

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read
Application And
Notes, If Any,
Attached

Permit Number: 1080285

PERMIT ISSUED
MAY 2 2008
CITY OF PORTLAND

This is to certify that BERNOTAVICZ PROPERTIES LLC / Ron Wheeler

has permission to Replace existing 1st floor deck and add second floor deck

AT 31 HIGH ST

040 C016001

provided that the person or persons performing or accepting this permit shall comply with
of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulat
the construction, maintenance and use of buildings and structures, and of the application on file
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and when permission proceed
before this building or part thereof is
laid or service closed-in
4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be
procured by owner before this build
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Ron Wheeler 5/2/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

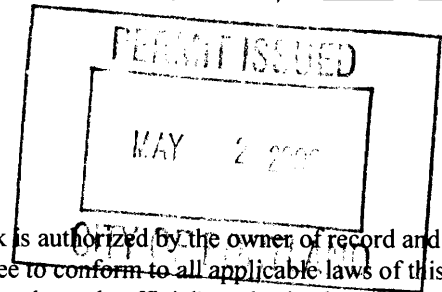
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0285	Issue Date:	CBL: 040 C016001
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Location of Construction: 31 HIGH ST	Owner Name: BERNOTAVICZ PROPERTIES LL	Owner Address: 31 HIGH ST	Phone:
Business Name:	Contractor Name: Ron Wheeler	Contractor Address: P.O. Box 1122 Wells	Phone 2073371432
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	Zone: R-2

Past Use: 2 family <i>leg use: 2 dv. (per microfiche)</i>	Proposed Use: 2 family - Replace existing 1st floor deck and add second floor deck	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 1
Proposed Project Description: Replace existing 1st floor deck and add second floor deck <i>Second floor deck = 14' x 7' : 12 x 3 = 134 sq ft</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>dm 5/2/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 03/31/2008	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>4/7/08 ABG</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <i>yes</i> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>1/23/08 STH</i>	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

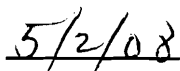
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

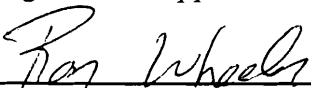
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



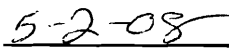
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>31 High St. PORTLAND ME</u>		
Total Square Footage of Proposed Structure/Area <u>302 sq' 1st Fl. 134 sq' 2nd Fl.</u>		Square Footage of Lot <u>5138</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>C</u> Lot# <u>16</u> <u>31-33 High St.</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Bernotavicz Properties, LLC</u> Address <u>31 High St. - Apt. 2</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: _____
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name _____ Address <u>N/A</u> City, State & Zip _____	Cost Of Work: \$ <u>8,000.00</u> C of O Fee: \$ <u>N/A</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>2 Family</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>personal living</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>N/A</u> Project description: <u>Replace old 1st Fl. deck and add 2nd Fl. deck.</u>		
Contractor's name: <u>Ron Wheeler</u> Address: <u>P.O. BOX 1122</u> City, State & Zip: <u>Wells ME 04090</u> Telephone: <u>207-337-1432</u> Who should we contact when the permit is ready: <u>Ron Wheeler</u> Telephone: <u>207-337-1432</u> Mailing address: <u>P.O. BOX 1122, Wells, ME 04090</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/23/2008

This is not a permit, you may not commence ANY work until the permit is issued

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0285	Date Applied For: 03/31/2008	CBL: 040 C016001
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Location of Construction: 31 HIGH ST	Owner Name: BERNOTAVICZ PROPERTIES LL	Owner Address: 31 HIGH ST	Phone:
Business Name:	Contractor Name: Ron Wheeler	Contractor Address: P.O. Box 1122 Wells	Phone: (207) 337-1432
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: 2 family - Replace existing 1st floor deck and add second floor deck (134 sf over existing first floor deck)	Proposed Project Description: Replace existing 1st floor deck and add second floor deck
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 04/23/2008
Note: **Ok to Issue:**

- 1) Approval subject to final inspection once project is completed.
- 2) All visible surfaces must be finished with paint or opaque stain.
- 3) The staircase shown on the plan is to be eliminated as it is not required for egress.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/07/2008

Note: Spoke to Barbara. Although this is a two family, she said that since the second floor deck is going over the existing first floor deck it does not need site plan exemption. **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 05/02/2008

Note: **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

4/7/2008-amachado: Permit was routed to commercial basket with plan reviewers. Given to zoning today.

5/2/2008-jmb: This was routed to fire erroneously on 4/23 and then to res plan review on 4/25/08

