



Certificate of Occupancy

LOCATION 50 DANFORTH ST CBL 040 C009001

Issued to Brown J B/J B Brown & Sons Date of Issue 01/25/2010

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0455, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

1st floor -front 50 Danforth St

APPROVED OCCUPANCY

Retail/Production/Office
Use Group : F-I/M Type : 3B
IBC 2003

Limiting Conditions: None

This certificate supersedes
certificate issued PFD (Ben Wallace)

Approved:

1-25-10 *[Signature]*

(Date) Inspector

[Signature]

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

PLUMBING APPLICATION

Friday 8/4.
831-2773 Steve

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation: Portland
 Street Subdivision Lot #: 54 Denforth St
 PROPERTY OWNERS NAME

Last: J B Brown

Applicant Name: Steve Givazzo Plumbing Inc

Mailing Address of Owner/Applicant (If Different): 17 Burnham Rd
Scarborough, ME 04074

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

[Signature]
Signature of Owner/Applicant

8/5/09
Date

PORTLAND

PERMIT # 11015 TOWN COPY

Date Permit Issued: 8 5 09

\$ 164 If Double Fee Charged

[Signature]
Local Plumbing Inspector Signature

L.P.I. # 2926

2009-8142

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for

- 1. NEW PLUMBING
- 2. RELOCATED PLUMBING

Type of Structure To Be Served:

- 1. SINGLE FAMILY DWELLING
- 2. MODULAR OR MOBILE HOME
- 3. MULTIPLE FAMILY DWELLING
- 4. OTHER - SPECIFY commercial

Plumbing To Be Installed By:

- 1. MASTER PLUMBER
- 2. OIL BURNERMAN
- 3. MFG'D. HOUSING DEALER/MECHANIC
- 4. PUBLIC UTILITY EMPLOYEE
- 5. PROPERTY OWNER

LICENSE # 7844

Hook-Up & Piping Relocation Maximum of Hook-Up

HU
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
[\$6.00]

Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
	Hosebib / Sillcock		Bathtub (and Shower)
1	Floor Drain		Shower (Separate)
	Urinal	1	Sink
	Drinking Fountain	3	Wash Basin
	Indirect Waste		Water Closet (Toilet)
	Water Treatment Softener, Filter, etc.		Clothes Washer
1	Grease / Oil Separator		Dish Washer
	Roof Drain		Garbage Disposal
	Bidet	1	Laundry Tub
	Other: _____	1	Water Heater
	Fixtures (Subtotal) Column 2	6	Fixtures (Subtotal) Column 1
		2	Fixtures (Subtotal) Column 2
		8	Total Fixtures
			Fixture Fee
			Transfer Fee
			Hook-Up & Relocation Fee
			Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

64.00

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 7-16-09
 Permit # 2009-4394
 CBL# 040-2009

LOCATION: 52 Danforth st METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER JB Brown + Sons
 TENANT _____ PHONE # _____

							TOTAL EACH FEE		
OUTLETS	10	Receptacles	8	Switches		Smoke Detector	.20	260	
FIXTURES		Incandescent	13	Fluorescent	6	Strips	.20	4.80	
SERVICES		Overhead		Underground		TTL AMPS <800	15.00		
		Overhead		Underground		>800	25.00		
Temporary Service		Overhead		Underground		TTL AMPS	25.00		
							25.00		
METERS		(number of)					1.00		
MOTORS		(number of)					2.00		
RESID/COM		Electric units					1.00		
HEATING		oil/gas units		Interior		Exterior	5.00		
APPLIANCES		Ranges		Cook Tops	2	Wall Ovens	2.00	400	
		Insta-Hot		Water heaters		Fans	2.00		
		Dryers		Disposals		Dishwasher	2.00		
		Compactors		Spa	1	Washing Machine	2.00	200	
		Others (denote)					2.00		
MISC. (number of)	1	Air Cond/win					3.00	300	
		Air Cond/cent				Pools	10.00		
		HVAC		EMS		Thermostat	5.00		
		Signs					10.00		
		Alarms/res					5.00		
		Alarms/com					15.00		
		Heavy Duty(CRKT)					2.00		
		Circus/Carnv					25.00		
		Alterations					5.00		
		Fire Repairs					15.00		
	E Lights					1.00			
	E Generators					20.00			
PANELS		Service		Remote		Main	4.00		
TRANSFORMER		0-25 Kva					5.00		
		25-200 Kva					8.00		
		Over 200 Kva					10.00		
							TOTAL AMOUNT DUE		
							MINIMUM FEE/COMMERCIAL	55.00	
							MINIMUM FEE	45.00	

JUL 16 2009

CONTRACTORS NAME Fred Greenier MASTER LIC. # 14948
 ADDRESS PO Box 1487 Portland maine LIMITED LIC. # _____
 TELEPHONE 807-0169

SIGNATURE OF CONTRACTOR Fred Greenier

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING PERMITS

Please Read Application And Notes. If Any, Attached

Permit Number: 090455
PERMIT ISSUED
JUN - 3 - 2009
CITY OF PORTLAND

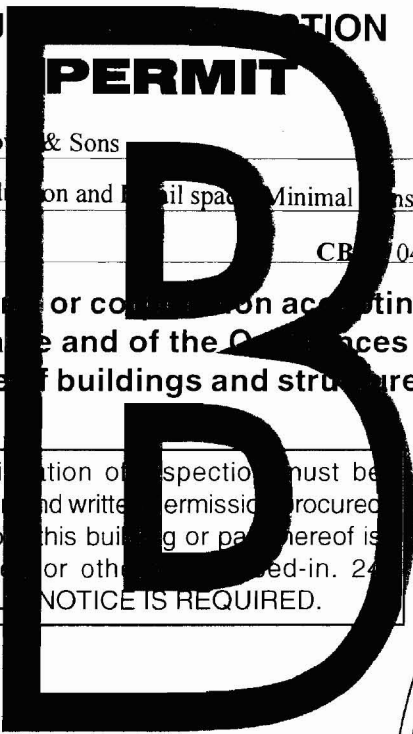
This is to certify that BROWN J B & SONS/J B Brothers & Sons
has permission to Change of Use to Bakery Production and Mail space Minimal Construction, Closing in 3 door Openings, Install New Exterior Windows
AT 50 DANFORTH ST CB 040 C009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.



OTHER REQUIRED APPROVALS

Fire Dept. CRPT. R. Soutter
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeanne Bowke 6/3/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0455	Issue Date:	CBL: 040 C009001
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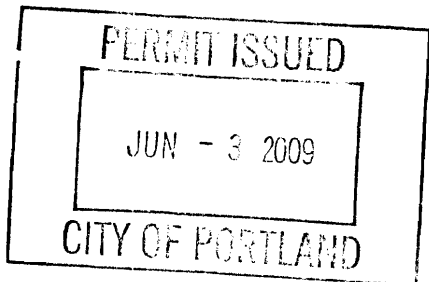
Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone: 207-774-5908
Business Name:	Contractor Name: J B Brown & Sons	Contractor Address: 36 danforth Portland	Phone: 2077745908
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-3

Past Use: Construction Office/Warehouse	Proposed Use: Retail/Production/Office - Change of Use to Bakery Production and Retail space. Minimal Construction, Closing in 3 door Openings, Installing Exterior Windows.	Permit Fee: \$245.00	Cost of Work: \$15,000.00	CEO District: 1
Proposed Project Description: Change of Use to Bakery Production and Retail space. Minimal Construction, Closing in 3 door Openings, Installing Exterior Windows.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: F-1/M Type: 3B JBC-2003 non-segregated	
		Signature: (Klo)	Signature: JMB 6/3/09	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 05/12/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 5/15/09	Date:	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE


6/29/09 Vin Veraneau had the architect Fox Fire Separation justification between Bakery F-1 and Vacant space. This was done referencing The IBC 2006 code. I asked that they run the #'s for mixed use non-separated in order to not have 2hr Fire partition.

7/29/09 Application came in for Fit up of The bakery/retail. This building is now 11,671 SF 1 story - with sprinklers. The area can increase 300% for 1 story. This building can be classified mixed use non separated. - JMB

8-20-09 - Punch List: label panels & exit lights, emergency lights in both rooms, cap pipe in basement, relocate exit light in shipping, knock box install sprinkler & fire test sheets, install single outlet for sub pump basement

J.B. Brown - needs to remove old oil burner & tanks in basement. Clean basement area of debris, for PFD

8-21-09 - Punch list completed: Received sprinkler report (Just need OK from PFD on basement)

1-25-10 Spoke with J.B. Brown all work has been completed in basement and Ben (PFD) is OK with issuing CO 

From: Benjamin Wallace
To: Willow Williams
Date: 8/20/2009 12:51:27 PM
Subject: Re: 52 Danforth

If it is permanently out of service then it needs to go. The same goes for any out of service systems/devices such as electrical. The code no longer allows these systems to be abandoned in place. Thanks,

Benjamin A. Wallace Jr.
Fire Prevention Officer
Portland Fire Department
380 Congress Street
Portland, Maine 04101
(207)756-8096
wallaceb@portlandmaine.gov

>>> "Willow Williams" <willow.williams@jbbrown.com> 08/20 12:09 PM >>>
Officer Wallace,

Thank you for your assistance this morning at 52 Danforth Street.

I was not on site for the entire inspection and do have a few questions. Would I be allowed to remove the oil tanks and the burner, but keep the non-combustible furnace in place?

I have requested the letters/reports from Protection One and Sprinkler Systems Inc. and will forward them to you as soon as I receive them.

Willow Williams

CC: Mike Menario

**J.B. BROWN & SONS
36 DANFORTH STREET
P.O. BOX 207
PORTLAND, ME 04112-0207
PHONE: 207-774-5908
FAX: 207-774-0898**

Date: August 21, 2009

To: Ben Wallace, Jr. Fire Prevention Officer 207-874-8410

From: Willow Williams

Number of pages (including cover) 3

Attached are the letters from Protection One and Sprinkler Systems, Inc. relating to 52 Danforth Street in Portland.

Please let me know if there is anything else that you need.

Sprinkler Systems, Inc.

P.O. Box 1285

Lewiston, Maine 04243-1285

Ph. (207) 782-0104 Fax (207) 783-4865

Fire Protection Professionals Since 1973

August 20, 2009

Fire Prevention Bureau
Portland Fire Department
380 Congress Street
Portland, ME 04101
(207)874-8405

Attn: Captain Keith Gautreau

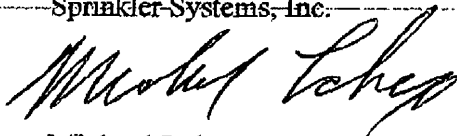
Re: 52 Danforth Street

~~Dear Captain Keith Gautreau~~

Please be advised that all fire sprinkler renovations and additions at 52 Danforth Street are designed, fabricated, and installed in accordance with NFPA-13, the City of Portland, and the State of Maine.

If there are any questions or concerns please do not hesitate to call.

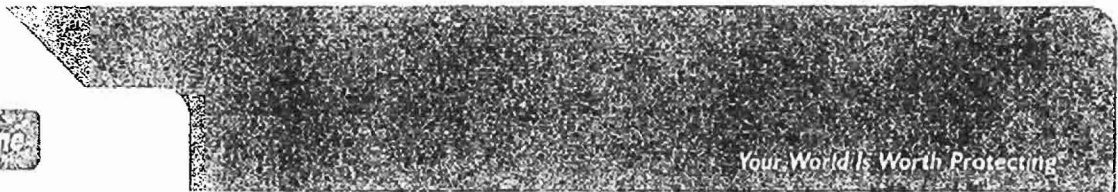
Very truly yours,
Sprinkler-Systems, Inc.



Michael Lahey
General Manager



www.ProtectionOne.com



August 20th, 2009

Fire Code Enforcement
Portland Fire Department
380 Congress St.
Portland, Maine 04101

To Whom It May Concern,

Scope of Work:

- 1. Add Horn/Strobes and Strobes to new build out space.
- 2. Relocate one pull station.
- 3. Add one pull station

I'm writing to inform you that the above listed scope of work for the fire system equipment added at JB Brown 52 Danforth St. Portland, Maine 04112 was tested on August 20th, 2009 from the building to the panel and from the panel to Protection One's Central Station located at 4221 W. Carpenter Freeway, Irving, TX 75063 in accordance with NFPA 72, *National Fire Alarm Code*.

Sincerely,

John Kempton 8-20-09
John Kempton
Operations Installation Supervisor

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0455	Date Applied For: 05/12/2009	CBL: 040 C009001
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Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone: 207-774-5908
Business Name:	Contractor Name: J B Brown & Sons	Contractor Address: 36 danforth Portland	Phone: (207) 774-5908
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Retail/Production/Office - Change of Use to Bakery Production and Retail space. Minimal Construction, Closing in 3 door Openings, Installing Exterior Windows.	Proposed Project Description: Change of Use to Bakery Production and Retail space. Minimal Construction, Closing in 3 door Openings, Installing Exterior Windows.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/15/2009

Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/03/2009

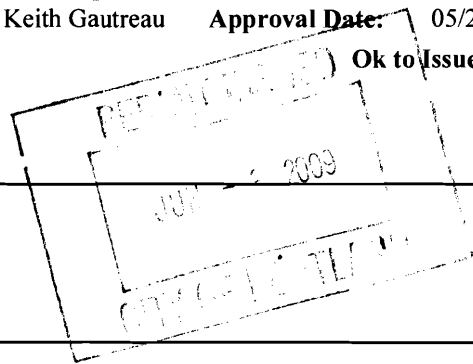
Note: **Ok to Issue:**

- 1) A separate application for permit is required for the tenant fit up of this bakery space and any other vacant space.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/27/2009

Note: **Ok to Issue:**

- 1) Cooking equipment shall be protected if required by NFPA 101.
- 2) Emergency lights and exit signs are required

**Comments:**

5/13/2009-lmd: If you have any questions please see Gayle, she took in the permit.

