENT CONCRETE MASONRY UNITS SHALL BE TOOTHED INTO EXISTING CMU TO CREATE A RUNNING BOND UNLESS OTHERWISE NOTED. PROVIDE FULL MORTAR COVERAGE ON ALL WEBS AND FACE SHELLS. PROVIDE CORNER BLOCKS AND END BLOCKS TO FINISH ALL 90 DEGREE CORNERS AND OPENINGS WHERE SHOWN ON A- AND/OR S- DRAWINGS.
8. ALL NEW WALL PENETRATIONS SHALL RECEIVE A LINTEL AS SCHEDULED. SOME EXISTING LINTELS ARE TO BE REPLACED. SEE SCHEDULES & PLANS FOR ADDITIONAL REQUIREMENTS.
9. STANDARD LAP LENGTH OF GRADE 60 MASONRY REINFORCING BARS SHALL BE 48 BAR DIAMETERS.
10. GROUT CELLS BELOW NEW BEAM BEARINGS AS SHOWN ON DRAWINGS.
11. FIELD PENETRATIONS THROUGH BLOCK WALLS SHALL NOT BE MADE THROUGH BOND BEAMS, LINTELS OR GROUTED CELLS.
12. CHALKING SHALL BE A ONE-COMPONENT NON-SAG "HORNFLEX" POLYSULFIDE POLYMER SEALANT (TTS-0023-C) AS MANUFACTURED BY NLR, GRADE, OR APPROVED EQUAL APPLIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
13. EXTERIOR BLOCK SURFACES SHALL BE CLEANED/STRIPPED TO SOLID MATERIAL, PRIMED AND PAINTED PER THE SPECIFICATIONS INDICATED ON THE ARCHITECTURAL DRAWINGS.

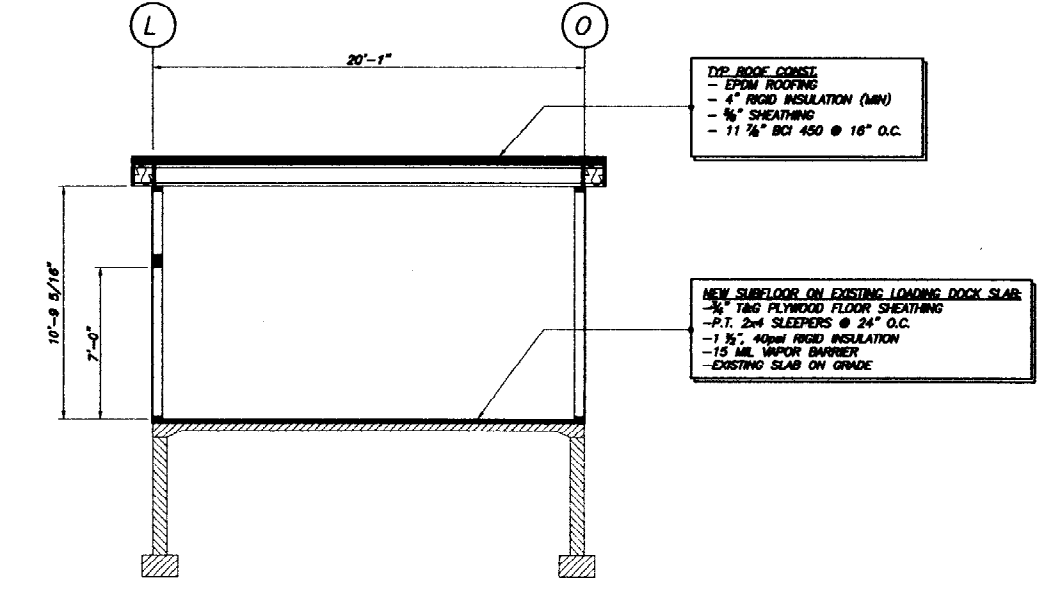
TIMBER NOTES

- 1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE NFPA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2001 EDITION.
2. NEW INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE NO.1/NO.2 SPRUCE-PINE-FIR KILN DRIED TO 18% MAXIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
3. ENGINEERED WOOD PRODUCTS SHALL BE AS SPECIFIED ON THE DRAWINGS. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES. MANUFACTURER AND PRODUCT SHALL BE:
TRUS-JOIST: I-JOIST (TJI), PARALLAM (PSL), MICROLAM (LVL), TIMBERSTRAND (LSL)
BOISE: I-JOIST (BO), VERSALAM (VL)

