

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 061489

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that CRAWLEY RICHARD D / Brown & Sons

has permission to Demo single family home

AT 0 HIGH ST 9-11 High St. Court L 040 C018001

PERMIT ISSUED  
OCT 18 2006  
CITY OF PORTLAND

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is opened or otherwise closed-in. 4  
YOUR NOTICES REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]* 10/18/06  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1489	Date Applied For: 10/11/2006	CBL: 040 C018001
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Location of Construction: 9-11 HIGH ST COURT	Owner Name: CRAWLEY RICHARD D	Owner Address: 59 DOWNER ST	Phone:
Business Name:	Contractor Name: J B Brown & Sons	Contractor Address: 482 Congress St Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions	

Proposed Use: Demo single family home to remain vacant land	Proposed Project Description: Demo single family home
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Marge Schmuckal      Approval Date: 10/11/2006

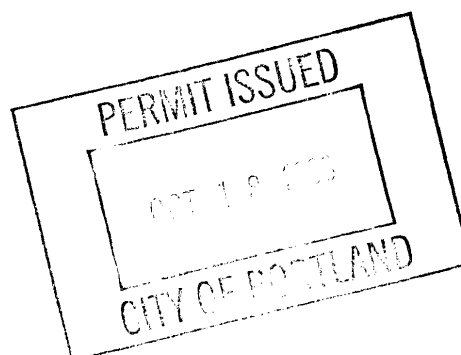
Note: Ok to Issue:

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.
- 2) PRIOR to any new construction, it shall be required to apply for all the necessary reviews and approvals.

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 10/18/2006

Note: Ok to Issue:

- 1) Northern Utilities must be notified prior to demo.
- 2) A demolition inspection must be scheduled PRIOR to starting any work on site.





# Demolition of A Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1 High Street Court, Portland</u>		
Total Square Footage of Proposed Structure <u>None</u>		Square Footage of Lot <u>10,160</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>40            C            18</u>	Owner: <u>Richard Cowley</u> <u>59 Downer St.</u> <u>Baldwinsville, NY 13027</u>	Telephone: <u>Owner's Lawyer</u> <u>John Delaney</u> <u>(315) 476-8450</u>
Lessee/Buyer's Name (If Applicable) <u>J.B. Brown &amp; Sons</u> <u>482 Congress St</u> <u>Portland, Me 04101</u>	Applicant name, address & telephone: <u>Vincent Veroneau</u> <u>J.B. Brown &amp; Sons</u> <u>482 Congress St</u> <u>Portland, Me 04101</u>	Cost Of Work: \$ <u>8215</u>  Fee: \$ <u>110</u>
Current Specific use: <u>Vacant Structure</u> If vacant, what was the previous use? <u>Single family residence</u> How long has it been vacant?: <u>approx. 2 months</u>		
Project description: <u>Demolition of a structurally unsound single family house.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Vincent Veroneau</u> Mailing address: <u>J.B. Brown &amp; Sons</u> <u>482 Congress St.</u> <u>Portland, Me 04101</u> Phone: <u>774-5908</u>		

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>10/6/06</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**



# Demolition Call List & Requirements

Richard Cowley

Site Address: 1 High St Court

Owner: Under Contract to: J.B. Brown & Sons

Structure Type: Wood Single family Res.

Contractor: Les Wilson & Sons

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>Cindy Deschenes 10/6/06</u>
Northern Utilities	797-8002 ext 6241	<u>Mark Allen 10/6/06</u>
Portland Water District	761-8310	<u>Dave Doherty 10/6/06</u>
Dig Safe	1-888-344-7233	<u>Roberta 10/6/06</u> <u>Ticket # 2006 4010947</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Jim Vance 10/6/06</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>Carol Merritt 10/6/06</u>
Historic Preservation	874-8726	<u>Deb Andrews 10/6/06</u>
Fire Dispatcher	874-8576	<u>Kathi Grant 10/6/06</u>

## Additional Requirements

- 1) Written Notice to Adjoining Owners
- 2) A Photo of the Structure(s) to be demolished
- 3) Certification from an asbestos abatement company

DEP – Environmental (Augusta) 287-2651 N/A - single family Res.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk  
US EPA Region I (SEA)  
JFK Federal Building  
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: Virt P. Vernon