6/3/2009-jmb: Vin V. Came into the office and we reviewed the details of proposed work as noted on the plans, the lesee will need a separate permit for fit up. Ok to issue

6/2/2009-jmb: Left vmsg for Vin V. For details on internal stairs, discrepancy of plans for infill fo doors, how are they infilled, window specs, bakery layout, hoods

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



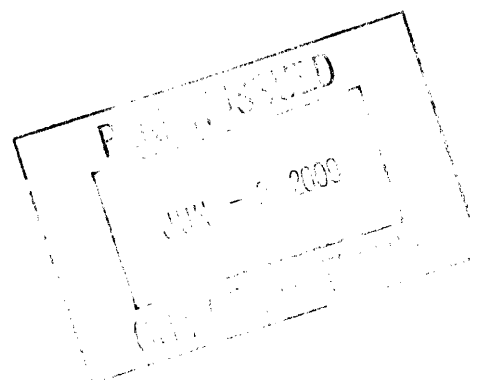
Signature of Applicant/Designee

6/3/09
Date



Signature of Inspections Official

6/3/09
Date





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>52 Danforth Street</u>		
Total Square Footage of Proposed Structure (Area) <u>4650 sf (3600sf - production; 1050sf office)</u>		Square Footage of Lot <u>52,688 sf</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>C</u> Lot# <u>9</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>J. B. Brown & Sons</u> Address <u>36 Danforth St</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>(207) 774-5908</u>
Lessee/DBA (If Applicable) <u>Cranberry Island Kitchens</u>	Owner (if different from Applicant) Name <u>MAY 12 2009</u> Address City, State & Zip	Cost Of <u>(215000)</u> Work: \$ <u>170</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>245.00</u>
Current legal use (i.e. single family) <u>vacant Warehouse</u> If vacant, what was the previous use? <u>contractor office, warehouse & wood working shop</u> Proposed Specific use: <u>retail, office & production space for bakery company</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Converting wood working shop space (3600 sf) to bakery production and converting 1050 sf of office space to office & retail space. Construction is minimal and consists of closing 3 door openings and installing exterior windows in existing openings.</u>		
Contractor's name: <u>J. B. Brown & Sons</u> Address: <u>36 Danforth St</u> City, State & Zip: <u>Portland, ME 04101</u> Telephone: <u>774-5908</u> +tax Who should we contact when the permit is ready: <u>Vin Veroneau</u> Telephone: <u>774-5908</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit. MAY 12 2009

Signature: [Signature] Date: 5/12/09

This is not a permit; you may not commence ANY work until the permit is issue

HKTA / a r c h i t e c t s

June 29, 2009

J. B. Brown & Sons
Vincent P. Veroneau
36 Danforth Street
Portland, Maine 04101

About: Danforth Street Renovation

Dear Vin,

Following up on our site visit to observe the construction assembly between what will be a Bakery and the adjacent space to the east, I offer the following observations and recommendations. The building has an automatic sprinkler system.

1. IBC 2006 Section 306 classifies Bakeries as F-1.
2. Section 508 describes the provisions governing the conditions when a building contains more than one use. In Section 508.3.3.4 Separation, table 508.3.3 provides the required separation between areas containing the separated uses. In this table for a sprinkled facility, the required separation is 1 hour for assembly, educational, institutional and residential uses. There is no separation required between mercantile, business or storage. There is a two-hour rated separation for an H-2 occupancy.
3. IBC Chapter 7 Fire Resistance Rated Construction, Section 712.6 contains procedures by which the fire resistance ratings for wood assemblies are established by calculations. These calculations are to be used only for one hour rated assemblies.
4. Table 721.6.2(1) calculates that the existing wall can achieve a one-hour rating.

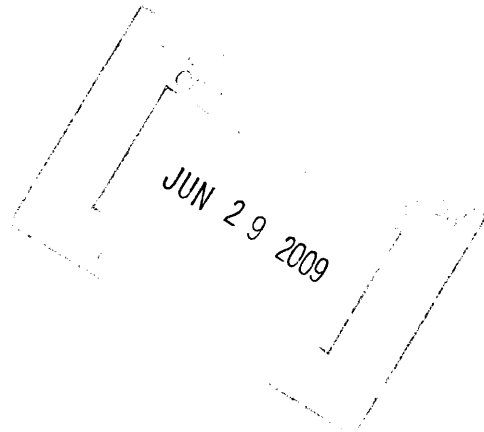
It is recommended that the existing wall be used as the fire resistant assembly, however the owner must remove any extraneous pieces of wood and seal, patch and repair all holes, voids or penetrations so that the wall is continuous and tight providing a barrier through its height and length. In addition, the dry wall assembly must be extended to the underside of the roof deck with a minimum of one layer of 5/8" type x GWB each side. All joints are to be taped and sealed. The top of the wall and any perimeter conditions to dissimilar materials are to be sealed with a fire sealant. Any conduit penetrations shall also be fire sealed.

If you have any questions, please do not hesitate to contact us.

Sincerely,



Robert E Howe, AIA, LEED AP



Fax Transmittal

HKTA/architects

50 Danforth

HKTA/architects inc.
482 Congress St. Suite 502
Portland, Maine 04101
207-774-6016 Fax: 774-9128

TO: JEANIE BOURKE Date: 6/29/09
 _____ Re: _____
 Fax #: 874-8716 Job #: _____
 Subject: _____

NUMBER OF PAGES INCLUDING THIS PAGE: 3

MESSAGE:
PAGES: 5-34 & 5-32 from IBC

Copy to: Signed R

GENERAL BUILDING HEIGHTS AND AREAS

Step 2: Separate the occupancies in accordance with Table 508.3.3 with fire barrier walls and horizontal assemblies in accordance with Sections 706 and 710 (Section 508.3.3.4).

Step 3: Apply all code requirements for each fire area individually based on the occupancy or occupancies present (i.e., design occupant load, means of egress elements, exterior wall requirements, etc.) including fire protection code provisions contained in Section 403, as applicable, and Chapter 9 (Section 508.3.3.1). For the application of code provisions, each fire area is taken into consideration separately. Again, it should be remembered that Table 508.3.3 may not require a separation, but this only applies to the determination of the height and area of the building and does not create separate fire areas. Such areas are determined in accordance with Section 706.3.9. If a code section identifies requirements as applicable to a mercantile occupancy, it is only applied to the fire area of the building classified in Group M. The same holds true for the business occupancy fire area. Unlike the first and second options (accessory uses and nonseparated uses), the provisions of Section 403 and Chapter 9 are applied only to the appropriate fire areas unless otherwise indicated in Chapter 9. For example, Section 903.2.5 requires an automatic sprinkler system to be provided throughout all buildings that contain a Group I fire area.

Step 4: Determine the minimum type of construction of a building based on the height limitations of Sections 503 and 504 and the area limitations of Sections 503 and 506 (Sections 508.3.3.2 and 508.3.3.3).

Part A: Determine the minimum type of construction required based on the height of each occupancy relative to the grade plane (Section 508.3.3.3).

Part B: Determine the minimum type of construction based on a weighted average of areas occupied by the various occupancies (Section 508.3.3.2).

508.3.3.1 Occupancy classification. Separated occupancies shall be individually classified in accordance with Section 302.1. Each fire area shall comply with this code based on the occupancy classification of that portion of the building.

❖ In the separated uses option, occupancies in different uses that are to be evaluated as separated uses must be separated in accordance with Table 508.3.3. When a separation is required they must be separated completely, both horizontally and vertically, with fire barriers and horizontal assemblies (see Sections 706 and 710). It is the designer's option to use a combination of nonseparated and separated uses. In such cases, occupancies that are required to be separated in accordance with Table 508.3.3 but are not separated are to be evaluated as nonseparated occupancies in accordance with Section 508.3.2.

508.3.3.2 Allowable area. In each story, the building area shall be such that the sum of the ratios of the actual floor area of each occupancy divided by the allowable area of each occupancy shall not exceed one.

❖ For each story, it must be determined that the sum of the ratios of the actual floor area of each separated occupancy, respective to the most restrictive occupancy contained therein as compared to the floor areas allowed by Table 503 and as modified by Section 506 for each respective occupancy, does not exceed one. In the evaluation of allowable area, intervening fire barrier walls between different fire areas containing the same occupancy are not a consideration. In determining the floor area per occupancy, all fire areas of the same occupancy are added together.

In determining the allowable areas for each occupancy, the tabular areas from Table 503 are permitted to be modified in accordance with the provisions of Section 506; thus, the allowable areas are intended to include the increases permitted for sprinklers and open perimeter. For determination of the allowable perimeter increase, use the entire building perimeter—not the occupancy perimeters. If considering the sprinkler increase, the entire building must be sprinklered, not just particular occupancies.

508.3.3.3 Allowable height. Each occupancy shall comply with the height limitations based on the type of construction of the building in accordance with Section 503.1. The height, in both feet and stories, of each fire area shall be measured from grade plane. This measurement shall include the height, in both feet and stories, of intervening fire areas.

Exception: Special provisions permitted by Section 509.

❖ The allowable height is occupancy dependant. As long as individual occupancies meet the height limitations based upon a measurement from grade plane then the building complies. For example, a building of Type IIB construction with no increases for sprinklers containing a Group B occupancy and a Group F-2 occupancy could be four stories. The only limitation in this case, in terms of building height, would be that the Group F-2 occupancy could not be located any higher than the third story.

508.3.3.4 Separation. Individual occupancies shall be separated from adjacent occupancies in accordance with Table 508.3.3

❖ Table 508.3.3 provides the required separation between the fire areas containing the separated uses. For example, a completely sprinklered building of Type VB construction contains areas devoted to business and assembly occupancies. The designer has chosen the separated uses option and has completely separated the areas containing the two different occupancies by fire barrier walls and horizontal assemblies having a minimum 1-hour fire-resistance rating in accordance with Table 508.3.3. This is found by consulting the box that intersects with "A, E" in the first column with "B, F-1, M, S-1" in the first row and, because the entire building is sprinklered, the fire-resistance rating

GENERAL BUILDING HEIGHTS AND AREAS

of the fire barrier walls and horizontal assemblies is required to be 1 hour, as indicated in the column designated "S." Had the building not been sprinklered, the required rating would have been 2 hours, as indicated in the column designated "NS."

Note that Table 508.3.3 contains groupings of some of the occupancies, including:

- A, E
- I
- R
- F-2, S-2, U
- B, F-1, M, S-1
- H-3, H-4, H-5

with the remaining occupancies, Group H-1 and H-2 residing in their own group.

These groupings are groups of occupancies that share the same level of hazard, mainly with respect to fire safety. It is possible, therefore, to have two occupancies that comply with these separated use provisions that require no separation between them. For instance, a mixed occupancy of Groups B and M would not be required to have a separation between them, but the provisions for calculation of the sum of the ratios of actual areas to allowable areas could still be applied to this circumstance.

TABLE 508.3.3. See below.

❖ The purpose of Table 508.3.3 is to set forth the fire-resistance rating required for fire barrier walls and horizontal assemblies used to separate occupancies. The fire-resistance rating of the separation between different occupancies is based on the relative anticipated fire severity of the occupancies.

Note a: See the commentary for Section 903.2.4.2.

Note b: Many business and mercantile occupancies are very similar in operation and to the types of storage that may occur. Storage rooms that are greater than 100 square feet (9 m²) in area and satisfy any of the three options listed are not required to be separated from the business or mercantile occupancy.

It should be noted that Group S-1 occupancies would not require a separation in accordance with Table 508.3.3 but Group S-2 would be required to be separated.

Note c: The fire-resistance rating of spaces used solely for private or pleasure vehicles may be reduced by 1 hour.

Note d: See the commentary for Section 406.1.4.

Note e: Kitchens and the restaurants they serve need not be separated from each other by fire barrier walls.

Example 1: A four-story building contains a retail store on the first floor, a lecture hall on the second

TABLE 508.3.3
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

OCCUPANCY	A ^a , E		I		R ^b		F-2, S-2 ^{c,d} , U ^d		B ^b , F-1, M ^b , S-1		H-1		H-2		H-3, H-4, H-5	
	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS
A ^a , E ^c	N	N	1	2	1	2	N	1	1	2	NP	NP	3	4	2	3 ^a
I	—	—	N	N	1	NP	1	2	1	2	NP	NP	3	NP	2	NP
R ^d	—	—	—	—	N	N	1	2	1	2	NP	NP	3	NP	2	NP
F-2, S-2 ^{c,d} , U ^d	—	—	—	—	—	—	N	N	1	2	NP	NP	3	4	2	3 ^a
B ^b , F-1, M ^b , S-1	—	—	—	—	—	—	—	—	N	N	NP	NP	2	3	1	2 ^a
H-1	—	—	—	—	—	—	—	—	—	—	N	NP	NP	NP	NP	NP
H-2	—	—	—	—	—	—	—	—	—	—	—	—	N	NP	1	NP
H-3, H-4, H-5	—	—	—	—	—	—	—	—	—	—	—	—	—	—	N	NP

For SI: 1 square foot = 0.0929 m².

S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.

NS = Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.

N = No separation requirement.

NP = Not permitted.

a. For Group H-5 occupancies, see Section 903.2.4.2.

b. Occupancy separation need not be provided for storage areas within Groups B and M if the:

1. Area is less than 10 percent of the floor area;
2. Area is equipped with an automatic fire-extinguishing system and is less than 3,000 square feet; or
3. Area is less than 1,000 square feet.

c. Areas used only for private or pleasure vehicles shall be allowed to reduce separation by 1 hour.

d. See Section 406.1.4.

e. Commercial kitchens need not be separated from the restaurant seating areas that they serve.



ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 3/17/09
 Permit # 2009-4142
 CBL# 40CS

LOCATION: 52 DANFORTH STREET METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER J B BROWN
 TENANT _____ PHONE # (207) 774-5908

TOTAL EACH FEE

OUTLETS	Receptacles	Switches	Smoke Detector		
				.20	
FIXTURES	Incandescent	Fluorescent	Strips	.20	
SERVICES	Overhead	Underground	TTL AMPS <800	15.00	
	Overhead	Underground	TTL AMPS >800	25.00	
Temporary Service	Overhead	Underground	TTL AMPS	25.00	
				25.00	
METERS	(number of)			1.00	
MOTORS	(number of)			2.00	
RESID/COM	Electric units			1.00	
HEATING APPLIANCES	oil/gas units	Interior	Exterior	5.00	
	Ranges	Cook Tops	Wall Ovens	2.00	
	Insta-Hot	Water heaters	Fans	2.00	
	Dryers	Disposals	Dishwasher	2.00	
	Compactors	Spa	Washing Machine	2.00	
	Others (denote)			2.00	
MISC. (number of)	Air Cond/win			3.00	
	Air Cond/cent		Pools	10.00	
	HVAC	EMS	Thermostat	5.00	
	Signs			10.00	
	Alarms/res			5.00	
FIRE ALARM	Alarms/com			15.00	
	Heavy Duty(CRKT)			2.00	
	Circus/Carnv			25.00	
	Alterations			5.00	
	Fire Repairs			15.00	
	E Lights			1.00	
	E Generators			20.00	
PANELS	Service	Remote	Main	4.00	
TRANSFORMER	0-25 Kva			5.00	
	25-200 Kva			8.00	
	Over 200 Kva			10.00	
				TOTAL AMOUNT DUE	
MINIMUM FEE/COMMERCIAL <u>55.00</u>				MINIMUM FEE	45.00

90

CONTRACTORS NAME PROTECTION ONE MASTER LIC. # MC 60018702
 ADDRESS 10 MANUEL DR. PORTLAND, ME 04103 LIMITED LIC. # _____
 TELEPHONE (207) 347-5316

SIGNATURE OF CONTRACTOR [Signature]

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

**BUILDING REVISION
PERMIT**

Permit Number: 090759
JUL 30 2009
CITY OF PORTLAND

This is to certify that Brown J.B./Cranberry Island Kitchen
has permission to Bakery - tenant fit up for production & off-site/retail space
AT 50 Danforth St C 040 C009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. APPR. N. Gauthier
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Burke
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

