





AP- 50 Danforth Street

June 19, 1962

Fred I. Merrill, Inc.  
Att: William J. Langford  
187 Sawyer St., So. Portland

cc to: Fox & Ginn, Inc.  
50 Danforth Street

Gentlemen:

Building permit for construction of a one story masonry addition approximately 45 feet by 85 feet on right hand side of truck terminal building at the above named location is issued herewith based on plans filed with application for permit, but subject to the following conditions:

1. Required approval by this department of forms for foundation walls prior to pouring of concrete cannot be given until information has been furnished as to how the four-hour fire-proofing of lintels over the large door opening is to be done.
2. Questions raised in our letter of June 4, 1962 are to be cared for as outlined in your letter of June 18th, as follows:
  - a- New areaways at the front of the existing building are to be provided to furnish a supply of fresh air for combustion purposes to the boiler room.
  - b- All window and areaway openings in existing wall are to be closed with at least 8 inches of masonry.
  - c- New door opening from addition to existing building is to be at loading platform level and is to have installed in it a Class "B" labelled fire door equipped with either an automatic or self-closing device.
  - d- Unless new heater is to be of a suspended type located at least 8 feet above the floor of addition and bearing the label of Uniflora's Laboratories, Inc., it will need to be enclosed with fire-resistive partitions.
  - e- An approved grease and oil separator is to be installed for new floor drain.
  - f- Brick facing of walls is to be tied to concrete block backing by extra heavy galvanized Durowal located at every other joint of the block masonry.

June 19, 1962

- g- It is understood that there are to be five rows of angle bridging in roof framing and that front and rear walls are to be anchored to roof framing at bridging points by strap iron anchors at least 3/8 inches thick by 1 1/2 inches wide. Permit is issued on this basis.
- h- Facia and any other wood trim which would otherwise be exposed to the open air are to be covered with sheet metal.

Very truly yours,

Albert J. Sears  
Building Inspection Director

AJS:m

TELEPHONE SP 9-1541

FRED I. MERRILL, INC.

*Building and Remodeling*  
187 SAWYER STREET  
SOUTH PORTLAND, MAINE

June 18, 1962

City of Portland  
Portland,  
Maine

Gentlemen:

RECEIVED

JUN 19 1962

DEPT. OF PUBLIC WORKS,  
CITY OF PORTLAND

In reply to your letter of June 4, 1962.

- ✓ 1 We propose to place a new areaway in front of the building with louvers in the wall.
- ✓ 2 The new door opens onto the platform and not into the boiler room.
- ✓ 3 The existing windows will be bricked up and the door in that wall will be a class B label door and frame.
- ✓ 4 Ballard Oil Company is preparing plan for the heating system.
- ✓ 5 Grease and oil separator will be an approved one.
- ✓ 6 The height of the masonry above the doors will be over 4' and the lintels are shown on the revised plan.
- ✓ 7 The facing will be tied to the block backing by using extra heavy durawall every other block course.
- ✓ 8 The fascia will be completely covered in metal as requested.
- ✓ 9 The joist will have straps tied into the masonry wall on each end, (not over 8').
- ✓ 10 There will be 5 rows of bridging in the main section of the building and it will be made up of  $1\frac{1}{4}$  x  $1\frac{1}{4}$  x  $1/8$  angles.
- ✓ 11 The addition will extend up on the existing building by using 8" block.
- ✓ 12 A statement of design is enclosed.

Very truly yours,

*William J. Langford*  
William J. Langford,  
Engineer.

WJL:MAW

TELEPHONE SP 9-1541

FRED I. MERRILL, INC.

*Building and Remodeling*

187 SAWYER STREET  
SOUTH PORTLAND, MAINE

July 5, 1962

Building Inspectors Office  
City of Portland,  
389 Congress St.,  
Portland, Maine

Re: Ginn

Gentlemen:

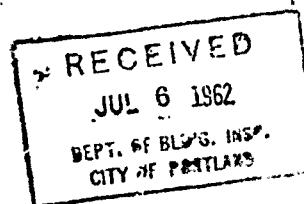
The owners on the above project wishes to change the door into the existing building from a 3-0x7-0 to a sliding class B fire door. They also wish to eliminate the walk through door on the back of the building next to the 12'x14' overhead door.

Please let us know if there is any objection to this change.

Very truly yours,

*William J. Langford*  
William J. Langford,  
Engineer.

WJL:M



BP-62/67C- 42-54 Danforth St.

July 9, 1962

Fred I. Merrill, Inc.  
Attn: J. Langford, Engineer  
187 Sawyer Street  
South Portland, Maine

cc to: Fox & Cinn, Inc.