SHAW 3814

31 High St. w.F.
2nd floor House

1st Fl. Proposed
Deck Replacement

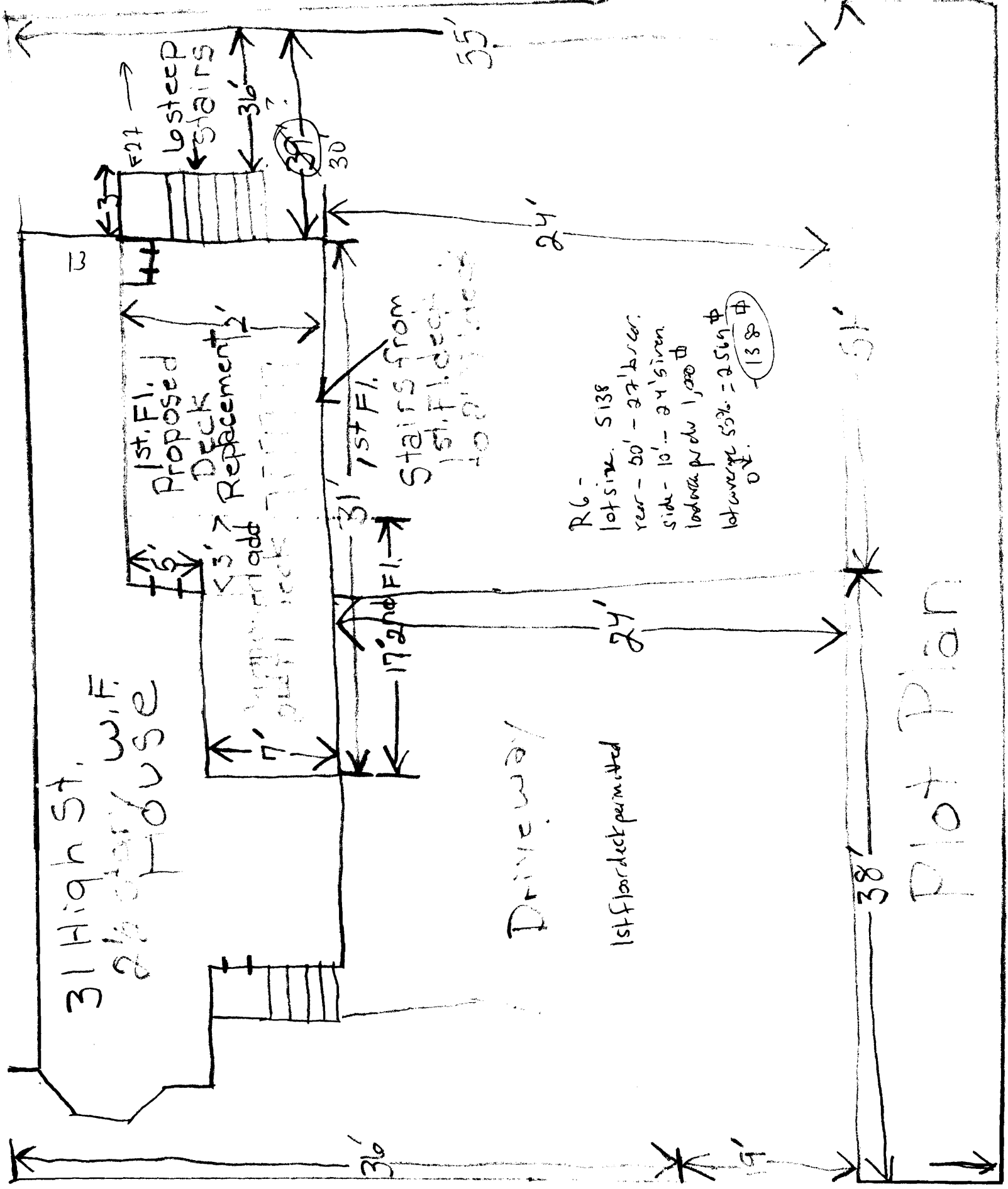
1st Fl.
Stairs from
1st Fl. deck
to 2nd floor deck