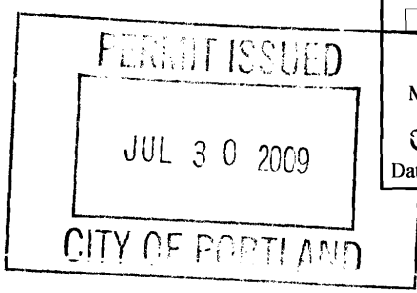
Permit No: 09-0759	Issue Date:	CBL: 040 C009001
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Location of Construction: 50 Danforth St	Owner Name: Brown J B	Owner Address: Po Box 207	Phone:
Business Name:	Contractor Name: Cranberry Island Kitchen	Contractor Address: 164 Woodville Road Falmouth	Phone 2074155140
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Office/Warehouse - Change of use to Retail, production & office for bakery permit #09-0455 <i>CUT</i>	Proposed Use: Bakery - tenant fit up for production & office/retail space	Permit Fee: \$350.00 \$325.00	Cost of Work: \$23,000.00	CEO District: 1
Proposed Project Description: Bakery - tenant fit up for production & office/retail space		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: F-1/m Type: 3B IBC-2003 Signature: JMB 7/30/09 <i>mixed use non-separated</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: tmm	Date Applied For: 07/21/2009	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok w/conditions</i> Date: 7/22/09 ABU	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABU Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

8-21-09 Panel list completed, OK issue CO by E M
Note: would like a letter from J.B. Brown about the
oil tanks + furnace removal before releasing CO.
by E M

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0759	Date Applied For: 07/15/2009	CBL: 040 C009001
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Location of Construction: 50 Danforth St	Owner Name: Brown J B	Owner Address: Po Box 207	Phone:
Business Name:	Contractor Name: Cranberry Island Kitchen	Contractor Address: 164 Woodville Road Falmouth	Phone (207) 415-5140
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Bakery - tenant fit up for production & office/retail space	Proposed Project Description: Bakery - tenant fit up for production & office/retail space
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/22/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits shall be required for any new signage.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 07/30/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard at 34" to 38". New stairs shall be max. 7" rise and min. 11" tread depth measured nose to nose.			
2) Approval of City license is subject to health inspections per the Food Code.			
3) New cafe, restaurant, lounge, bar or retail establishment where food or drink is prepared shall meet the requirements of the City and State Food Codes			
4) Equipment must be installed in compliance per the manufacturer's specifications			
5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
6) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			
7) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 07/23/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Fire extinguishers required. Installation per NFPA 10			
2) All construction shall comply with NFPA 101			

Comments:
7/29/2009-jmb: Left vmsg for Vin V. To confirm the entry stairs to the retail/office space and employee entrance code compliance. Also confirmed that this building can be classified mixed use non separated.
7/30/2009-jmb: Spoke to Vin V., he went to the site to verify the stairs and called back. The employee entrance stairs do not exist, so they will install a code compliant precast stair with guards and handrails (42" off grade). The retail entrance has an existing brick layed stair that is not code compliant for rise and they are not replacing. The guard and handrails will be installed to meet code. Ok to issue

09-0759



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>52 DANFORTH ST.</u>		
Total Square Footage of Proposed Structure/Area <u>4,650 sf (3,600² production, 1050² retail office)</u>	Square Footage of Lot <u>52,688²</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>4C</u> Block# <u>C</u> Lot# <u>9</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>CRANBERRY ISLAND KITCHEN</u> Address <u>164 WOODVILLE RD.</u> City, State & Zip <u>FALMOUTH, ME 04105</u>	Telephone: <u>207-415-5140</u>
(Lessee) DBA (If Applicable) <u>CRANBERRY ISLAND KITCHEN</u>	Owner (if different from Applicant) Name <u>J. B. BROWN & SONS</u> Address <u>36 DANFORTH ST.</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>23,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Change of use permit - 09-0455</u> If vacant, what was the previous use? <u>CONTRACTOR OFFICE, WAREHOUSE & WOODWORKING SHOP</u> Proposed Specific use: <u>RETAIL OFFICE & PRODUCTION SPACE FOR BAKERY COMPANY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>FITTING OUT FOR BAKERY OPERATION PER ATTACHED LIST OF WORK TO BE PERFORMED, EQUIPMENT TO BE INSTALLED AND LAYOUT OF BAKERY PRODUCTION SPACE AND OFFICE / RETAIL SPACE</u>		
Contractor's name: <u>CRANBERRY ISLAND KITCHEN</u> Address: <u>164 WOODVILLE RD.</u> City, State & Zip: <u>FALMOUTH, ME 04105</u> Telephone: <u>415-5140</u> Who should we contact when the permit is ready: <u>CAROL FORD</u> Telephone: <u>SAME</u> Mailing address: _____		

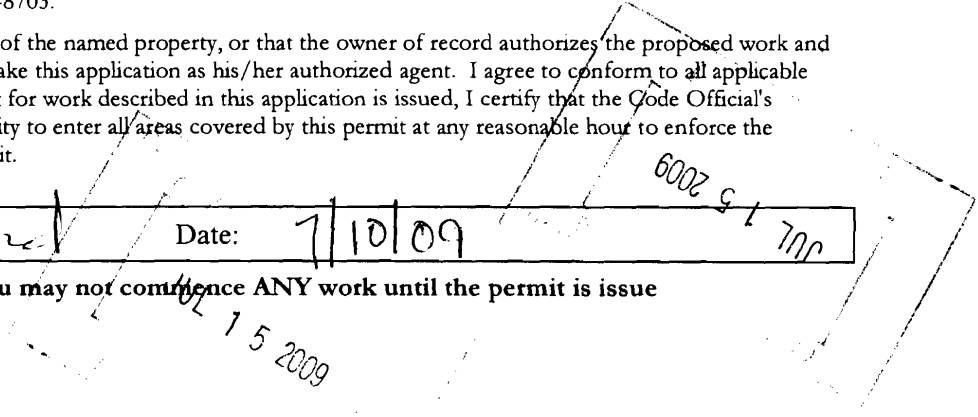
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

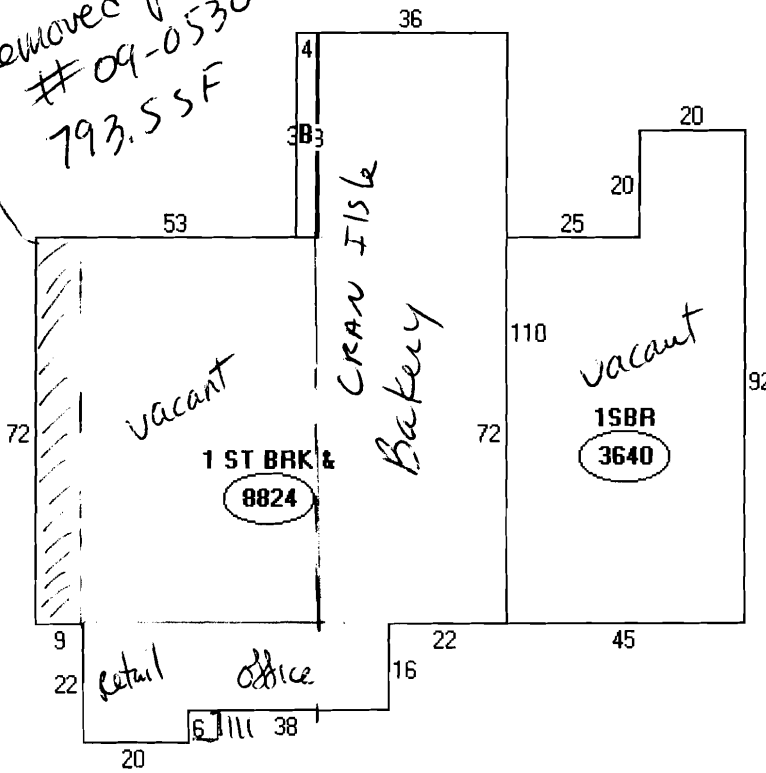
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Carol Ford Date: 7/10/09

This is not a permit; you may not commence ANY work until the permit is issue



Removed permit
09-0530
793.5 SF



Descriptor

- A: 1 ST BRK
8824 sqft
- B: CANOPY
152 sqft
- C: 1SBR
3640 sqft

12,464
- 793 SF demolished

11,671 SF

Sprinklers allows
increase in ht by
1 story
300% area
mixed use non-separated



July 10, 2009

Jeanine Bourke
Director, Building & Inspections Services
City of Portland
Inspections Division Office
315 City Hall
Portland, Maine

Dear Jeanie,

Enclosed is our application for fitting out 52 Danforth Street for Cranberry Island Kitchen's production bakery and retail space. Please let us know if you need any additional information. Needless to say, we would appreciate your quick response.

Thanks in advance.

Carol Ford, President
Cranberry Island Kitchen
415-5140

JUL 15 2009
Envelope dropped off
Put in Room 315
Put in JMB Box

Temporary Address: 164 Woodville Road, Falmouth, ME 04105



Re: Build-Out of 52 Danforth Street

July 1, 2009

Following is the detailed list of work to be performed at 52 Danforth Street, Portland, in preparation for Cranberry Island Kitchen's bakery operations:

Plumbing:

- Core holes in 6" concrete floor for rough-in for 3-bay sink with grease trap, retail space hand sink, production area hand sink, cool room hand sink, mop sink and washer and dryer to be located in rest room
- Install sinks (to be supplied)
- Provide and install mop sink
- Provide and install 80 gallon gas fired hot water heater
- Pipe gas to ovens (with provision for expansion)
- Pipe gas to hot water heater with vent through roof
- Provide and install grease trap for 3 bay sink
- Notes: 1) all water and drainage piping will be flush mounted to walls

Electrical:

- Provide and install lighting as follows:
 - Eighteen - 2 x 4 troffers with gaskets in production area
 - Three – vapor tight 1 x 4 fluorescent fixtures in cool room
 - Re-feed existing 8 ft strips in loading dock area
- Provide electrical service to the following:
 - Two exhaust hoods (over center table and over ovens)
 - Two 110 volt quad drops over center table
 - Shrink-wrap machine in cool room
 - Combination walk-in freezer/cooler
 - Walk-in freezer in loading dock area
 - Washer and dryer in rest room
 - A/C unit in cool room
 - Hot water heater



Cool Room:

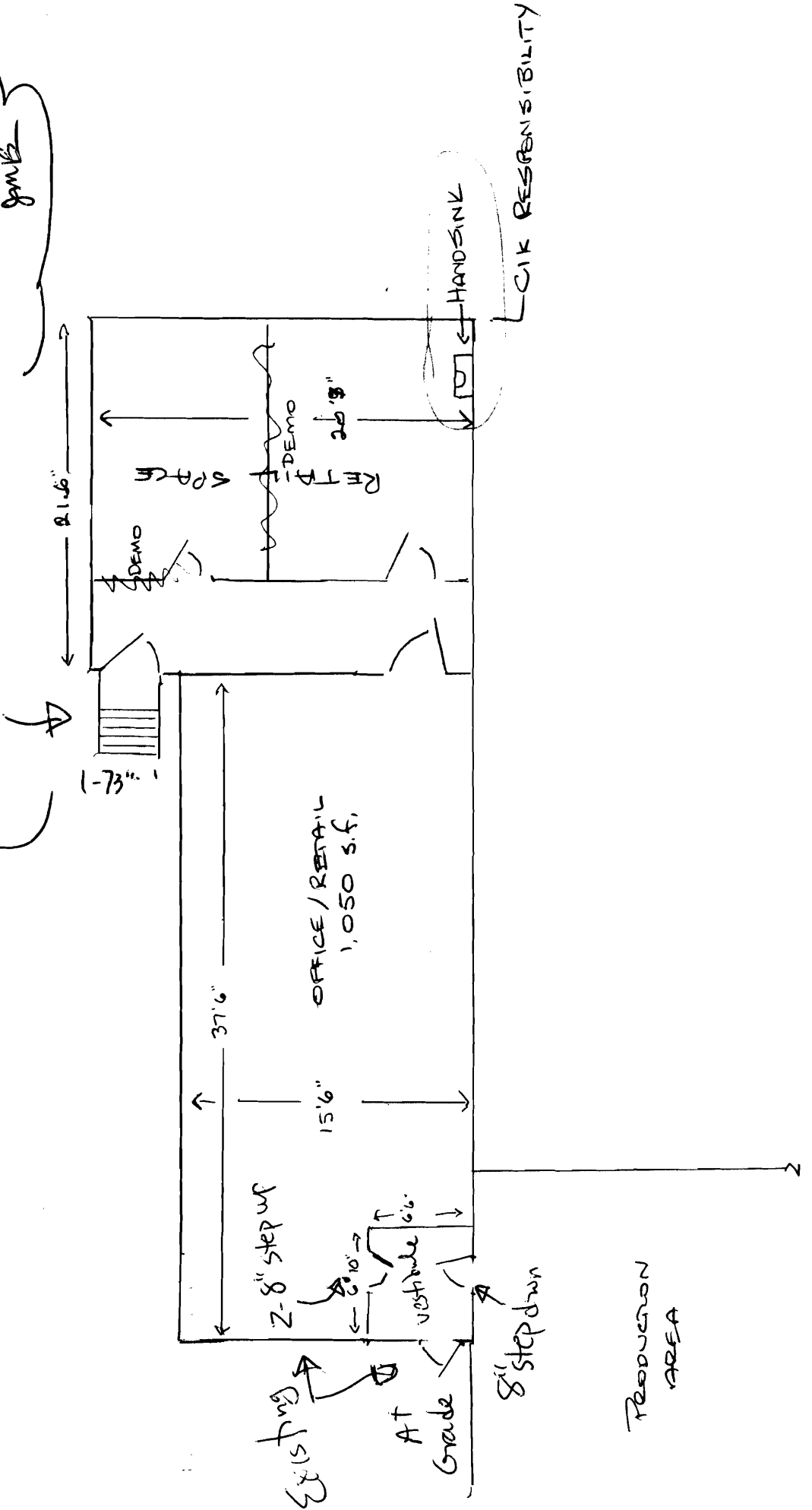
- A cool room will be constructed that will measure 24' long by 8' wide by 12' high beginning at a point 23' from the bump out at the farthest point of the west wall to be bounded by an 8' by 12' high wall at each end
- The 24' wall will consist of two – 3' by 6'8" doors, 18' from the corner, followed by two – 3' high by 6' long plexiglass windows evenly spaced along the wall with 18" of wall space between the two and 18" of solid wall at the end
- The walls will be 2" x 4" studs with R-13 factor insulation, sheathed on both sides with 7/16" OSB and covered with FRP panels on both sides
- Provision for the air conditioning unit placement is included

CRANBERRY ISLAND KITCHEN
 52 DANFORTH ST., PORTLAND, ME
 OFFICE/RETAIL SPACE - 7.1.09
 1,050 SQUARE FEET

Total SF. 8650

Building Sprinklered

7/30/05 Per Vin Veramean
 Existing Steps (brick) non conforming - RISE
 will install code compliant Guards/handrails
 gmb



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

Permit Number: 090805

This is to certify that BROWN J B & SONS/Atlantic restaurant

has permission to Type II Hood Permit

AT 50 DANFORTH ST CB 040 C009001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. P. Johnson