Gentlemen:

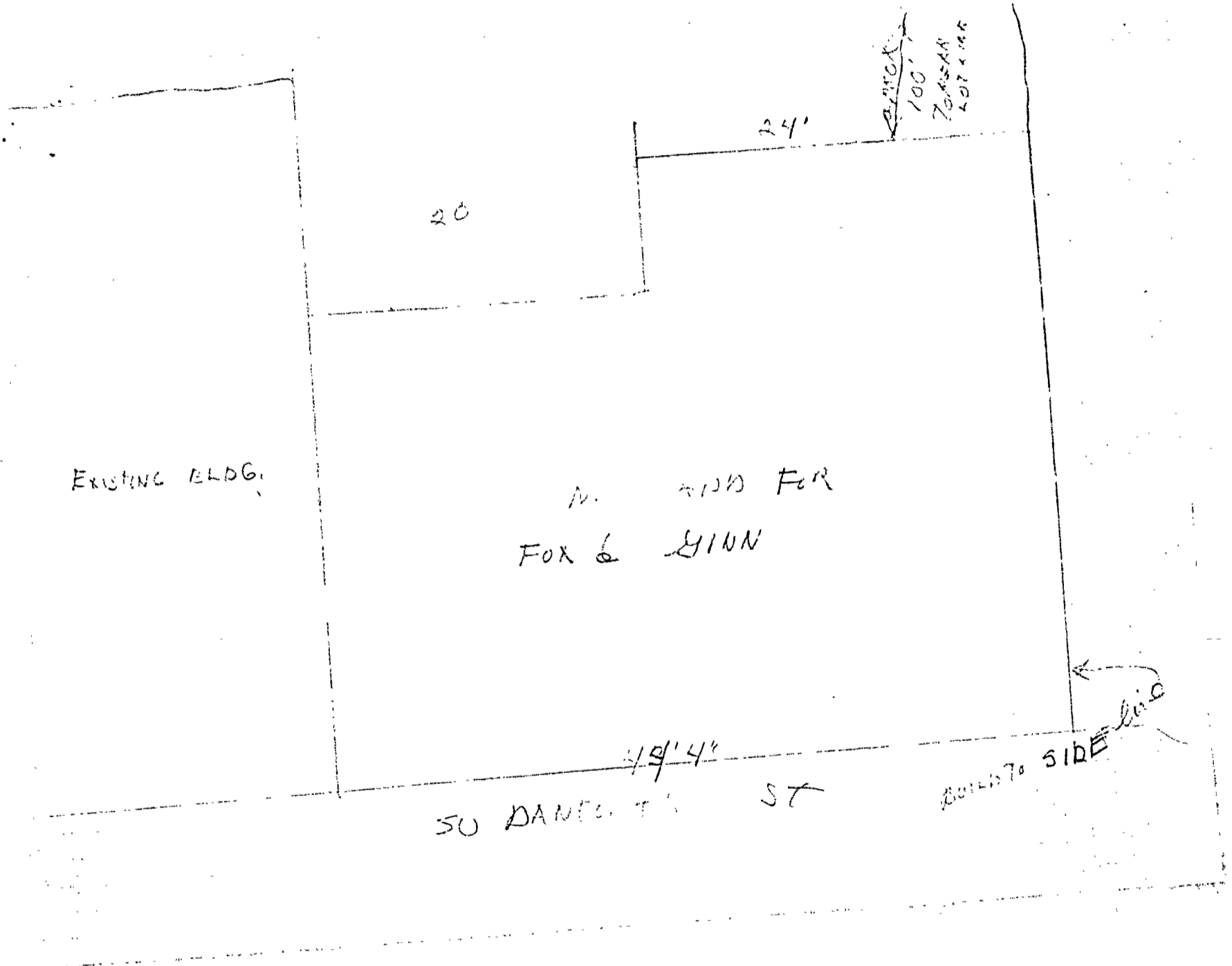
In regard to your letter of July 5th concerning changes of two doors in addition to trucking terminal building at the above named location, replacement of a swinging door on opening to existing building with a labelled sliding fire door is satisfactory. This door will need to be equipped with either automatic or self-closing hardware.

The small door in the rear wall is required as a second means of egress from the addition under the provisions of Section 204-e-2 of the Building Code. Therefore its elimination cannot be approved. However, a wicket door not less than 2 feet wide and 6 feet 4 inches high in the large overhead door would be acceptable in its place.