Driveway

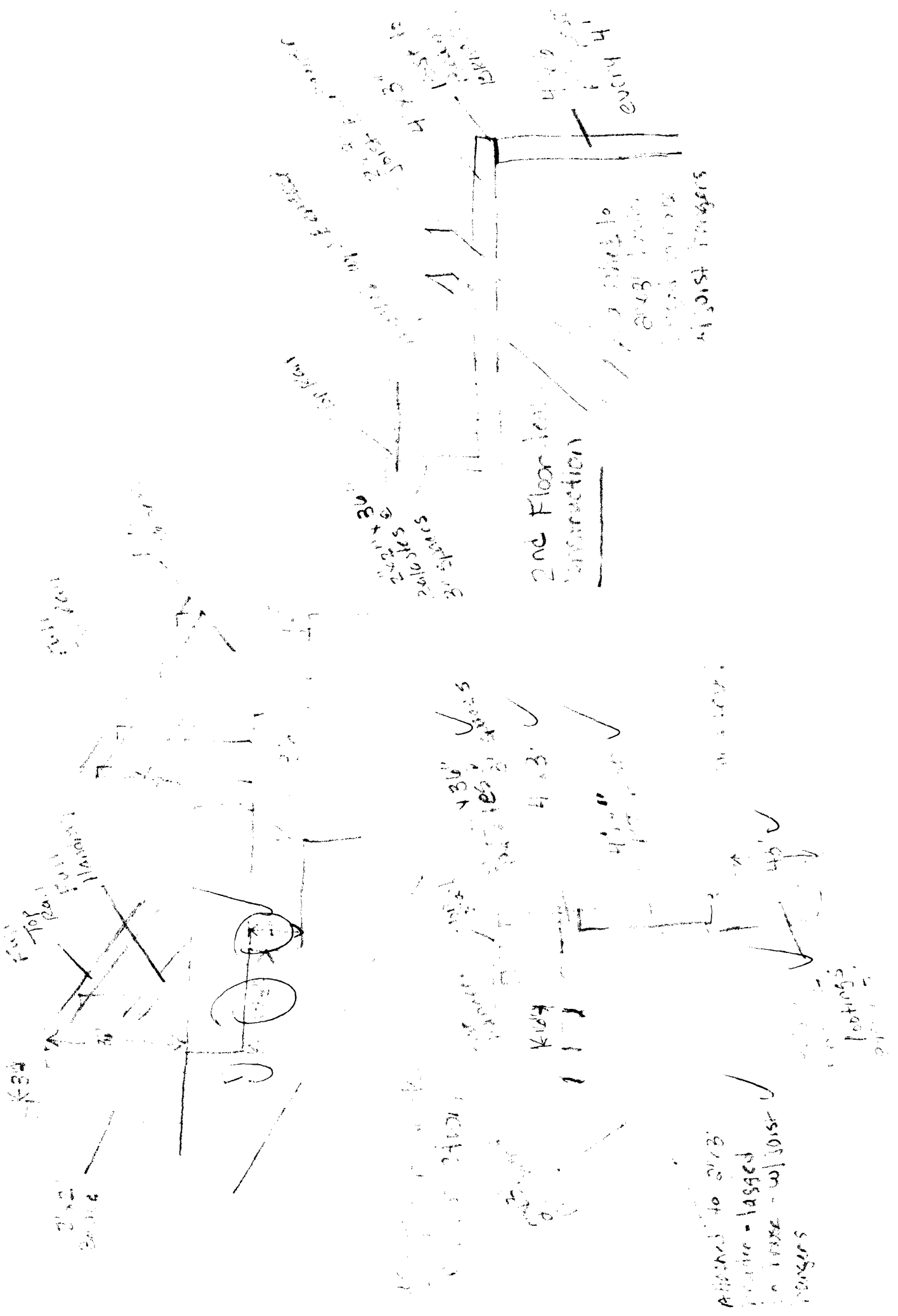
1st floor deck permitted

R6 -
lot size 5138
rear - 50' - 27' br. cor.
side - 10' - 24' siren
lot area per dw 1,000 sq ft
lot coverage 50% = 2569 sq ft
1388

Plot Plan



2nd Floor Construction (Chairman's Office)



Attached to 2nd Floor - Labeled in Trace - w/ Joist Hangers

30" x 30" Joists

4" x 3" Joists

4" x 3" Joists

2nd Floor Construction

Attached to 2nd Floor - Labeled in Trace - w/ Joist Hangers

30" x 30" Joists

4" x 3" Joists

4" x 3" Joists

4" x 3" Joists

4" x 3" Joists

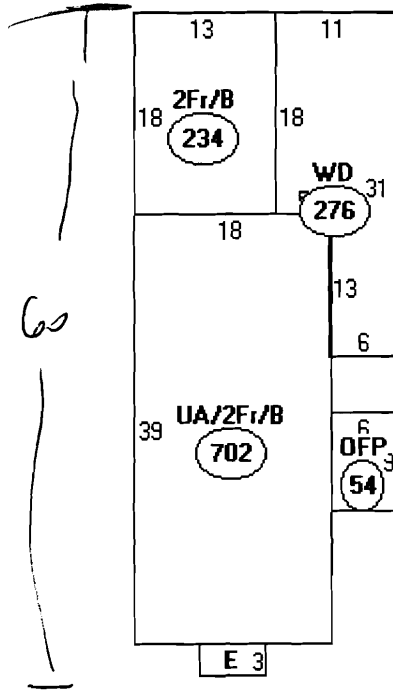
4" x 3" Joists

4" x 3" Joists

4" x 3" Joists

4" x 3" Joists

4" x 3" Joists



Descriptor/Area

- A: UA/2Fr/B
702 sqft
- B: 2Fr/B
234 sqft
- ~~C: WD
276 sqft~~
- D: OFP
54 sqft
- E: 2FBAY/B
18 sqft

= 1008

216 deck 18x12
126 18x7

1350 ϕ

30 rear steps

1380.