Health Dept. AUG 13 2009

Appeal Board

Other

Department Name
CITY OF PORTLAND

Cheryl M 8/11/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0805	Issue Date: 8/11/09	CBL: 040 C009001
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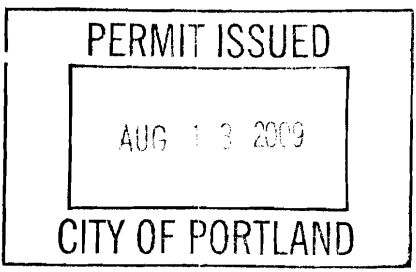
Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone: 207-415-5140
Business Name:	Contractor Name: Atlantic Restaurant Services	Contractor Address: 34 Albion Road Windham	Phone: 2076530645
Lessee/Buyer's Name	Phone:	Permit Type: Hood Systems, Commerical	Zone: B-3

Past Use: Retail Bakery/Cranberry Island Kitchen (#09-0455)	Proposed Use: Retail Bakery/Cranberry Island Kitchen - Type II Hood Permit	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: F-1/M Type: 3B Mixed Use IMC-2003 MSR-rep'd	

Proposed Project Description: Type II Hood Permit	Signature: (KG)	Signature: CL
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Imd	Date Applied For: 07/28/2009	Zoning Approval
-------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/31/09 ABM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABM
---	---	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0805	Date Applied For: 07/28/2009	CBL: 040 C009001
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Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone: 207-415-5140
Business Name:	Contractor Name: Atlantic Restaurant Services	Contractor Address: 34 Albion Road Windham	Phone: (207) 653-0645
Lessee/Buyer's Name	Phone:	Permit Type: Hood Systems, Commerical	

Proposed Use: Retail Bakery/Cranberry Island Kitchen - Type II Hood Permit	Proposed Project Description: Type II Hood Permit
--	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/31/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits shall be required for any new signage.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date: 08/11/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) The Hood shall be installed per IMC 2003 and NFPA 96 This permit is approved based on the plans submitted and updated for reductions in the cleaances based on the application of a UL approved fire wrap or equivalent assembly per code.			
2) This project was approved in conjunction with Section 302.3 and 302.3.1. Of the 2003 IBC, Non Separated Mixed Use			
3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 08/07/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Install shall comply with all manufacture's specifications.			
2) Install shall comply with NFPA 96. A compliance letter is required			

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>52 DANFORTH ST</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>CRANBURY IS. KITCHEN</u>	Telephone: <u>415-5140</u>
<u>40</u> <u>C</u> <u>9</u>	Address <u>52 DANFORTH ST</u> City, State & Zip <u>PORTLAND ME 04106</u>	<u>CAROL FORD</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>JB BROWN</u> Address _____ City, State & Zip <u>PORTLAND</u>	Cost Of Work: \$ <u>4000-</u> C of O Fee: \$ _____ Total Fee: \$ _____
<p><u>JUL 28 2009</u></p> <p>Current legal use (i.e. single family) <u>N/A</u> If vacant, what was the previous use? <u>WAREHOUSE</u> Proposed Specific use: <u>PRODUCTION KITCHEN</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: _____</p>		
Contractor's name: <u>ATLANTIC BLDG. SVC.</u>		
Address: <u>34 ALBION</u>		
City, State & Zip <u>WINDHAM, ME</u>		Telephone: <u>853-0645</u>
Who should we contact when the permit is ready: <u>MARK</u>		Telephone: <u>653-0645</u>
Mailing address: <u>SAME</u>		

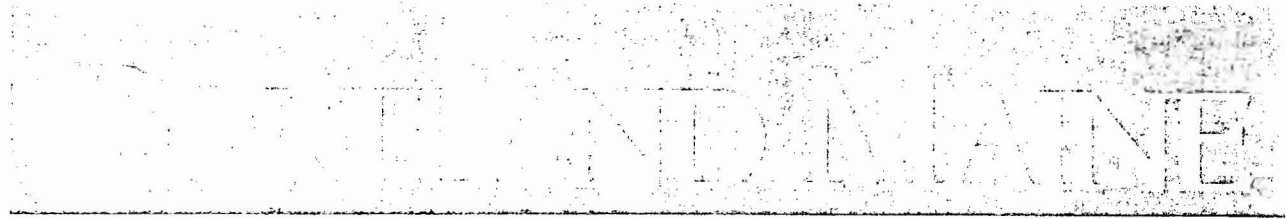
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 1/27/07

This is not a permit; you may not commence ANY work until the permit is issue



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

Kitchen Exhaust System Checklist and code Provisions

Dear Applicant,

The following is a checklist to assist you in filing for a permit for a Kitchen Exhaust system. The applicable Mechanical Code provisions have also been attached. Please complete this and submit job specific construction documents that demonstrate compliance with the attached information.

Type of System:

Type I _____ Type II X

Type I systems are systems that vent fryers, grills, broilers, ovens or woks.
Type II systems are systems that vent steamers and other non grease producing appliances.

Type of Materials:

Is the hood Stainless steel or other type of steel? STAINLESS If Other, what Type? _____

Is the duct work Stainless steel or other type of steel? GALV. If Other, what type? GALV.

Thickness of the steel for the hood 18 GA.

Thickness of the duct for the hood 24 GA.

Type of Hood and Duct Supports
THREADED ROD / CHAIN

Type of seams and Joints WELDED & TAPED

Grease Gutters provided? YES

Hood Clearance reduction to Combustibles design /specs:

N/A

Duct Clearance reduction to Combustibles design /specs:

N/A

Vibration Isolation System:

BUILT IN TO BLOWER

Air Velocity within the duct system _____

Grease accumulation prevention system:

N/A

Cleanouts N/A

Grease Duct enclosure _____

Exhaust Termination Roof Wall _____

Fire Suppression System N/A

Exhaust fan mounting and clearance from the roof / wall or Combustibles:

AT LEAST 10 FT

Exhaust fan distance from property lines + 10 FT

Exhaust fan distance from other vents or openings + 10 FT

Exhaust fan distance from adjacent buildings + 10 FT

Exhaust fan height above adjoining grade + 12"

Hood Specs

Style of Hood BOX STYLE

Type of Filter ALUM. BATTLED

Height of filter above nearest cooking surface N/A

Capacity of hood CFM 6000 CFM

Make up Air system description and capacity

N/A

Atlantic Restaurant Service

34 Albion Road

Windham, ME 04062

207-653-0645

Project: CRANBERRY

ISLAND

KITCHEN

#2

2800 CFM EXHAUST

PREP AREA

PURCHASE

NO TYPE I APPLIANCES

STEEL ROOF JOIST

22 GA ROUND GALV PIPE

FOR OVENS ONLY TYPE II ONLY

STAINLESS EXHAUST HOOD

* HOOD IN LIEU OF DIRECT VENTING *

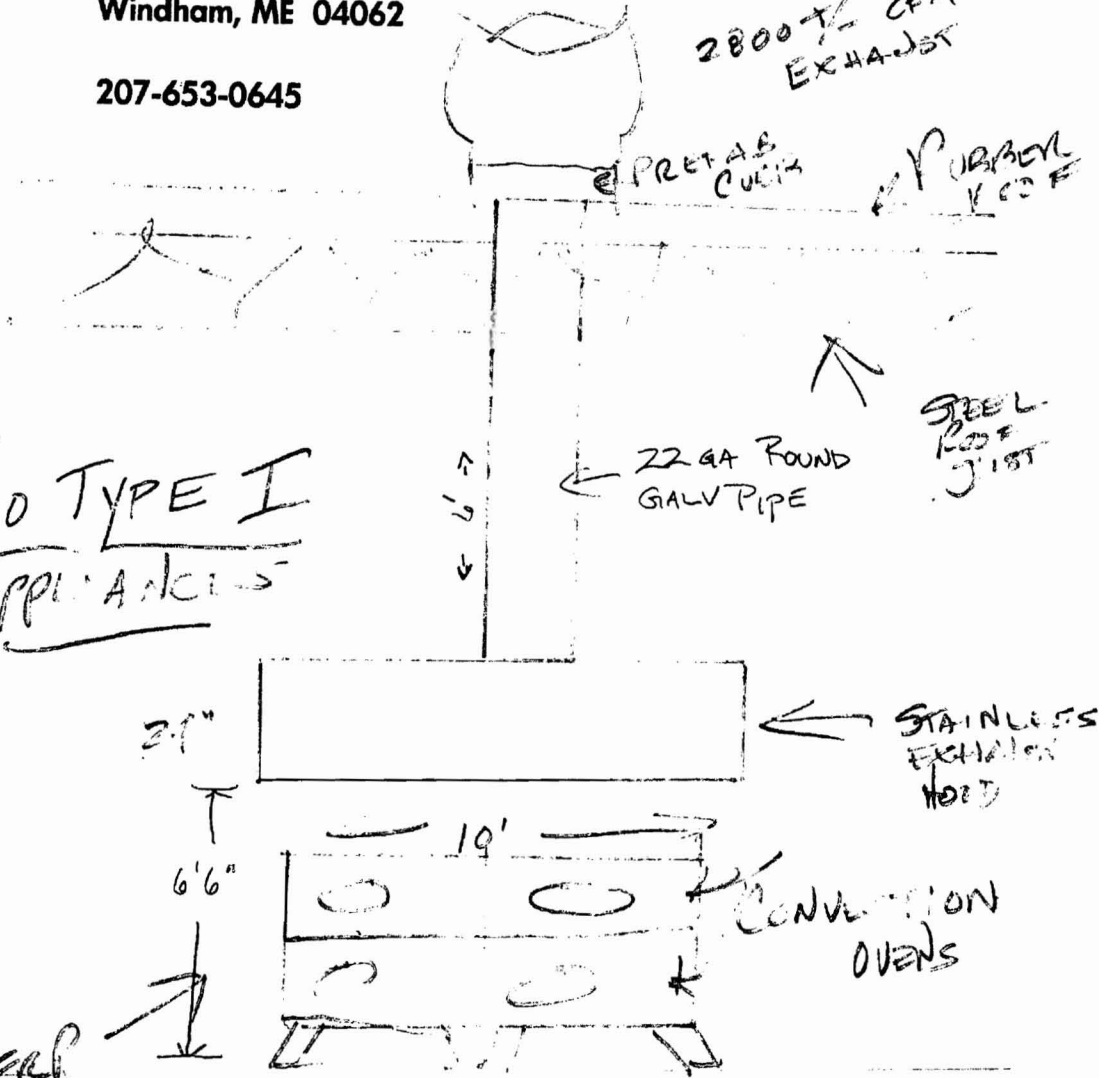
2'1"

6'6"

10'

CONVECTION OVENS

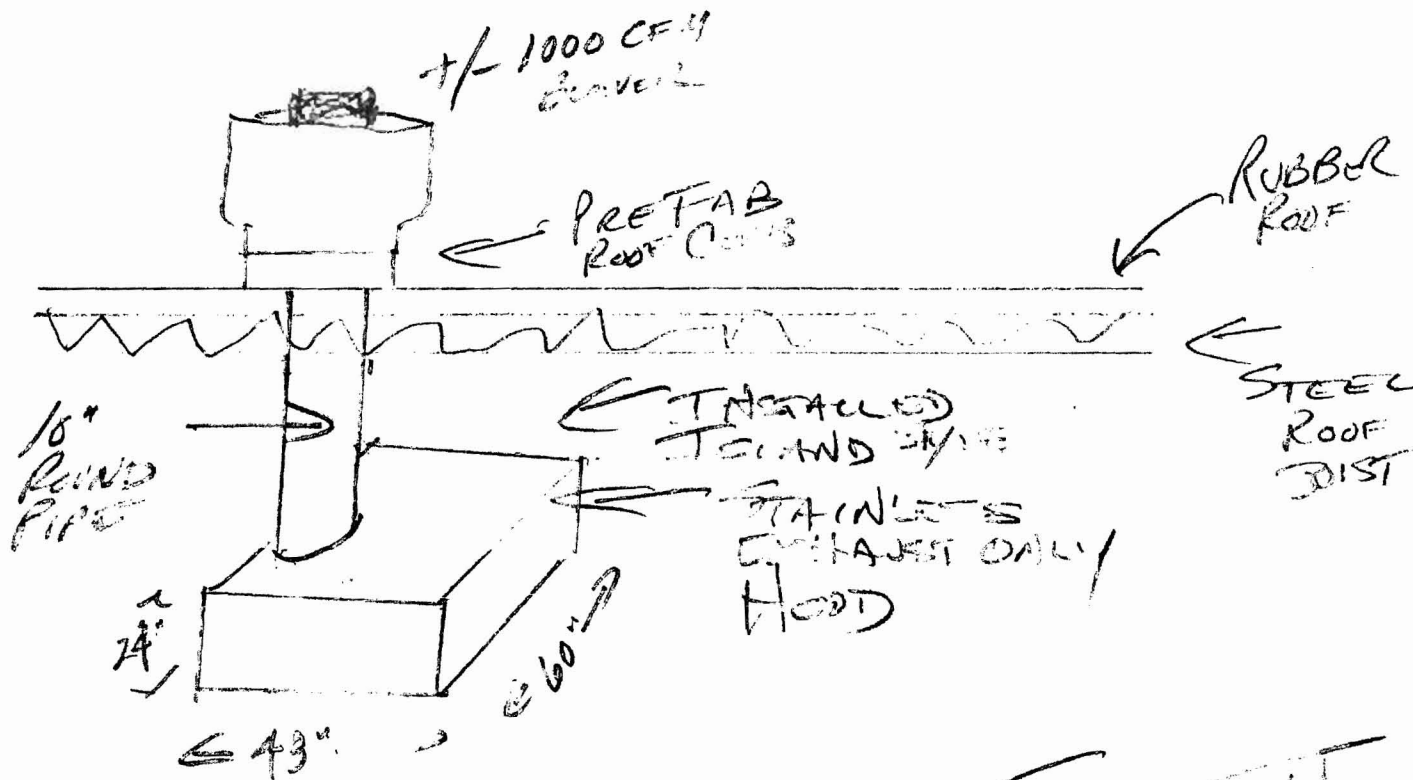
FRP ON WALLS



Atlantic Restaurant Service
34 Albion Road
Windham, ME 04062

207-653-0645

Project: Cranberry
Island
Kitchen



* NOT FOR ANY
COOKING EQ.

TYPE II

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING CONSTRUCTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 090530
PERMIT ISSUED
Original Addition from 1974
2009
C009001

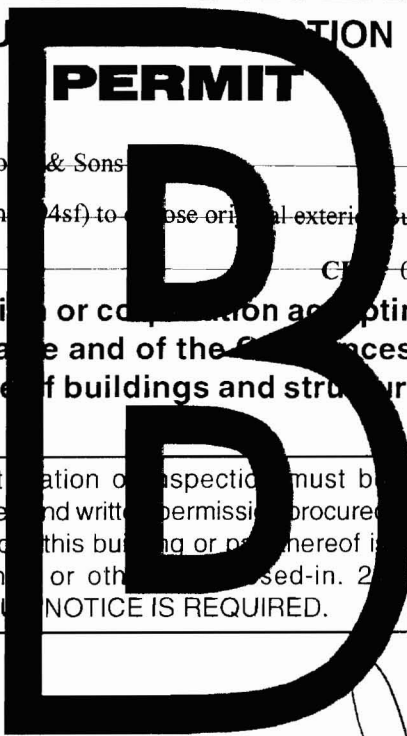
This is to certify that BROWN J B & SONS/J B Brown & Sons
has permission to Removal of 11'6" x69' addition (4sf) to expose original exterior Building Facade
AT 50 DANFORTH ST

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise dressed-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.