Date: 10/6/06

Letters mailed 10/6/06

040 C001001 CARD 1	GILLIS EDWARD F RESIDUARY TRUST 2 ELMWOOD RD CAPE ELIZABETH ME 04107	51 HIGH ST	ELEVEN TO TWENTY FAMILY
040 C002001 CARD 1	WEST COMPANY 6 E 43RD ST 26 FL NEW YORK NY 10017	78 DANFORTH ST	FIVE TO TEN FAMILY
040 C014001 CARD 1	SACRE LINDA & DARRIN SACRE JTS 90 FLORENCE ST SOUTH PORTLAND ME 04106	41 HIGH ST	FOUR FAMILY
040 C015001 CARD 1	BAILLARGEON CHARLES C & SUE ANNE BAILLARGEON 395 FALMOUTH RD WINDHAM ME 04062	37 HIGH ST	FOUR FAMILY
040 C016001 CARD 1	BERNOTAVICZ PROPERTIES LLC 31 HIGH ST PORTLAND ME 04101	31 HIGH ST	TWO FAMILY
040 C021001 CARD 1	NUTTING DIANA S & WILLIAM D JTS 17 HOLMES ROAD SACO ME 04072	27 HIGH ST	TWO FAMILY
040 C022001 CARD 1	ALLIANCE ENERGY CORP 36 E INDUSTRIAL RD BRANFORD CT 06405	101 YORK ST	RETAIL & PERSONAL SERVICE
040 C025001 CARD 1	MEZOIAN ANTHONY P & ANN LEE JTS 8 WOODBURY ST SOUTH PORTLAND ME 04106	85 YORK ST	OFFICE & BUSINESS SERVICE
040 C026001 CARD 1	75 YORK STREET LLC <del>15 FRANKLIN ST</del> 75 York st. PORTLAND ME 04101	75 YORK ST	WHOLESALE

J.B. Brown & Sons  
482 Congress Street  
Portland, Maine 04101

October 6, 2006

Dear Property Owner in the Vicinity of 1 High Street Court, Portland, Maine:

J.B. Brown & Sons is in the process of purchasing a single family building at 1 High Street Court in the vicinity of property you own in Portland, Maine. A building engineer has deemed the house unsafe for occupancy without significant and costly structural reinforcement. In lieu of making this further investment, we have decided to tear down the building.

As part of obtaining our demolition permit with the City of Portland, we are sending you notification of the pending work. We expect the project to take place in late October and should take just a few days.

Should you have any questions, please do not hesitate to contact me at (207) 774-5908.

Sincerely,  
J.B. Brown & Sons

A handwritten signature in black ink that reads "Vincent Veroneau". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Vincent Veroneau





**PORTLAND DIVERSIFIED SERVICES, INC.  
INTER OFFICE MEMO**

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**To:** J.B.Brown Attn.: Willow Williams  
**From:** Kevin Regan  
**Date:** October 9, 2006  
**Re.:** **High St Place Property, Portland, Me.**