senduck
rear 18x12 permitted May 1982 # 00296

45x12 perm. Her Nov 1991 # 913261

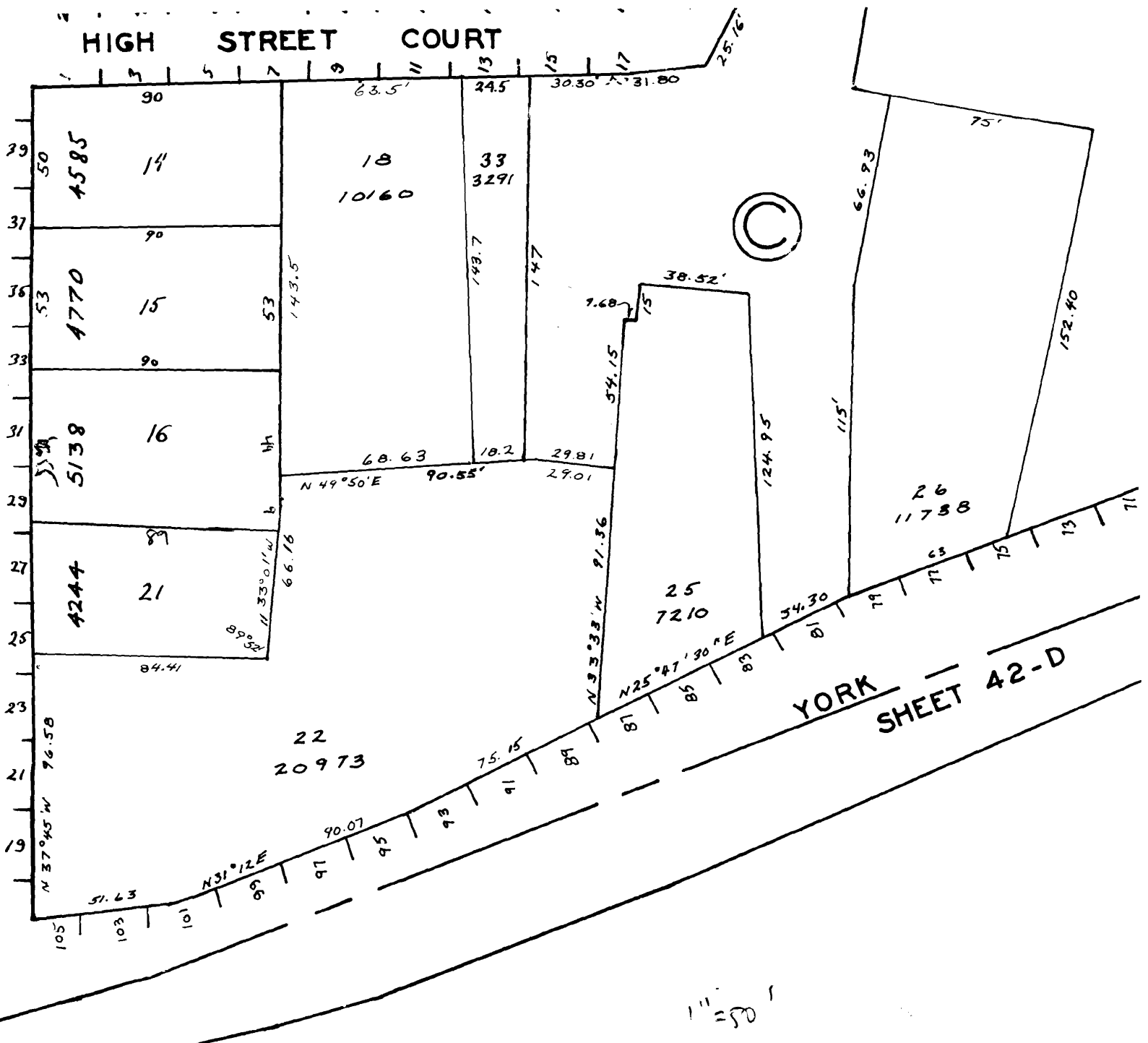
enlarge deck entryway (original 18x12)
(27' x 7.5' towards front)

I, Janad Bernolavicz of Bernolavicz Properties, LLC.
(31 High St., Portland, ME 04101) give my permission
for Ron Wheeler as acting manager of my property,
to pick up my e-cards to be used by him
for rubbish removal and recycling for my above
mentioned property.

3/24/2008

Janad Bernolavicz

HIGH STREET COURT



YORK SHEET 42-D

1" = 50'