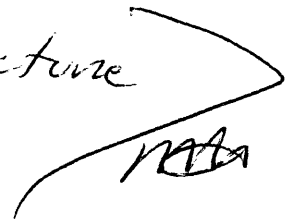
Jamie Bonke 6/5/09
Director - Building & Inspection Services

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

PENALTY FOR REMOVING THIS CARD

SCANNED

06/05/09 okay to take down structure

A handwritten signature, possibly 'MMA', written in black ink. The signature is stylized and appears to be written over a large, thin, curved line that extends from the end of the text above.



Demolition of a Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>50 Danforth Street</u>		
Total Square Footage of Proposed Structure <u>794st demolition of 12,500st Building</u>		Square Footage of Lot: <u>52,688 st</u>
Tax Assessor's Chart, Block & Lot: Chart# <u>40</u> Block# <u>C</u> Lot# <u>9</u>	Owner: <u>J. B. Brown : Sons</u> <u>36 Danforth St</u> <u>Portland, ME 04101</u>	Telephone: <u>207</u> <u>774-5908</u>
Lessee/Buyer's Name (If Applicable) <u>MAY 29 2009</u>	Applicant name, address & telephone: <u>J. B. Brown : Sons</u> <u>36 Danforth St.</u> <u>Portland, ME 04101</u>	Cost Of Work: \$ <u>3750</u> Fee: \$ <u>60</u>
Current legal use: (i.e. garage, warehouse) _____ If vacant, what was the previous use? <u>wood working shop</u> How long has it been vacant? <u>6 months</u> Project description: <u>Removal of an 11'6" x 64' addition (794st) to expose original exterior building facade. Addition was added in 1974.</u>		
Contractor's name, address & telephone: <u>J. B. Brown : Sons</u>		
Who should we contact when the permit is ready: <u>Vin Veroneau</u> Mailing address: <u>36 Danforth St.</u> Telephone: <u>207 774-5908</u> <u>Portland, ME 04101</u>		

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/19/09</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0530	Date Applied For: 05/29/2009	CBL: 040 C009001
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Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone: 207-774-5908
Business Name:	Contractor Name: J B Brown & Sons	Contractor Address: 36 danforth Portland	Phone (207) 774-5908
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Building	

Proposed Use: Commercial/Woodworking Shop - Removal of 11'6" x69' addition (794sf) to expose original exterior Building Facade. Origiapl Addition from 1974	Proposed Project Description: Removal of 11'6" x69' addition (794sf) to expose original exterior Building Facade. Origiapl Addition from 1974
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/02/2009

Note: **Ok to Issue:**

- 1) With the demolition of this portion of the building you may be loosing any legal nonconforming rights. If the structure is not rebuilt within one year of its demolition, any legal nonconforming rights shall be extinguished. IT is the owners responsibility to contact Code Enforcement PRIOR to demolition to document the site and when the building is to be demolished.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/05/2009

Note: **Ok to Issue:**

- 1) The disposal of mixed construction debris must be handled based on the agreement with the Department of Public Services
- 2) Demolition permits are valid for a period of 30 days from the date of issuance. A written request must be submitted and granted for an extension to this time period.
- 3) Demolition permit only. No other construction activities allowed.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Pending **Reviewer:** Jeanine Bourke **Approval Date:** 06/05/2009

Note: 6/3/09 JMB took from fire to have inspected **Ok to Issue:**

- 1) All means of egress to remain accessible at all times
- 2) Any cutting or welding operations require a separate permit from the Fire dept.

Comments:

6/3/2009-jmb: Vin V. Came in with details on the permit for the tenant fit up in another area in this building. He mentioned this demo permit, so we scheduled an inspection for 6/5.

6/5/2009-jmb: Mike C. Did the inspection and approved for the demolition, ok to issue.



Demolition Call List & Requirements

Site Address: 50 Danforth St.

Owner: J.B. Brown & Sons

Structure Type: brick/block addition - commercial

Contractor: Les Wilson & Sons

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>N/A</u>
Northern Utilities	797-8002 ext 6241	<u>N/A</u>
Portland Water District	761-8310	<u>N/A</u>
Dig Safe	1-888-344-7233	<u>by Les Wilson per</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Lucy Cote 5/29/09 (OC)</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>N/A</u>
Historic Preservation	874-8726	<u>Scott Itumson 5/19/09 (OC)</u>
Fire Dispatcher	874-8576	<u>Det. Williams 5/29/09 (OC)</u>
DEP -- Environmental (Augusta)	287-2651	<u>by Abatement Professionals</u>

Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 5/28/09

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Les Wilson and Sons Excavating Contractors
P.O. Box 1028, Westbrook, ME 04098

ALL MATERIAL IS GUARANTEED TO BE AS SPECIFIED. ALL WORK IS TO BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARD PRACTICES. ANY ALTERATION OR DEVIATION FROM SPECIFICATIONS ABOVE INVOLVING EXTRA COSTS WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE. ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. OWNER TO CARRY FIRE, TORNADO AND OTHER NECESSARY INSURANCE. OUR WORKERS ARE FULLY COVERED BY WORKMAN'S COMPENSATION INSURANCE. CUSTOMER IS RESPONSIBLE FOR ANY AND ALL COLLECTION FEES INCLUDING, BUT NOT LIMITED TO, ATTORNEY FEES AND COURT COSTS.

Please note, this proposal may be withdrawn by us if not accepted within 30 days.

If this is acceptable to you, please sign and return one copy to us. Thank you.

Les Wilson & Sons

Chris Wilson
C.O.O.

ACCEPTANCE OF PROPOSAL: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature: _____



590 County Road, Suite 2, Westbrook ME 04092

Tel (207) 773-1276 * Fax (207) 772-1203

May 28, 2009

Willow Williams
JB Brown & Sons
PO Box 207
Portland, Maine

Dear Ms. Williams;

Abatement Professionals was hired to perform a demolition impact survey at 54 Danforth St, Portland, Maine. The sample results revealed the mastic underneath the floortile in the rear storage area contained asbestos content.

Abatement Professionals was hired to remove the asbestos containing material and as of 4:00PM on May 29, 2009. All asbestos will be removed from the building. The removal was conducted in accordance with the Maine Chapter 425 asbestos regulations.

If you have any questions please feel free to contact me at 207-773-1276 or krickett@abatementpros.com

Sincerely

A handwritten signature in black ink, appearing to read 'K. Rickett', is written over a light blue horizontal line.

Kyle Rickett
Vice President

J. B. BROWN & SONS
36 Danforth Street
P.O. Box 207
Portland, Maine 04112-0207
Phone 207-774-5908
Fax 207-774-0898

May 28, 2009

Dear Property Owner:

Re: 50 Danforth Street – partial demolition

J. B. Brown and Sons will be removing the addition on 50 Danforth Street (Maple Street side).

As part of obtaining the demolition permit with The City of Portland, we are sending you notification of the pending work.

Please do not hesitate to call should you have any questions.

Sincerely,



Vincent Veroneau
President

CC: Anthony Mezoian
75 York Street LLC
All In Enterprises LLC

Parcel ID	Name and Mailing Address	Property Location	Land Use
040 C026001 CARD 1	75 YORK STREET LLC 15 FRANKLIN ST PORTLAND ME 04101	75 YORK ST	WHOLESALE

New Search!

Parcel ID	Name and Mailing Address	Property Location	Land Use
040 C030001 CARD 1	ALL IN ENTERPRISES LLC 5 LINCOLN AVE SCARBOROUGH ME 04074	53 YORK ST	RETAIL & PERSONAL SERVICE

New Search!

*address changed since
3 High St. demo -*

Parcel ID	Name and Mailing Address	Property Location	Land Use
040 C025001 CARD 1	MEZOIAN ANTHONY P ✍ ANN LEE JTS 8 WOODBURY ST SOUTH PORTLAND ME 04106	85 YORK ST	OFFICE & BUSINESS SERVICE

[New Search!](#)

Les Wilson and Sons Excavating Contractors
P.O. Box 1028, Westbrook, ME 04098

J B Brown & Sons
482 Congress Street
Portland, ME 04101
Attn: Vin

May 28, 2009

Les Wilson & Sons submits the following proposal to J B Brown for demolition of 70' x 12' building section at the old Woodward Thomsen building.

1. Tear down roof and haul to Riverside Recycling.
2. Remove block and brick walls and foundation. Remove blocks inside (3) existing building openings.
3. Backfill foundation hole with sand fill.
4. Install 6" of crushed gravel over entire area where addition was.
5. Mark out for Dig Safe and call same.

Price for the above work: \$3,750.00



Payment to be made at completion of work.

The above price does not include the following:

1. Handling of hazardous or contaminated materials
2. Loaming, seeding and haying
3. Demo permits
4. Utility work

**Owner to have all power and all other utilities disconnected prior to arrival.

FILE
54 DANFORTH
0410-C-009

	<p>ASBESTOS BUILDING DEMOLITION NOTIFICATION</p> <p>MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION Lead & Asbestos Hazard Prevention Program 17 State House Station, Augusta, Maine 04333</p>	
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Maine law requires the filing of the ASBESTOS BUILDING DEMOLITION NOTIFICATION with the Department prior to demolition of any building except a single-family home.

Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is **not** required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also **not** required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. **Demolition** means the tearing down or intentional burning of a building or part of a building.

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

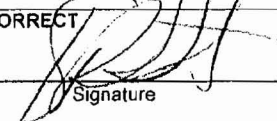
Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.maine.gov for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that **municipalities** have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-6220. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were regulated asbestos-containing building materials found? **yes** **no**

property address: 54 Danforth St Portland, Maine 04103	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other:
asbestos survey/inspection performed by: (name & address) Abatement Professionals Corp 590 County Rd Suite #2 Westbrook, Maine 04092 telephone: 207-773-1276	asbestos abatement contractor Abatement Professionals Corp 590 County Rd Suite #2 Westbrook, Maine 04092 telephone: 207-773-1276
property owner: (name & address) JB Brown & Sons PO Box 207 Portland, Maine telephone: 207-774-5908	demolition contractor: (name & address) Les Wilson & Sons PO Box 1028 Westbrook, Maine 04092 telephone: 207-854-4583
demolition start date: 06/04/09 (mm/dd/yy)	demolition end date: 06/20/09 (mm/dd/yy)

This demolition notification does not take the place of the Asbestos Project Notification if applicable

I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT		
Kyle Rickett Print Name: Owner/Agent	Vice President Title	 Signature
207-773-1276 Telephone #	207-772-1203 FAX #	May 29, 2009 Date

GENERAL NOTES:

1. The notes on the drawings are not intended to supersede the specifications.
2. All materials shall be of the highest quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC), the American Concrete Institute (ACI), and the American Iron and Steel Institute (AISI).
3. All dimensions and conditions shall be indicated on the drawings. Dimensions shall be given in feet and inches, and shall be rounded to the nearest 1/8" or 1/16" as appropriate.
4. All steel shall be AISC A36 unless otherwise specified.
5. All concrete shall be of the highest quality and shall conform to the specifications of the American Concrete Institute (ACI).
6. All work shall be done in accordance with the specifications of the American Institute of Steel Construction, Inc. (AISC), the American Concrete Institute (ACI), and the American Iron and Steel Institute (AISI).
7. The drawings shall be read in conjunction with the specifications and the notes on the drawings.
8. The drawings shall be read in conjunction with the specifications and the notes on the drawings.
9. The drawings shall be read in conjunction with the specifications and the notes on the drawings.
10. The drawings shall be read in conjunction with the specifications and the notes on the drawings.

DESIGN LOADS:

1. Building loads: (ACI 108.3) Intermediate Residential Building Code.
2. Design Live Loads: (ASCE 7-02) 40 psf on all floors.
3. Design Wind Loads: (ASCE 7-02) 150 mph on all walls.
4. Design Snow Loads: (ASCE 7-02) 30 psf on all roofs.
5. Design Earthquake Loads: (ASCE 7-02) 0.25g on all walls.

FOUNDATION NOTES:

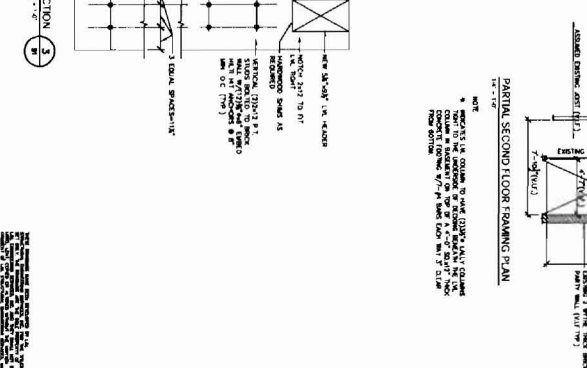
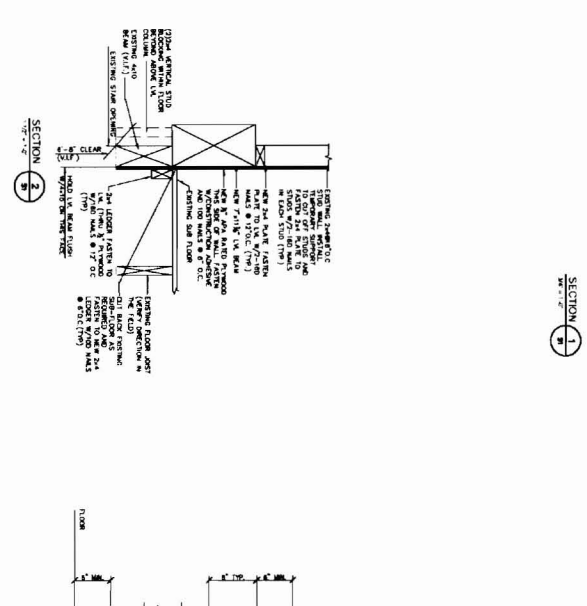
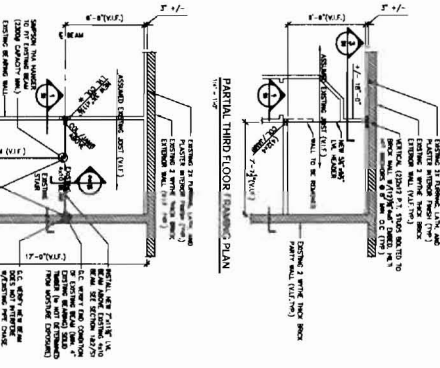
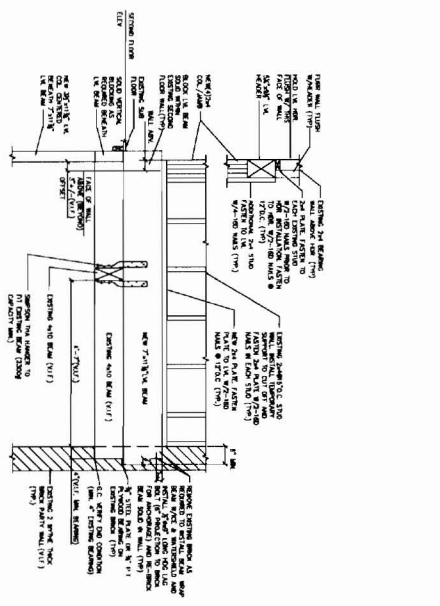
1. Foundations shall be designed for a bearing capacity of 2,000 psf.
2. Foundations shall be designed for a maximum depth of 4 feet.
3. Foundations shall be designed for a maximum width of 4 feet.
4. Foundations shall be designed for a maximum length of 4 feet.
5. Foundations shall be designed for a maximum area of 16 square feet.