Very truly yours,

Albert J. Sears  
Building Inspection Director

AJS:m



20

24'

100'  
70'  
30'

EXISTING BLDG.

N. 5th St  
FOR & GINN

49'4"

SU DANFORTH ST

← SIDE LINE

TELEPHONE SP 9-1541

FRED I. MERRILL, INC.

*Building and Remodeling*  
187 SAWYER STREET  
SOUTH PORTLAND, MAINE

June 20, 1962

Department of Building Inspection  
City of Portland  
Portland, Maine

Re: Fox & Ginn, Inc.  
50 Danforth Street  
Portland, Maine

Gentlemen:

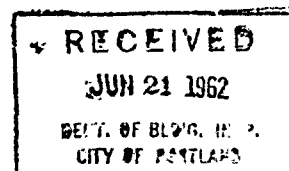
Enclosed, you will find a revised print of the above project.

Very truly yours,

*William J. Langford*  
William J. Langford,  
Engineer

WJL:ncp

Enclosure



AP- 42-54 Danforth Street  
June 4, 1962

Fred I. Merrill, Inc.  
187 Sawyer Street  
South Portland, Maine

cc to: Fox & Ginn, Inc.  
50 Danforth Street

Gentlemen:

Check of application for permit and plan filed therewith for construction of a one story masonry addition approximately 45 feet by 85 feet on right hand side of truck terminal building at the above named location discloses variances from and questions as to compliance with Building Code requirements as listed below. Before a permit for construction of the addition can be issued it is necessary that information by way of revised plans showing compliance with requirements be furnished for checking and approval. Details in question are as follows:

*New  
areaway  
at  
front  
wall  
floor opening  
into  
loading  
platform  
will do  
as outlined*

1. Apparently the boiler room is located partly below grade at the front corner of the existing building adjoining the wall to which the addition is to be attached. Existing areaway windows serving the boiler room will thus be left opening into the addition. What is planned in regard to them and how is fresh air for combustion purposes to be supplied to boiler room?

2. A new door opening is shown from existing building to addition at about the location of boiler room. Is this door to open into the boiler room which is below grade or onto the loading platform which is above grade?

3. On the basis that addition is to be used for servicing and repairing of company motor vehicles, existing window openings in wall adjoining addition, including areaway windows to boiler room, will need to be closed with 8 inches of masonry and door on new opening in this wall will need to be a Class "B" labelled fire door. See Section 212-b-2 of the Code.

4. How is addition to be heated? — *New heated suspended.*

*Will be  
provided  
as  
required*

5. An approved grease and oil separator is required for catch basin shown in floor of addition. See section 204-1-1.

6. What is height of masonry to be above tops of lintels of large door openings? If in excess of four feet, fireproofing of lintels is required and needs to be shown. *Fireproofing required*

7. How is brick facing to be tied to concrete block backing? See Sect. 308-b-3.1 and 8.4(c) *Extra heavy thru-wall*

*every other course*

Fred I. Merrill, Inc.

page 2

June 4, 1962

8. Because of the location in Fire District #1, any woodwork on outside of building which would otherwise be exposed to the air is required to be covered with metal.
9. How is roof framing to be anchored to masonry walls, particularly the front and rear walls, as required by Code?
10. What is size, material, and spacing of bridging for roof joists to be?
11. It appears that roof of addition will be above the top of part of the existing wall? What is construction to be in such a case?
12. A statement of design (blank copy enclosed, is needed for affixing to the plans.

} Will do  
} Will do  
} with bridging

- 1 1/4 x 1 1/4 x 1/8 L - 7 1/2 spacing  
- 8" Concrete block

Very truly yours,

Albert J. Sears  
Buildings Inspection Director

AJS:m



1-2 INDUSTRIAL ZONE

# APPLICATION FOR PERMIT

PERMIT ISSUED

00670

JUN 19 1962

CITY OF PORTLAND

Class of Building or Type of Structure \_\_\_\_\_  
Portland, Maine, \_\_\_\_\_ 67 33 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 50 Danforth St. Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Fox & Ginn Inc. Danforth St. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address Fred I Merrill Inc 167 Sawyer St. So. Portland Telephone 1541  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 2  
 Proposed use of building Truck Terminal No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ " " No. families \_\_\_\_\_  
 Material brick & Block No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 22,000 Fee \$ 44.00

### General Description of New Work

To construct 1-story brick and block addition 4' wide x 28'6" long as per plan. (on right hand side of existing building).

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation concrete at least 4" below grade Thickness, top \_\_\_\_\_ bottom 12" cellar \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
 Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying part) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 repairs to be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
 Fox & Ginn Inc.  
 Fred I Merrill Inc.