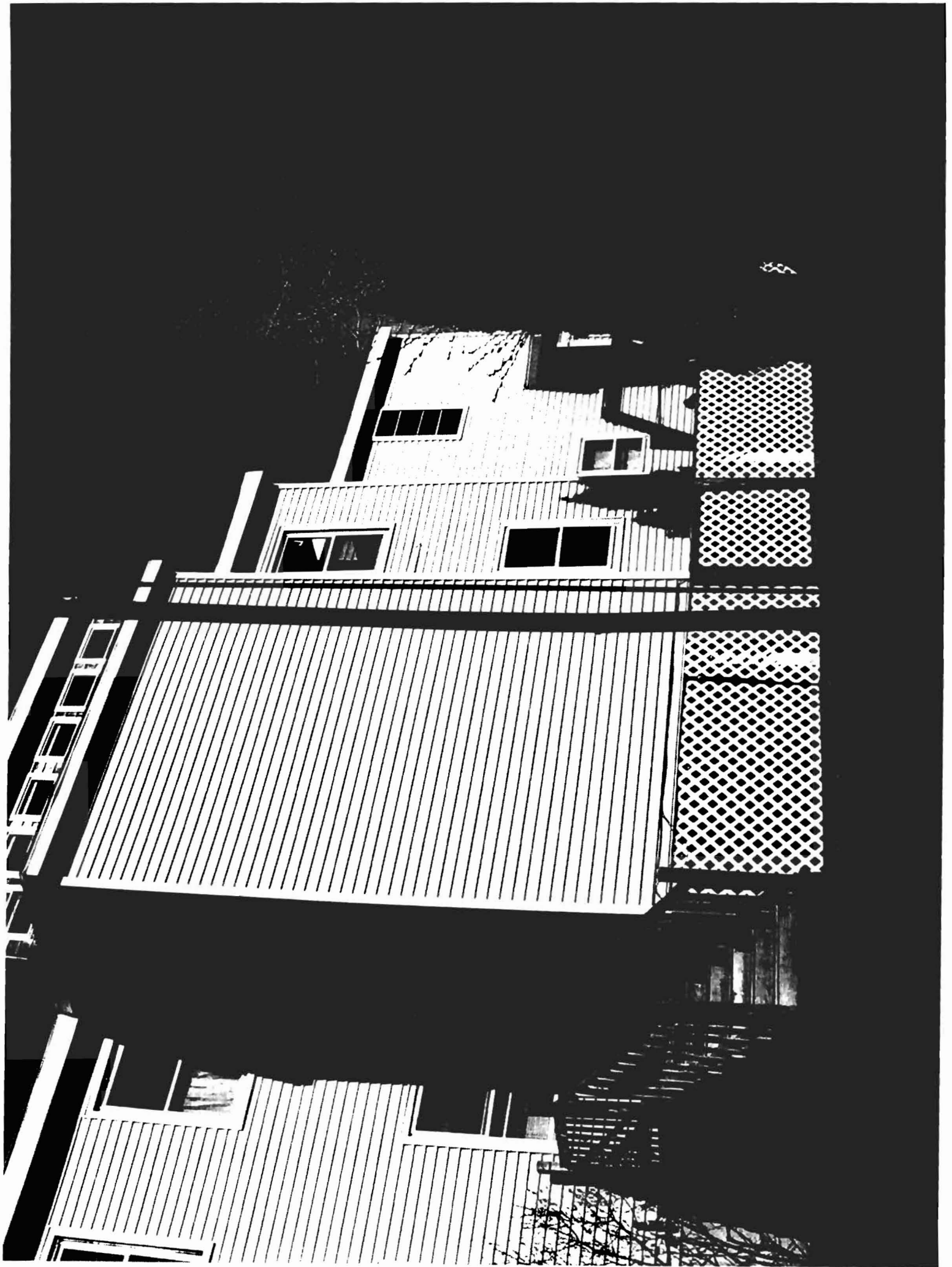






10 C16





635 - 651 Congress Street

Columbia Hotel

1893 and 1899

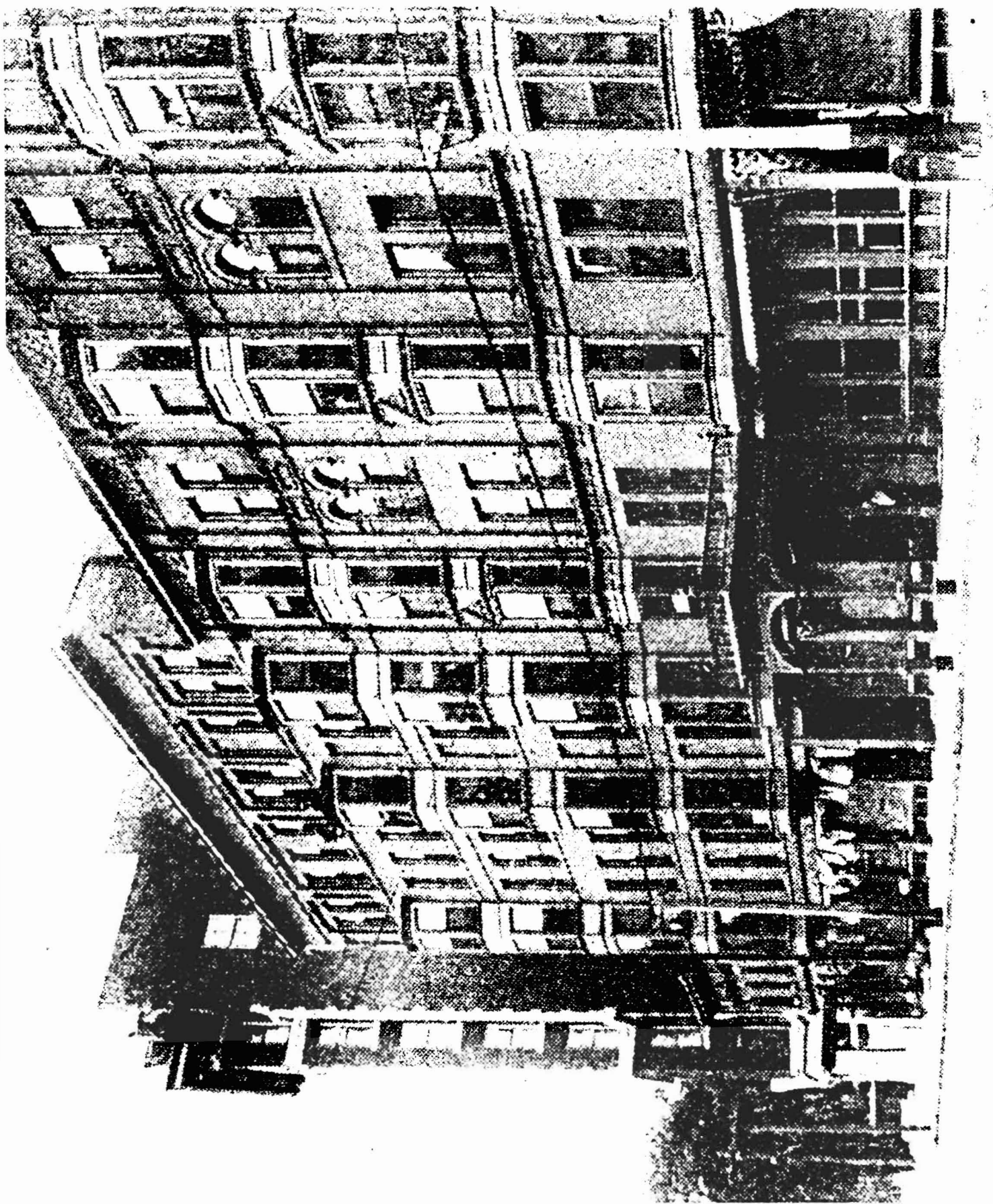
The five-story David T. and Albert S. Rines Block, also known as the Columbia Hotel, was designed by Francis Fassett and built in 1893. The Rines family were Portland's leading hoteliers and were also responsible for the building of the Congress Square and Eastland hotels. The Lafayette Hotel, across Congress Street from the Columbia, built in 1903, was also designed by Fassett.