CONCRETE NOTES:

1. All concrete shall be of the highest quality and shall conform to the specifications of the American Concrete Institute (ACI).
2. All concrete shall be of the highest quality and shall conform to the specifications of the American Concrete Institute (ACI).
3. All concrete shall be of the highest quality and shall conform to the specifications of the American Concrete Institute (ACI).
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9. All concrete shall be of the highest quality and shall conform to the specifications of the American Concrete Institute (ACI).
10. All concrete shall be of the highest quality and shall conform to the specifications of the American Concrete Institute (ACI).

STEEL NOTES:

1. All steel shall be of the highest quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC).
2. All steel shall be of the highest quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC).
3. All steel shall be of the highest quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC).
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10. All steel shall be of the highest quality and shall conform to the specifications of the American Institute of Steel Construction, Inc. (AISC).



94 PARK STREET—SECOND FLOOR UNIT
 PORTLAND, MAINE

GENERAL NOTES, PARTIAL FRAMING PLANS AND SECTIONS

Designed by JAL
 Drawn by JAL
 Checked by JAL
 Date: 08/27/09

L & L STRUCTURAL ENGINEERING SERVICES, INC.
 516 O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
 FAX: (207) 768-5432

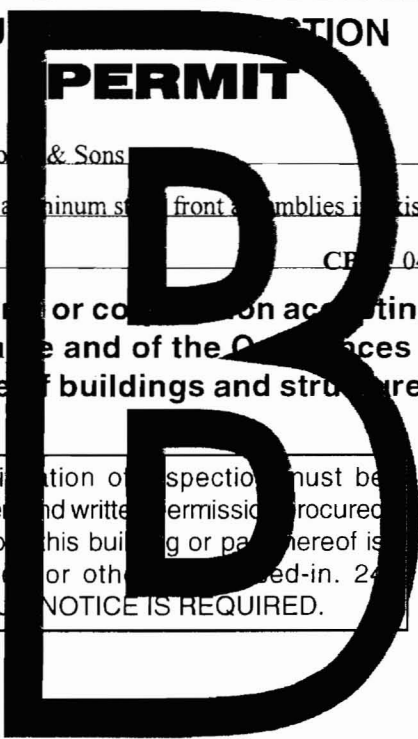
S1

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT



Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number: 090646

JUN 24 2009

CITY OF PORTLAND

This is to certify that BROWN J B & SONS/J B Brown & Sons
 has permission to Vacant Space - install glass & aluminum storefront assemblies in existing 20' x 12'4" openings
 AT 50 DANFORTH ST CB# 040 C009001

provided that the person or persons, firm or corporation accounting for this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature] 267

Health Dept. _____

Appeal Board _____

Other _____

Department Name _____

[Signature] 6/24/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>52 Danforth St.</u>		
Total Square Footage of Proposed Structure/Area <u>3300 sf</u>		Square Footage of Lot <u>52,608 sf</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>C</u> Lot# <u>9</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>J. B. Brown & Sons</u> Address <u>36 Danforth St.</u> City, State & Zip <u>Portland, Me 04101</u>	Telephone: <u>774-5908</u>
Lessee/DBA (If Applicable) <u>TBD</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>15,500</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>B-3 Commercial - currently vacant</u> If vacant, what was the previous use? <u>woodworking shop</u> Proposed Specific use: <u>TBD - currently vacant</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>install glass & aluminum storefront assemblies in existing 20'x12'4" openings</u>		
Contractor's name: <u>J. B. Brown & Sons</u> Address: <u>36 Danforth Street</u> City, State & Zip <u>Portland, Me 04101</u> Telephone: <u>774-5908</u> Who should we contact when the permit is ready: <u>Vin Veroneau</u> Telephone: _____ Mailing address: <u>36 Danforth St., Portland, Me 04101</u>		

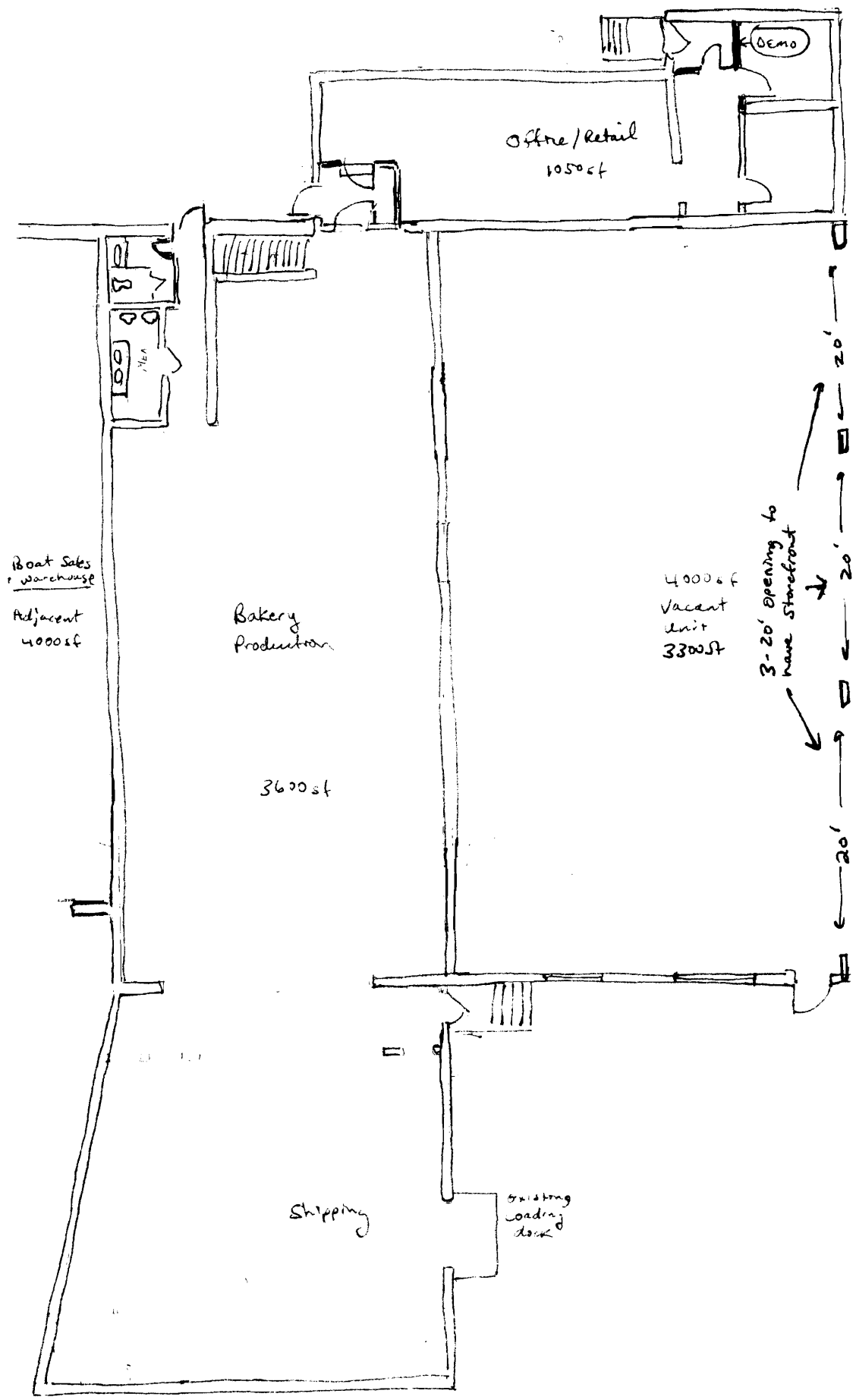
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6/18/09 JUN 19 2009

This is not a permit; you may not commence ANY work until the permit is issue



Boat Sales
Warehouse
4000sf
Adjacent
4000sf

Bakery
Production
3600sf

Office/Retail
1050sf

4000sf
Vacant
unit
3300sf

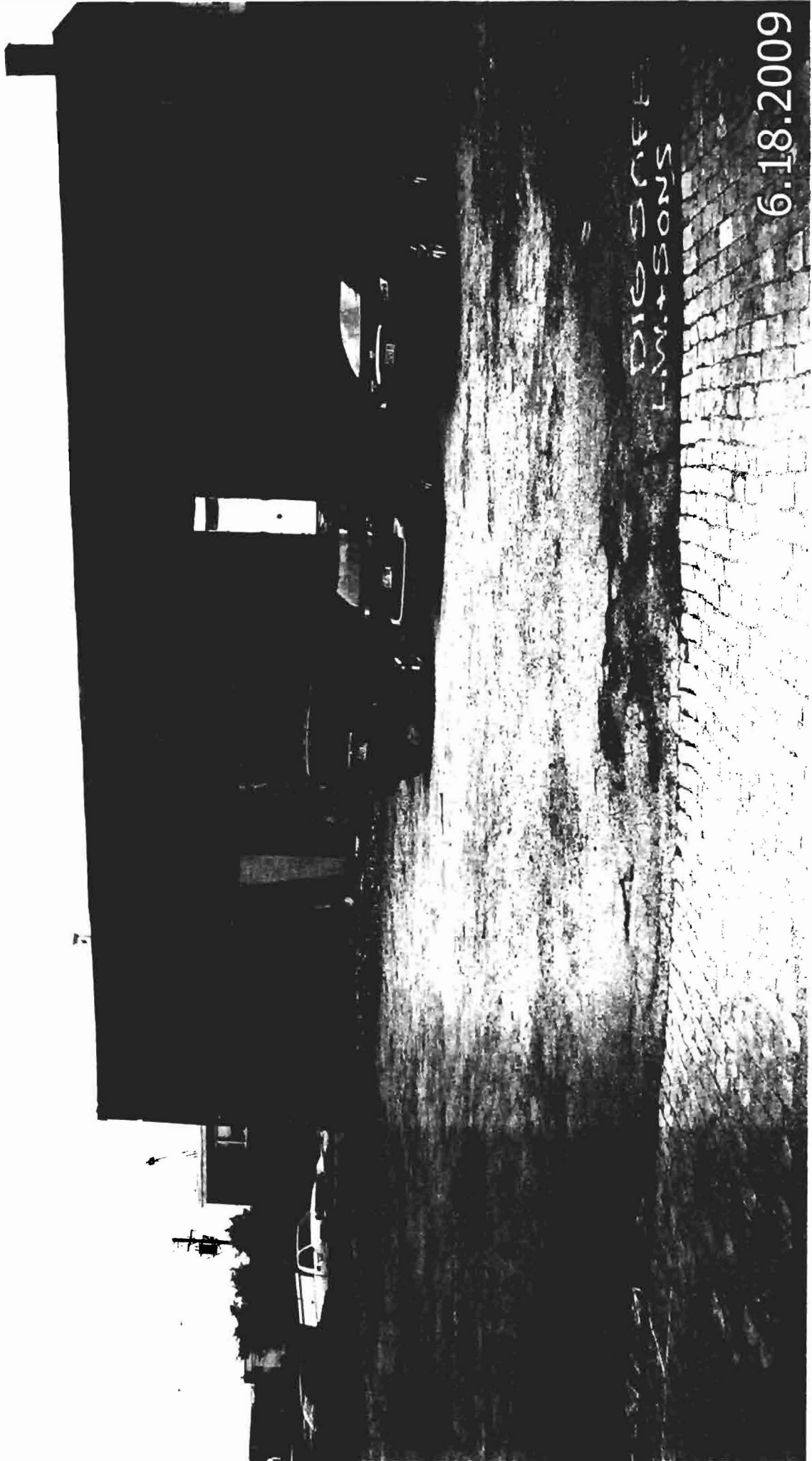
3-20' opening to
have storefront

Shipping

Existing
Loading
dock

Demo

20'
20'
20'
20'



DIE SÖHNE
L.M. + SÖHNS

6.18.2009

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0646	Issue Date: 6/24/09	CBL: 040 C009001
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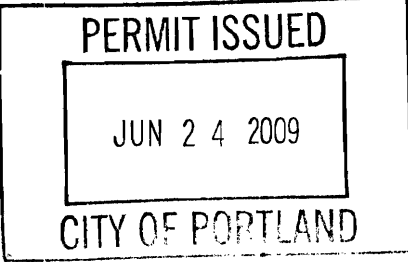
Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: J B Brown & Sons	Contractor Address: 36 danforth Portland	Phone 2077745908
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial - Vacant Space	Proposed Use: Commercial - Vacant Space - install glass & aluminum store front assemblies in existing 20' x 12'4" openings	Permit Fee: \$180.00	Cost of Work: \$15,500.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied 6/24/09	INSPECTION: Use Group: B Type: JB JBC -2003	

Proposed Project Description: Vacant Space - install glass & aluminum store front assemblies in existing 20' x 12'4" openings	Signature: <i>[Signature]</i> 6/24/09	Signature: <i>[Signature]</i> 6/24/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 06/19/2009	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>[Signature]</i> 6/22/09	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<p>Historic Preservation <i>Just outside</i></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	--	--	---



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 6/24/09
Date



Signature of Inspections Official

 6/24/09
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0646	Date Applied For: 06/19/2009	CBL: 040 C009001
------------------------------	--	----------------------------

Location of Construction: 50 DANFORTH ST	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: J B Brown & Sons	Contractor Address: 36 danforth Portland	Phone (207) 774-5908
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Vacant Space - install glass & aluminum store front assemblies in existing 20' x 12'4" openings	Proposed Project Description: Vacant Space - install glass & aluminum store front assemblies in existing 20' x 12'4" openings
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/22/2009

Note: **Ok to Issue:**

- 1) Separate permits shall be required for any tenant fit up prior to occupying the space.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