- 4. PRESSURE TREATED LUMBER SHALL BE USED FOR SILL MEMBERS, EXTERIOR EXPOSURE, OR WHERE SHOWN ON THE DRAWINGS. TIMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA OR AOC TO 0.4 #/CF IN ACCORDANCE WITH NWPA C-18.
5. ALL ROOF AND WALL SHEATHING FOR THE LOADING DOCK ADDITION SHALL BE APA PERFORMANCE-RATED. PROVIDE 5/8" THICK CD-X ROOF SHEATHING AND 7/16" THICK OSB WALL SHEATHING (W.K.O.). SHEATHING SHALL BE NAILED TO THE FRAMING AS FOLLOWS:
TYPICAL PANEL FASTENING (U.N.O.):
A. ROOFS: 8d NAILS AT 6" AT PANEL EDGES AND 12" AT INTERMEDIATE SUPPORTS.
B. WALLS: 8d NAILS AT 6" AT PANEL EDGES AND 12" AT INTERMEDIATE SUPPORTS.
6. FLOOR SHEATHING SHALL BE 3/4" APA RATED TONGUE & GROOVE PLYWOOD PANELS GLUE/SCREW TO FLOOR FRAMING AT 8" ON CENTER WITH 2" #8 WOOD SCREW WITH SELF-COUNTERSINKING HEAD.
7. ALL BUILT-UP BEAMS AND COLUMNS SHALL BE NAILED AS FOLLOWS (FASTENING IN EACH PLY):
UNIFORMLY LOADED BEAMS:
BEAM DEPTH <16" - 2 ROWS OF 16d NAILS AT 12" O.C., STAGGERED
BEAM DEPTH >=16" - 3 ROWS OF 16d NAILS AT 12" O.C., STAGGERED
NOTE: SIDE LOADED BEAMS REQUIRE ADDITIONAL FASTENING. SEE DETAILS.
COLUMNS:
2-10d NAILS AT 12" O.C.
8. FASTENING NOT SPECIFIED SHALL CONFORM WITH BOCA TABLE 2.305.2.
9. ALL TIMBER CONNECTION HARDWARE (JOIST HANGERS, POST BASES, SHEARWALL HOLDOWNS, ETC) SHALL BE AS INDICATED ON THE DRAWINGS AND MANUFACTURED BY SIMPSON STRONG-TIE. ALL CONNECTION HARDWARE SHALL BE HOT-DIPPED GALVANIZED G-60 (U.N.O.). CONNECTION HARDWARE USED IN CONJUNCTION WITH PRESERVATIVE TREATMENT SHALL Z-MAX GALVANIZED. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.