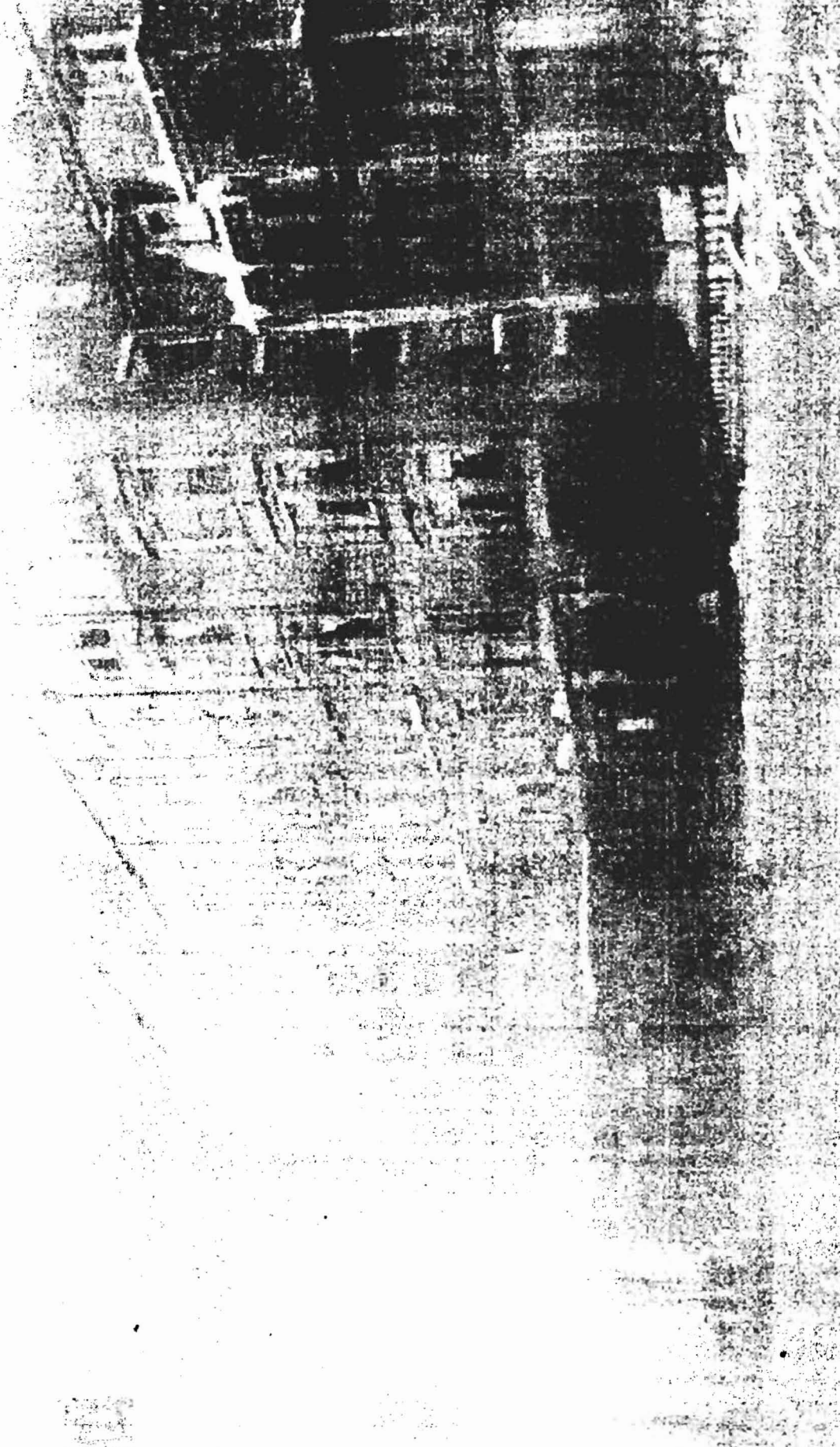
The Queen Anne style Columbia Hotel building was constructed of brick, with wood, freestone, and terra cotta trim. Prominent features were bay windows extending from the second to the fifth floor and a canopy over the sidewalk at the main entrance. The Columbia was expanded with the construction of the west wing in 1899. The new wing was similar in style to the original structure but one story taller. A single bay addition, with floor plates and cornice a bit lower than on the original building, was built on the eastern end of the building in 1894. It had bay windows matching those on the later western addition, above an entrance for carriages/automobiles. 1940s postcards show that the eastern addition and the two neighboring residential structures to the east had been replaced by a one-story commercial building (which is now gone as well). A driveway and parking are in its place.

The Columbia Hotel building has been altered with the removal of the projecting bay windows and entrance canopy, and the application of a stucco surface that obscures the original patterning of the brick piers, recesses and other details. The original window pattern, including the locations of the bay windows is still clearly discernible. The street level façade has been altered as well.

As is typical with historic hotels, which advertised heavily, there are many postcard and other period images available showing the original design details of the building.

More recent additions to the rear, within the Deering Street Historic District are poorly related to their surroundings in style and materials.