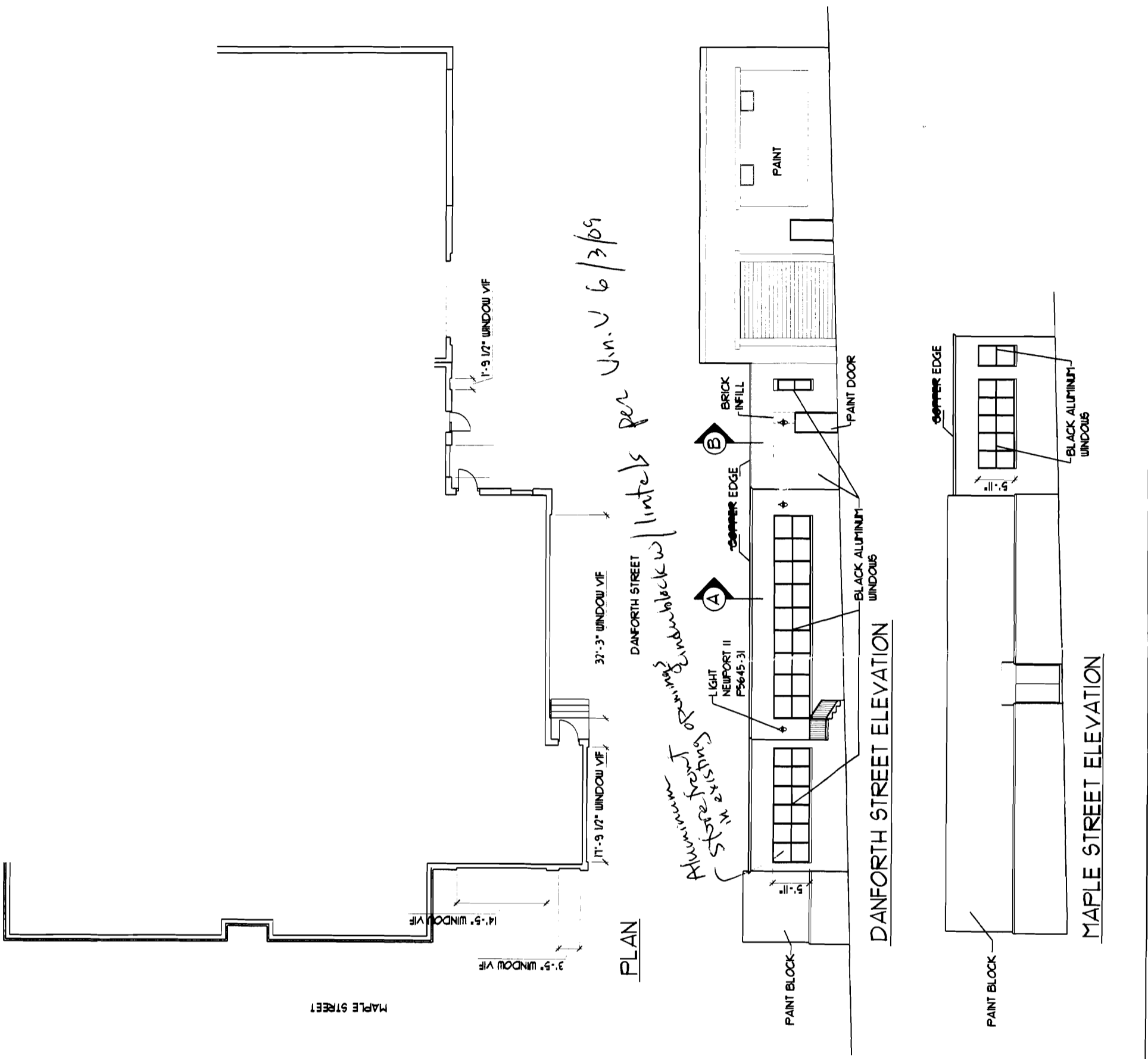
Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 06/24/2009

Note: **Ok to Issue:**

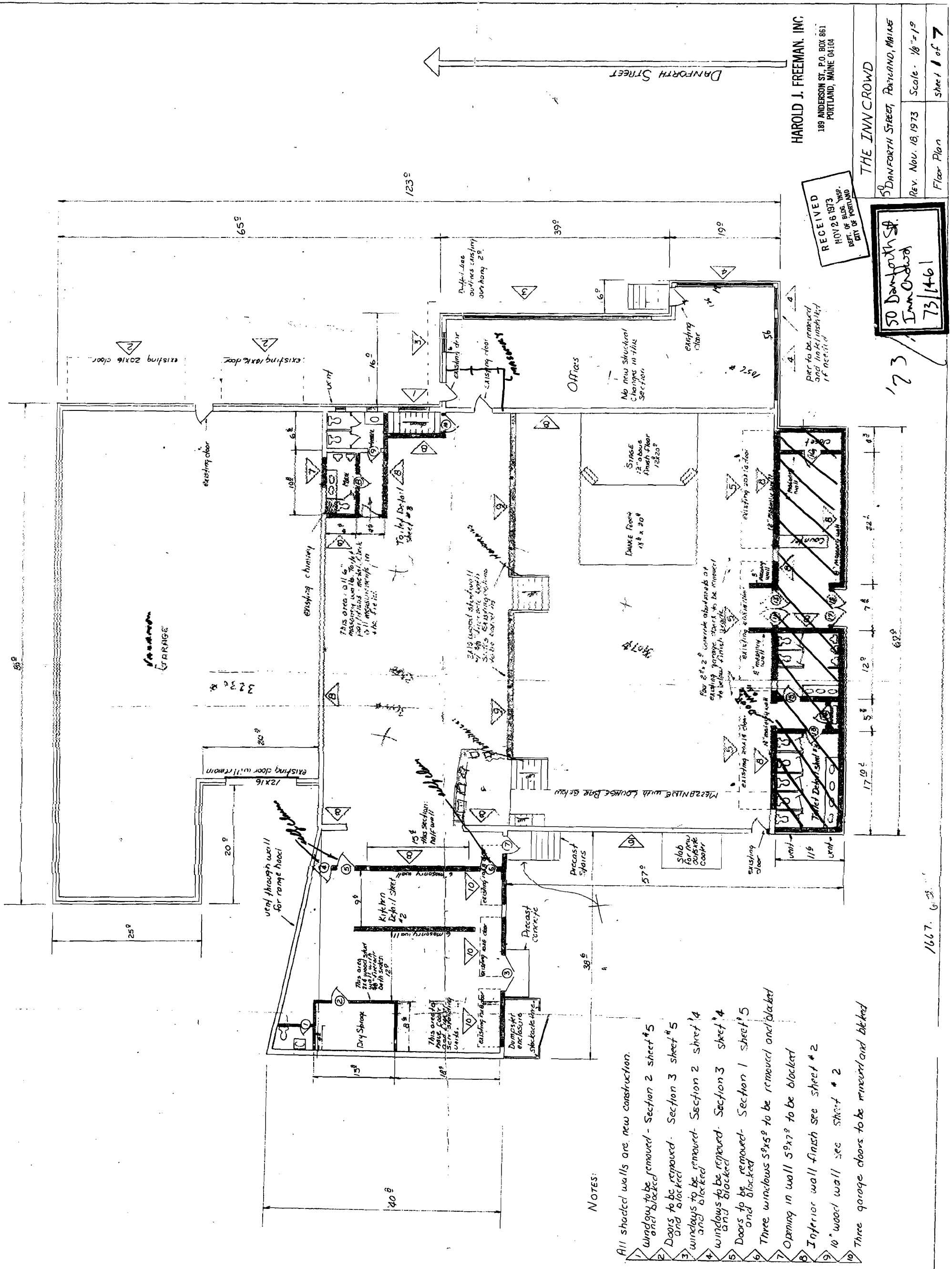
- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.

Dept: Fire **Status:** Approved **Reviewer:** Ben Wallace Jr. **Approval Date:** 06/24/2009

Note: **Ok to Issue:**



Window openings currently exist, but were previously blocked in. Owner is installing windows in existing openings.



HAROLD J. FREEMAN, INC.
 189 ANDERSON ST., P.O. BOX 861
 PORTLAND, MAINE 04104

THE INN CROWD
 50 DANFORTH STREET, PORTLAND, MAINE
 REV. NOV. 18, 1973 Scale: 1/8" = 1'-0"
 Floor Plan Sheet 1 of 7

RECEIVED
 NOV 26 1973
 DEPT. OF BUS. & VOSP.
 CITY OF PORTLAND

50 Danforth St.
 Inn Crowd
 73/1461

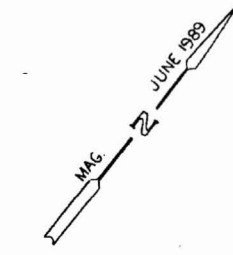
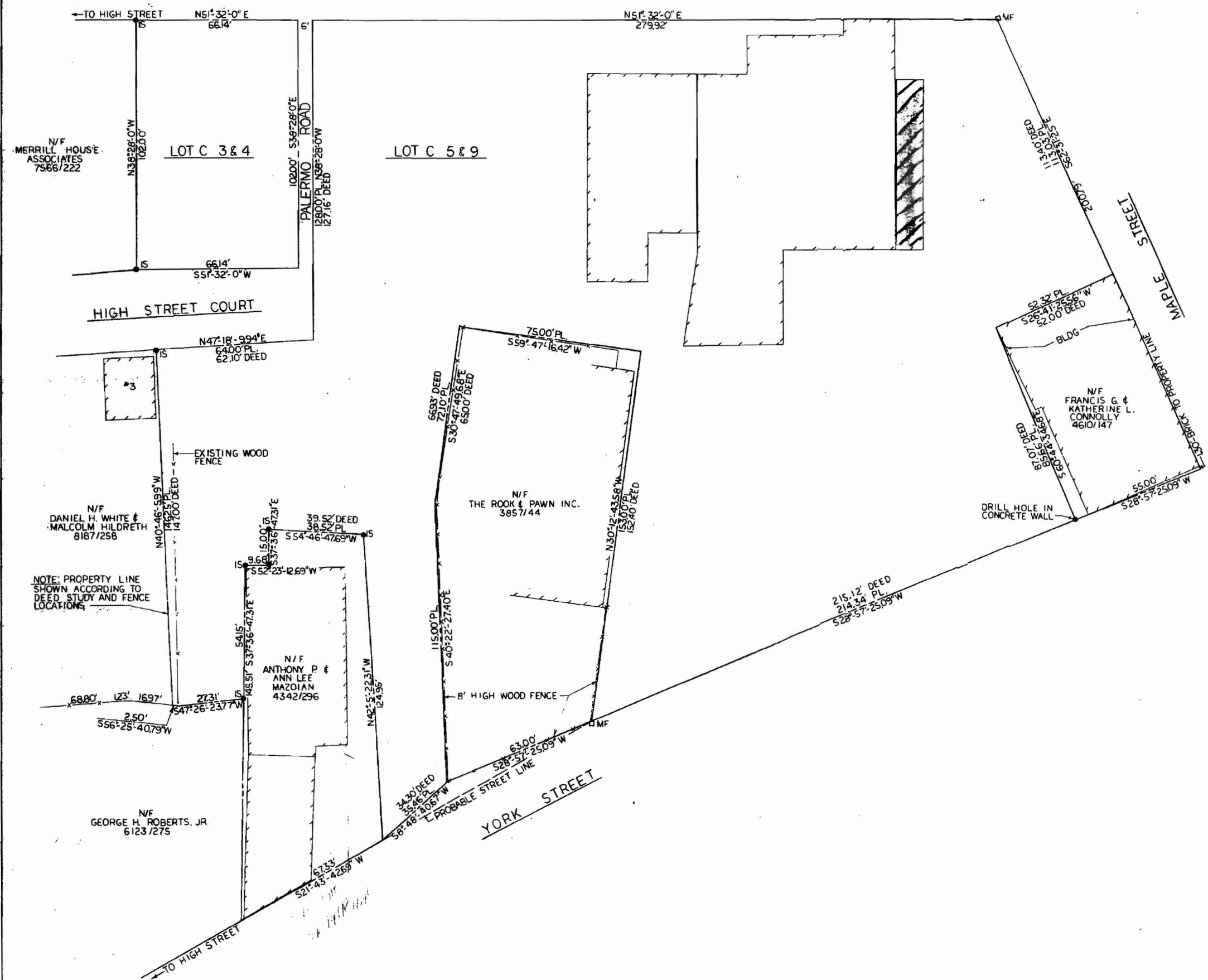
173

NOTES:

- 1 All shaded walls are new construction.
- 2 Windows to be removed - Section 2 sheet #5 and blocked.
- 3 Doors to be removed - Section 3 sheet #5 and blocked.
- 4 Windows to be removed - Section 2 sheet #4 and blocked.
- 5 Windows to be removed - Section 3 sheet #4 and blocked.
- 6 Doors to be removed - Section 1 sheet #5 and blocked.
- 7 Three windows 5'x5' to be removed and blocked.
- 8 Opening in wall 5'x7' to be blocked.
- 9 Inferior wall finish see sheet #2.
- 10 10" wood wall see sheet #2.
- 11 Three garage doors to be removed and blocked.

1667. 6. 23.