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Dear Willow,

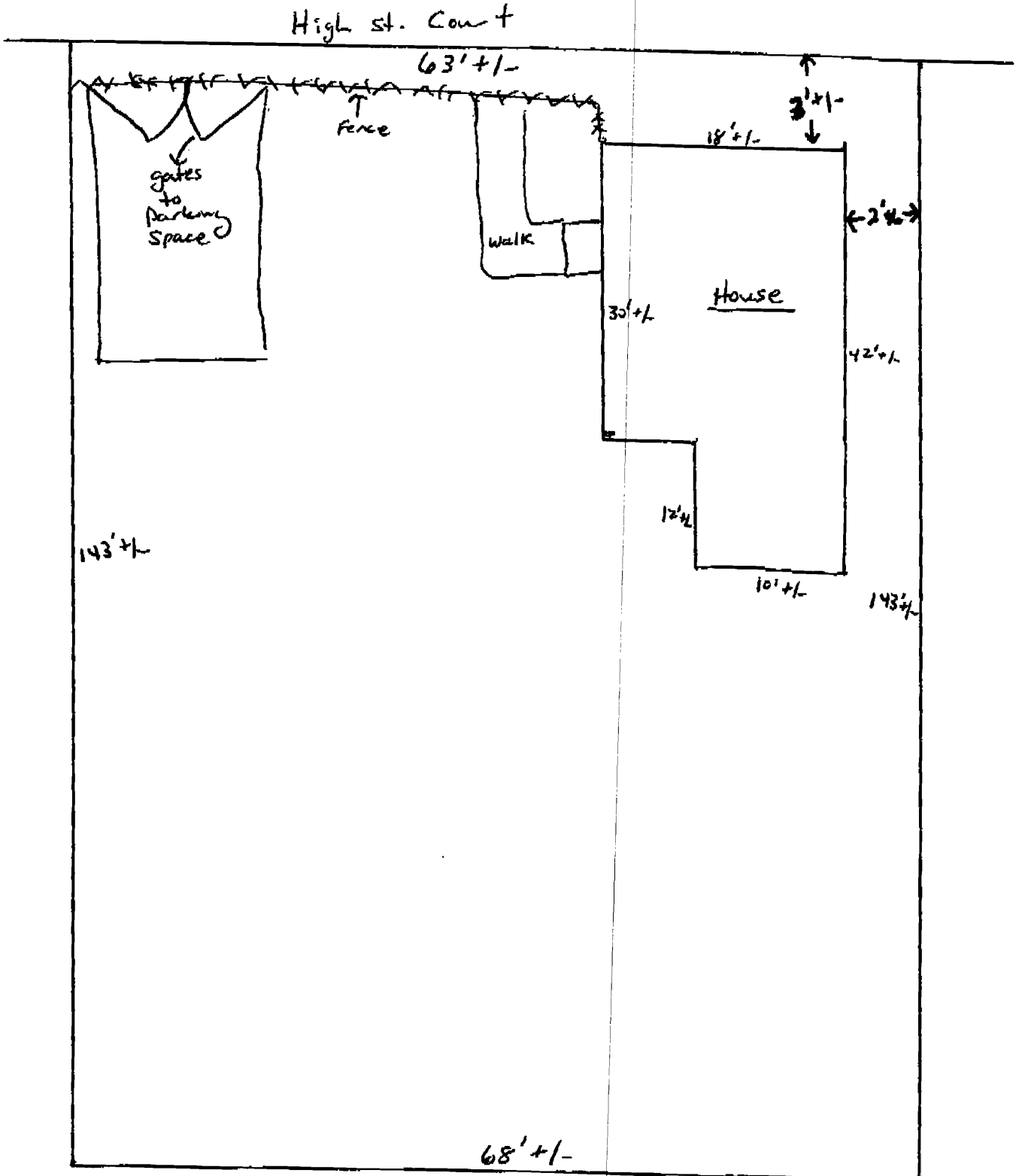
Upon review of the site in our visit of last Friday October 6<sup>th</sup> we noted only a small amount of asbestos containing insulation tape on some of the joints in the basement.

This is considered a small amount (less than 5sf) of non-friable asbestos containing tape wrapping. The removal process will be completely wrapping the duct work in poly and removing as a whole component. This would be done prior to the building demolition. The cost for this work is SIX HUNDRED AND FORTY DOLLARS (\$640.00).

As always should have any questions please let me know.

# Site Plan (Not to Scale)

1 High St. Ct, Portland Me



**J. B. BROWN & SONS**

482 CONGRESS STREET  
P.O. BOX 207  
PORTLAND, MAINE 04112  
PHONE 207-774-5908  
FAX 207-774-0898

DATE: 10/11/06

TO: Donna Martin

FROM: Willow Williams

NUMBER OF PAGES 2 (includes cover page)

COMMENTS: Is this satisfactory? Also, do you have a time frame on permit? As I mentioned we are in process of purchasing this property and may have to reschedule a few things.