BUILDING SECTION 1
1/4\"/>



BUILDING SECTION 2
1/4\"/>

TYP. ROOF CONST:
- EPDM ROOFING
- 4\"/>

NEW SUBFLOOR ON EXISTING LOADING DOCK SLAB:
- 3/4\"/>

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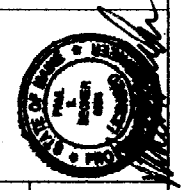
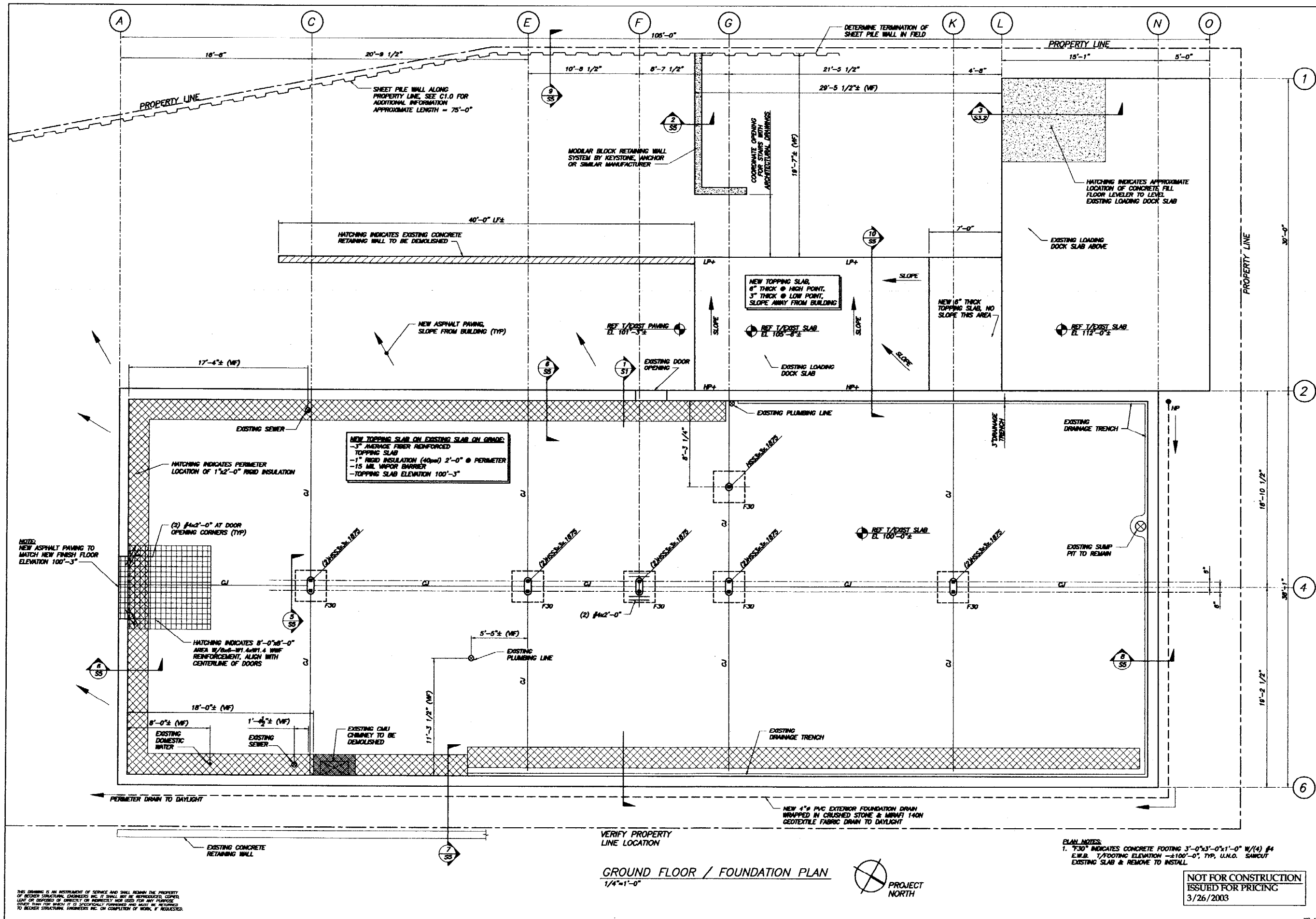


Table with columns: REVISION, DATE, DESCRIPTION, DRAWN BY, CHECKED BY, SCALE, DATE.

PROJECT: 75 YORK STREET
PROFESSIONAL OFFICES
PORTLAND, MAINE
GENERAL NOTES
BUILDING SECTIONS

DATE: 03/26/03
S1



GROUND FLOOR / FOUNDATION PLAN
1/4"=1'-0"



PLAN NOTES:
1. F30 INDICATES CONCRETE FOOTING 3'-0"x3'-0"x1'-0" W/(4) #4 E.W.B. T/FOOTING ELEVATION ±100'-0". TYP. U.N.O. SAWCUT EXISTING SLAB & REMOVE TO INSTALL.