DANFORTH STREET



LEGEND

- PROPERTY DIVISION LINE
- MF MONUMENT FOUND
- x- FENCE
- N/F NOW OR FORMERLY
- IS IRON SET

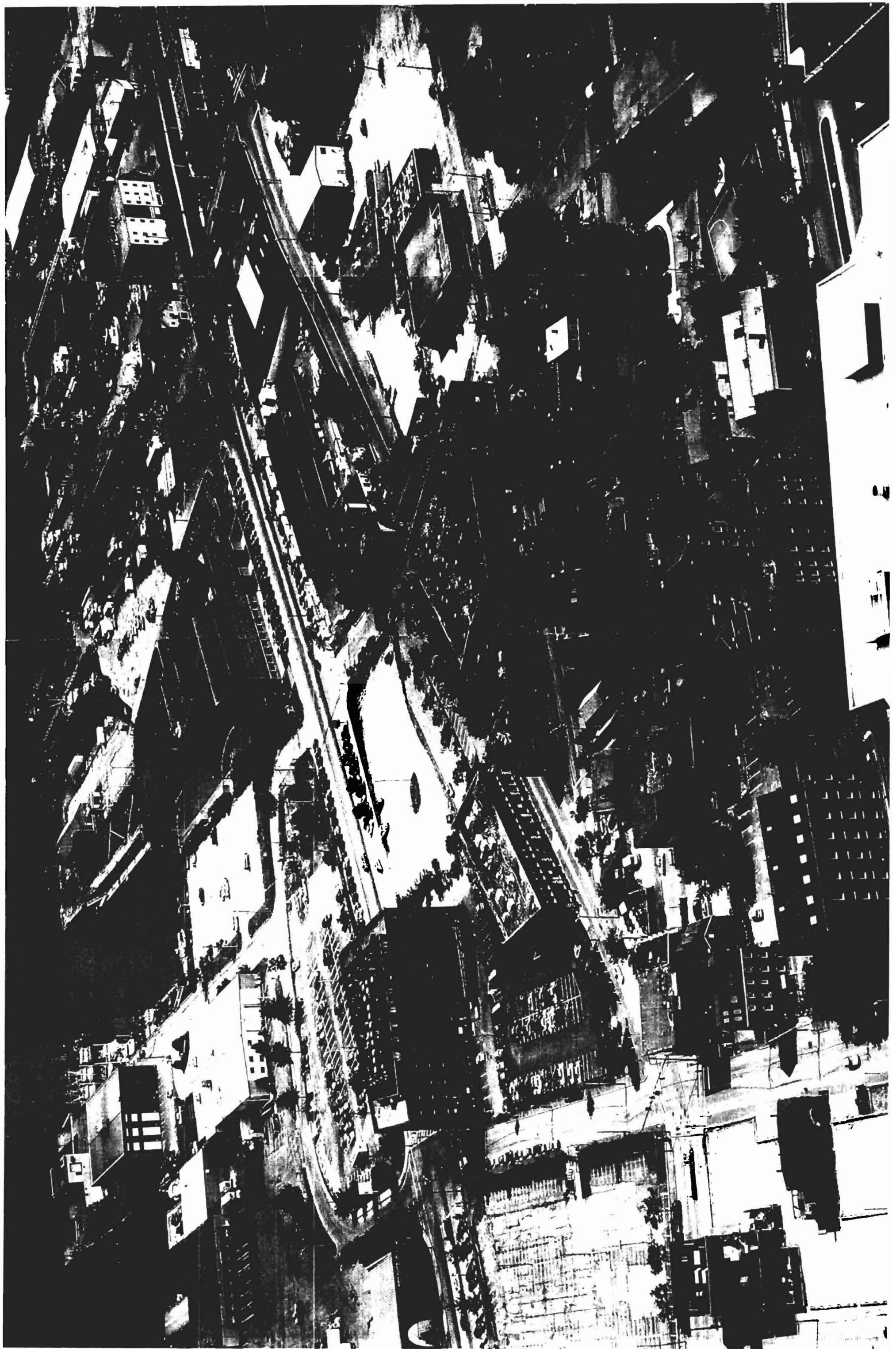
NOTES

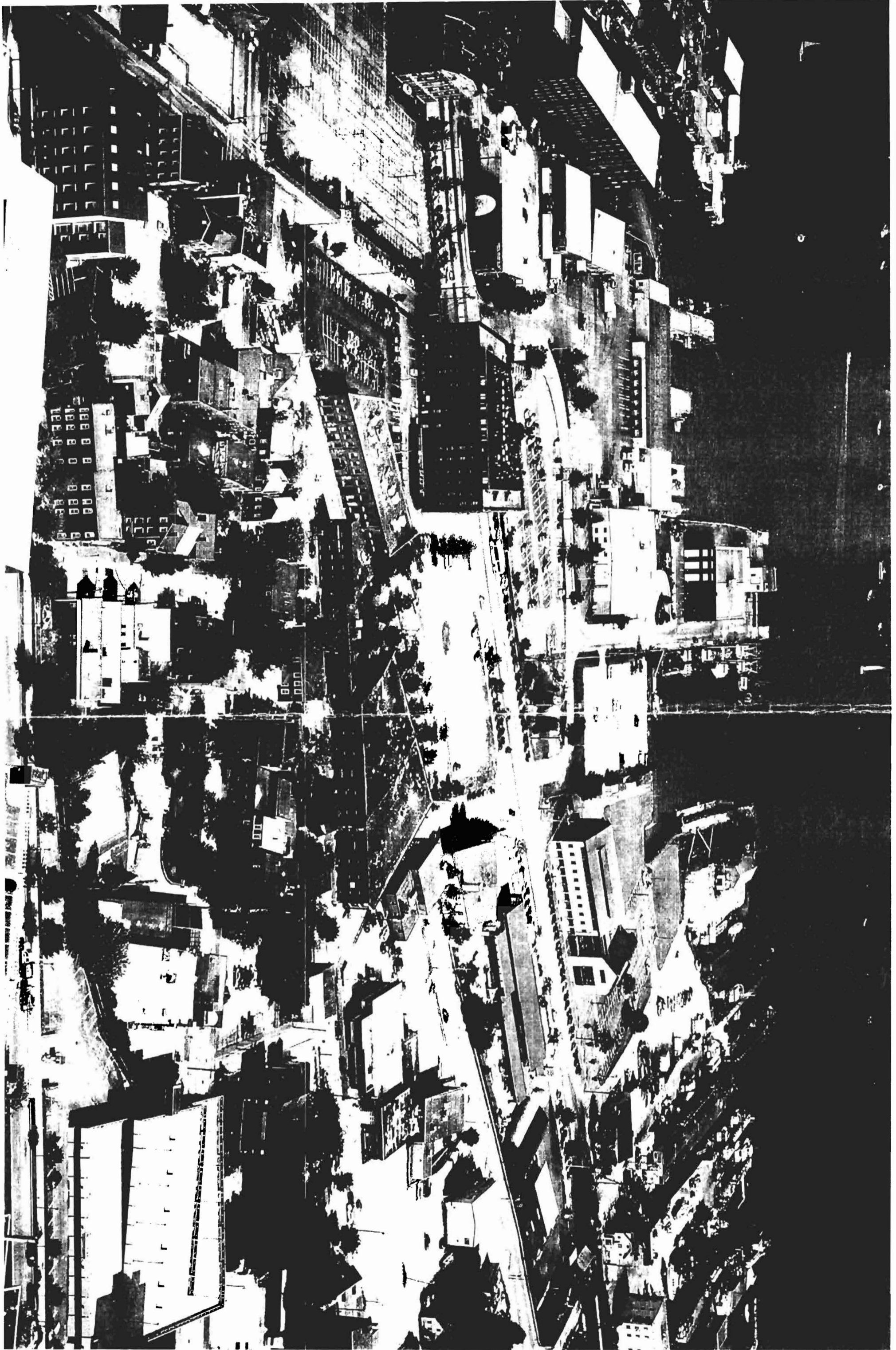
1. OWNER OF RECORD: J.B. BROWN & SONS DEED RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 4842, PAGE 336-337 & BOOK 4167, PAGE 53-56.
2. LOCUS PARCEL IS LOT C-3,4,5 & 9 ON PORTLAND TAX MAP 40.
3. LOT AREA: LOT C-3+4 = 6,74628 S.F.
LOT C-5+9 = 74,05878 S.F.
4. REFERENCE WAS MADE TO CITY OF PORTLAND STREET RECORDS, SURROUNDING DEEDS, AND A SURVEY FOR ANTHONY P. MEZOIAN BY ROBERT J. ROY, RLS #1281, DATED OCTOBER 21, 1989.
5. THIS PLAN CONFORMS TO THE MAINE BOARD OF REGISTRATION FOR LAND SURVEYORS STANDARDS, CATEGORY 1, CONDITION 11.

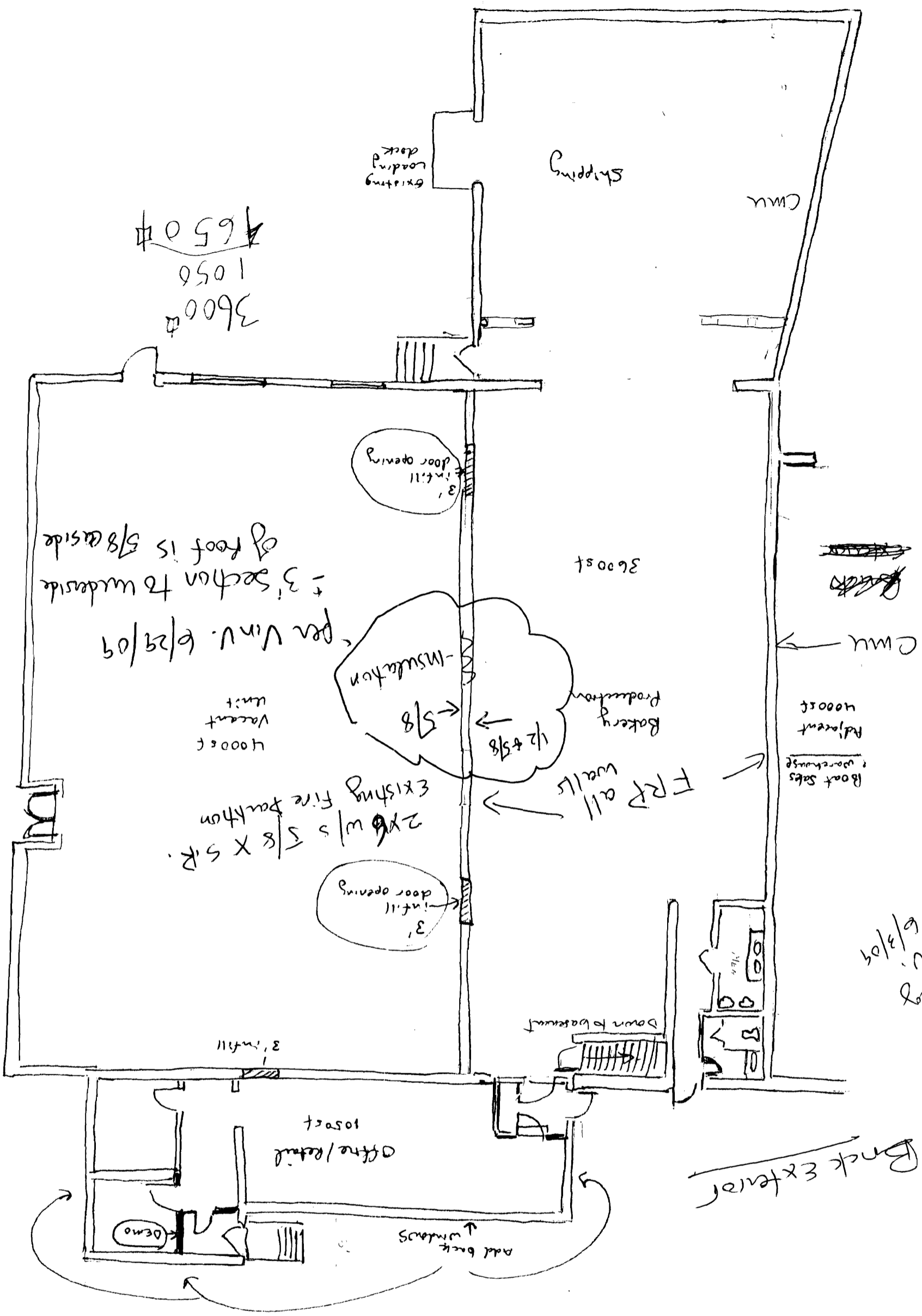
NOTE: PROPERTY LINE SHOWN ACCORDING TO DEED, STUDY AND FENCE LOCATIONS.

Herbert P. Gray

LAND OF J.B. BROWN & SONS DANFORTH, MAPLE AND YORK STREET PORTLAND, MAINE	
HERBERT P. GRAY 482 CONGRESS STREET PORTLAND MAINE	
SCALE: 1"=20' DATE: 8/1/89 DRAWN BY: JET CHECKED BY: JPR	DWG NO 1







3600 sq ft
1050 sq ft
4650 sq ft

per VIN. 6/29/09
± 3' section to underside
of roof is 5/8 outside

Existing fire partition
2x6 w/ 5/8 x 5/8
S.R.

4000 sq ft
vacant unit

3600 sq ft

Adjacent warehouse
warehouse
Sales

Notes
per meeting
6/3/09

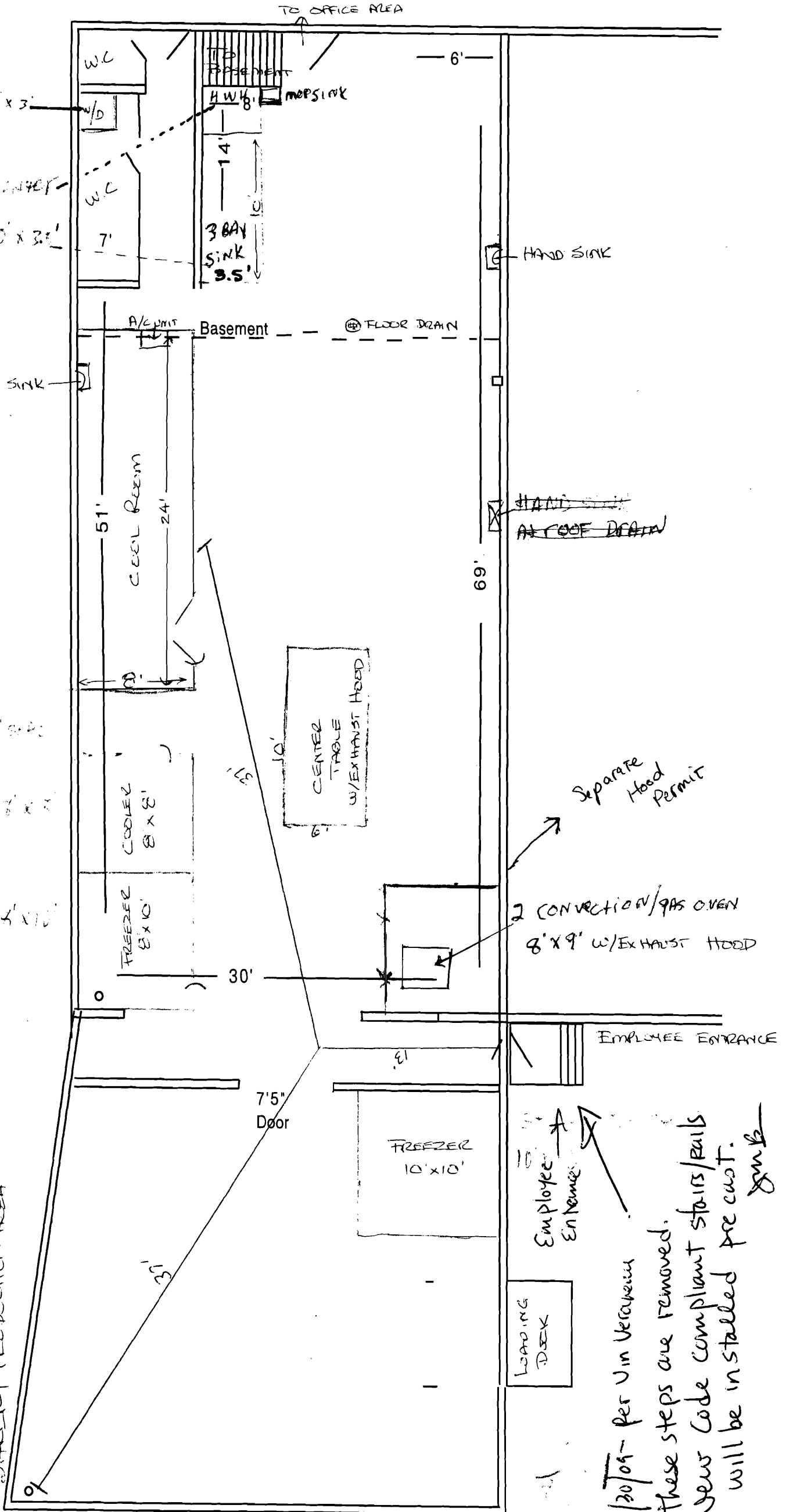
Back Exterior

Proposed

52 Dantford St
Portland, ME 04101

■ Demo 9' +/-
▨ Infill 6' +/-

CRANBERRY ISLAND KITCHEN
 52 DANFORTH ST., PORTLAND, ME
 BUILD-OUT PLAN - 7.1.09
 3,600 SQUARE FEET
 BAKERY PRODUCTION AREA



W/D
 3' x 3'
 3 BAY SINK 10' x 3'

COOL ROOM
 8' x 24'

COOLER 8' x 8'
 FREEZER 8' x 10'

Separate Hood Permit

2 CONVECTION/GAS OVEN
 8' x 9' W/ EXHAUST HOOD

Employee Entrance

7/30/09 - per Vin Verarenu
 These steps are removed.
 New Code compliant stairs/rails
 will be installed per cust.
 gmb

Current 52 Danforth St
Portland, ME 04101