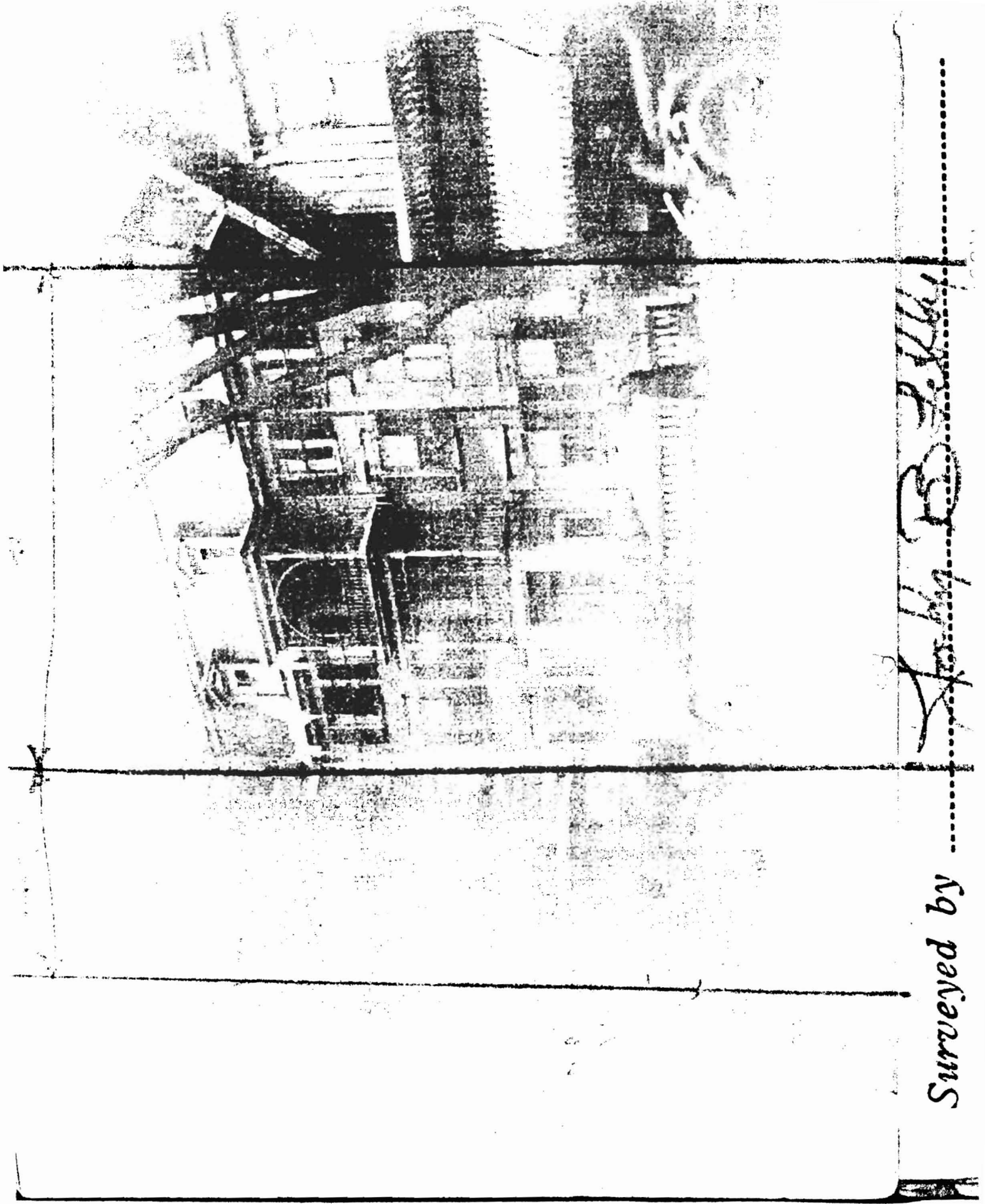




612-71 46-D-23

Surveyed by

John D. Kelly



Surveyed by

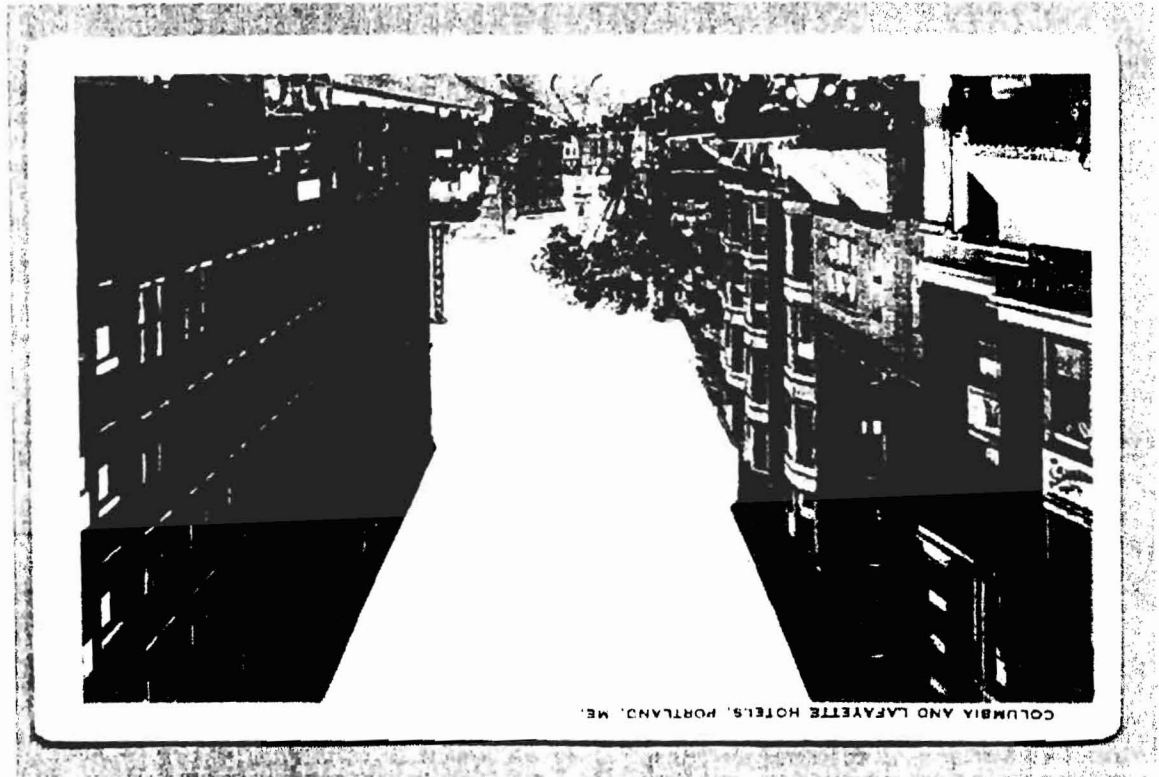
John B. Kelly

0-19208



REAR VIEW OF THE BUILDING

1936



COLUMBIA AND LAFAYETTE HOTELS, PORTLAND, ME.

CLASDS