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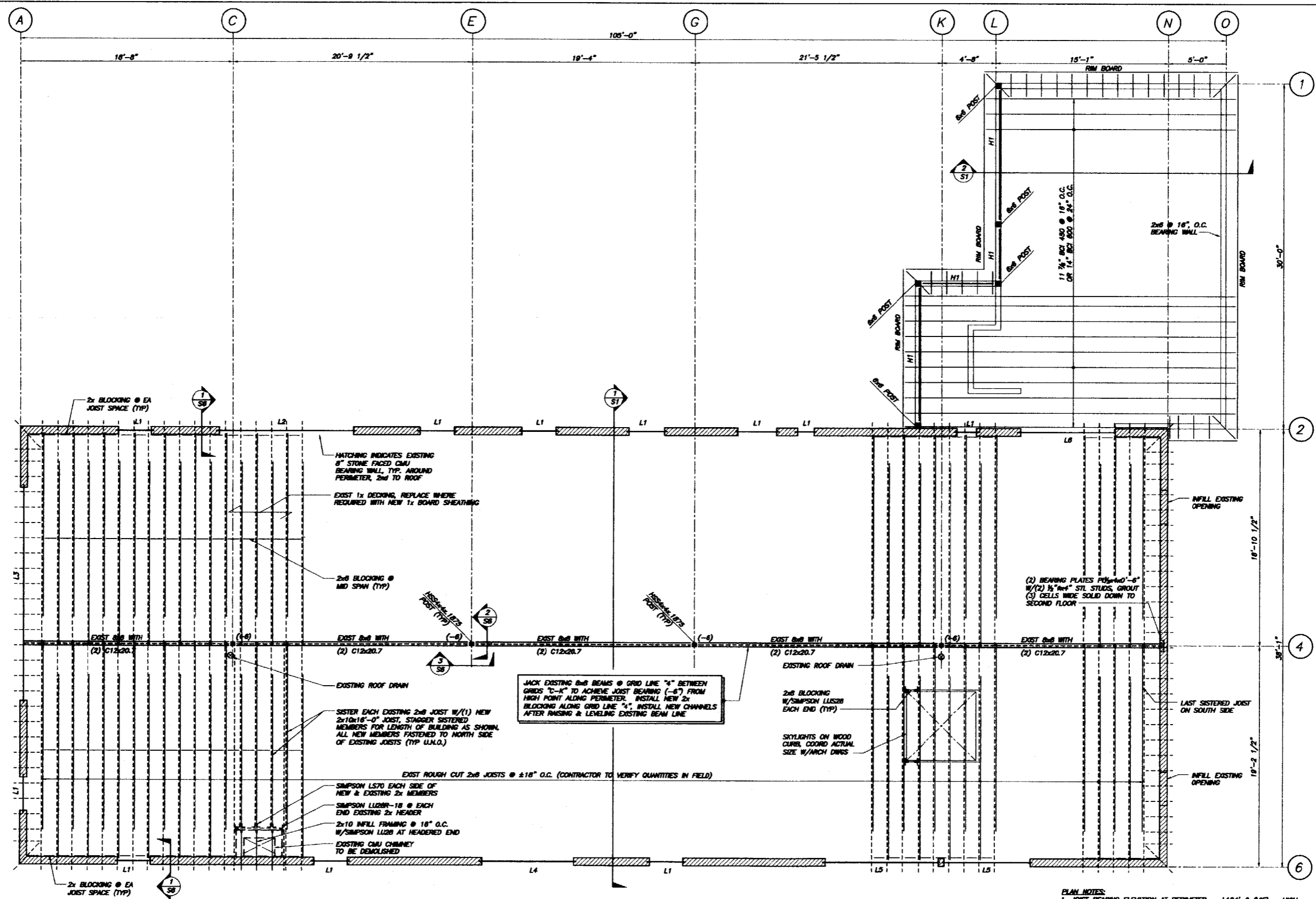
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DATE	
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DESIGNED BY: EAR	INCH
DRAWN BY: MC	NOTED
CHECKED BY: PWB	DATE: 03/26/03
SCALE	

PROJECT: 75 YORK STREET
PROFESSIONAL OFFICES
PORTLAND, MAINE
GROUND FLOOR / FOUNDATION PLAN

DRAWING NO. **S2**



ROOF FRAMING PLAN
1/4"=1'-0"

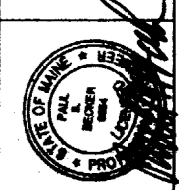


PLAN NOTES:
 1. JOIST BEARING ELEVATION AT PERIMETER = ±124'-0" (M.F.) = HIGH POINT, AND IS REFERENCE ELEVATION FOR THIS PLAN. ELEVATIONS REFERENCED "(-8)" ARE TAKEN FROM THIS ELEVATION.
 2. O.C. SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND COORDINATE THE STRUCTURAL STEEL FABRICATION SHOP DRAWINGS ACCORDINGLY.

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REV. NO.	DATE	DESCRIPTION		

PROJECT:
75 YORK STREET
PROFESSIONAL OFFICES
PORTLAND, MAINE
ROOF FRAMING PLAN

Sheet No.: **S4**