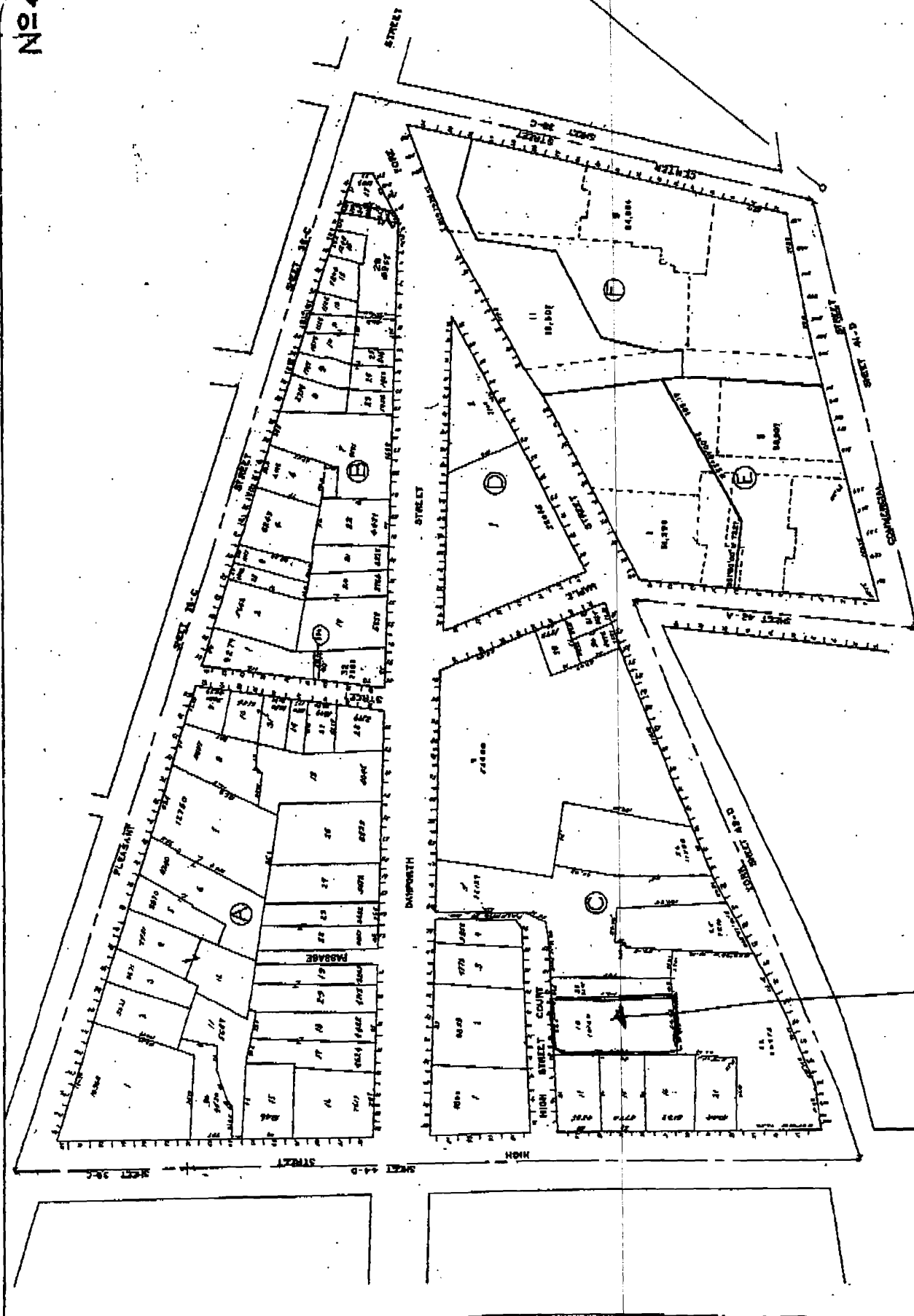
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If this transmission is not received in full, please call the number listed above.

If you have answers and I'm not on, please ask for Vin Veroneau.

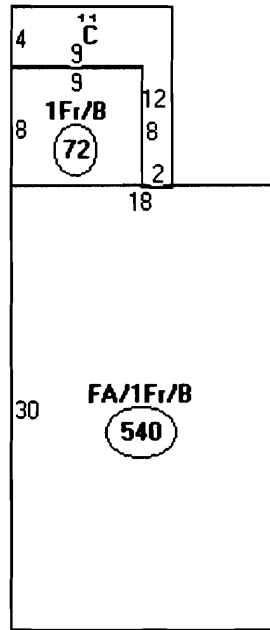
No 40

CITY OF PORTLAND  
ASSESSOR'S PLAT  
SCALE 1" = 50'

RETRACTED 8-18-87



High Street Court



Descriptor/Area

A: FA/1Fr/B  
540 sqft

B: 1Fr/B  
72 sqft

C: 1Fr  
60 sqft

No 40