COLUMBIA HOTEL PORTLAND MAINE

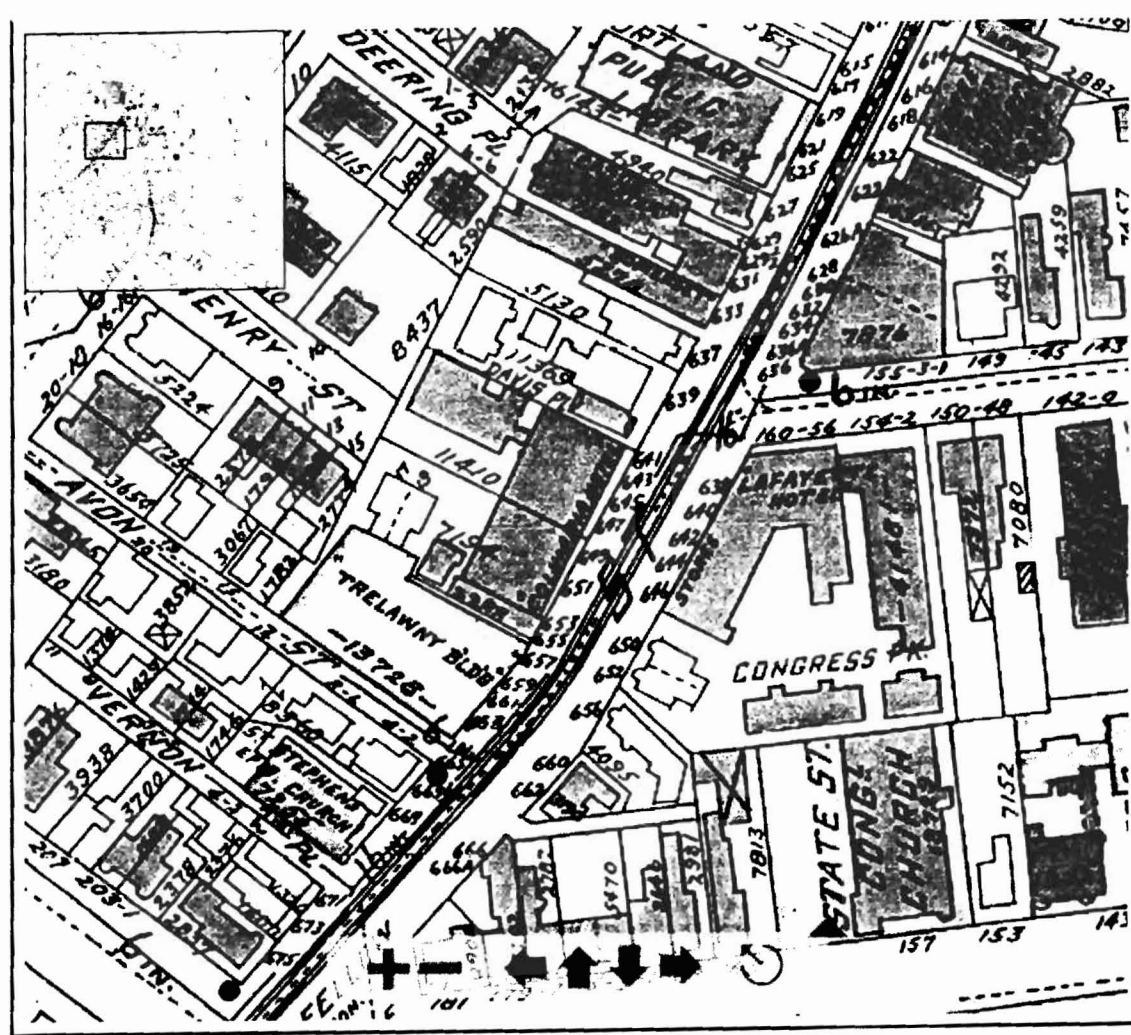
C. CHS-505



The Columbia Hotel, Portland, Maine



Registration
for 2008!
CLICK HERE



 Size and Price

[Hide Comments](#)

0 Comment(s). This map has been viewed 32 times since 8/24/07.