CS 301

INSPECTION COPY

Signature of owner

by: [Signature]

NOTES

✓ Approval of same cannot  
 be given until some  
 how the steeling of the  
 wall is done.  
 6/20/62 - OK to run footing  
 plate to Mr. Snow about  
 protecting leads - He will  
 give us a plan on them.  
 Steps to remove foundation  
 Allan  
 6/25/62 - OK to run  
 foundation facing on Danforth  
 St & half way down south  
 lot line - Allan  
 7/9/62 - See letter of this  
 date - agj  
 7/12/62 - Checked ties in wall -  
 Allan  
 8/9/62 - Work progressing -  
 Allan  
 8/23/62 - Metal needed around  
 edge of roof plus water  
 - Allan  
 9/13/62 - Permit for chimney  
 needed - Work on it turned  
 not yet all in - Allan  
 10/11/62 - Permit for chimney  
 needed - Permit sent  
 match needed for lead -  
 Allan  
 11/2/62 - Job completed -  
 Allan

6/19/62

Permit No.	621-670
Location	50 Danforth St.
Owner	Pop & Ann Lane
Date of permit	6/19/62
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

~~[Blank lined area with a large X drawn through it]~~



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation:   
 Portland, Maine, Dec. 22, 1957

PERMIT ISSUED

01967  
DEC 26 1957

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 50 Danforth St. Within Fire Limits?  yes Dist. No.   
 Owner's name and address Neil Mark Corp. 50 Danforth St. Telephone   
 Lessee's name and address Fox & Ginn, Inc. 50 Danforth St. Telephone   
 Contractor's name and address A.L. Doggett, Gray Maine Telephone Gray 3469   
 Architect Specifications Plans  yes No. of sheets 2   
 Proposed use of building Trucking and Transportation Company No. families   
 Last use " " " " No. families   
 Material cement No. stories 1 Heat Style of roof Roofing   
 Other building on same lot   
 Estimated cost \$ Fee \$ 1.00

### General Description of New Work

To install 1-8000 gallon underground diesel fuel oil storage tank.  
To install 1-Electric Pump for 25% fuel. (for private use.)  
To be buried 3' below grade; bears Underwriters label; coated with asphaltum.

BEFORE Covering Tank and  
any PIPE, APPROVAL OF FIRE  
DEPT. Required.

Asst to Fire Dept. 12/22/57  
See A Intra Fire Dept. 12/26/57

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

### Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?   
 Is connection to be made to public sewer? If not, what is proposed for sewage?   
 Has septic tank notice been sent? Form notice sent?   
 Height average grade to top of plate Height average grade to highest point of roof   
 Size, front depth No. stories solid or filled land? earth or rock?   
 Material of foundation Thickness, top bottom cellar   
 Material of underpinning Height Thickness   
 Kind of roof Rise per foot Roof covering   
 No. of chimneys Material of chimneys of lining Kind of heat fuel   
 Framing Lumber—Kind Dressed or full size? Corner posts Sills   
 Size Girder Columns under girders Size Max. on centers   
 Kind and thickness of outside sheathing of exterior walls?   
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.   
 Joists and rafters: 1st floor 2nd 3rd roof   
 On centers: 1st floor 2nd 3rd roof   
 Maximum span: 1st floor 2nd 3rd roof   
 If one story building with masonry walls, thickness of walls? height?

### If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated   
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

*Carl P. Johnson*  
CHIEF OF FIRE DEPT.

### Miscellaneous

Will work require disturbing of any tree on a public street? no   
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fox & Ginn Inc.  
A.L. Doggett

*A.L. Doggett* cont

INSPECTION COPY

Signature of owner by:

FM

NOTES

11/6/58 - work completed

*[The following section contains a large 'X' drawn across the lines, indicating that the notes are void or unused.]*

Permit No. 57/1961  
 Location 57 Buckle St.  
 Owner *[Signature]*  
 Date permit 12/26/57  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued  
 Staking Out Notice  
 Form Check Notice

*[This section contains a series of horizontal lines, likely for additional notes or a checklist, which are currently blank.]*

Memorandum from Department of Building Inspection, Portland, Maine

December 23, 1957

Location-50 Danforth St.,

Before tank and piping is covered from view, install is required to notify Fire Dept. Headquarters of readiness of inspection and to refrain from covering up until approved by Fire Dept. Headquarters.

This tank of 8000 gallons capacity is required to be of steel or wrought iron no less in thickness than #7 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

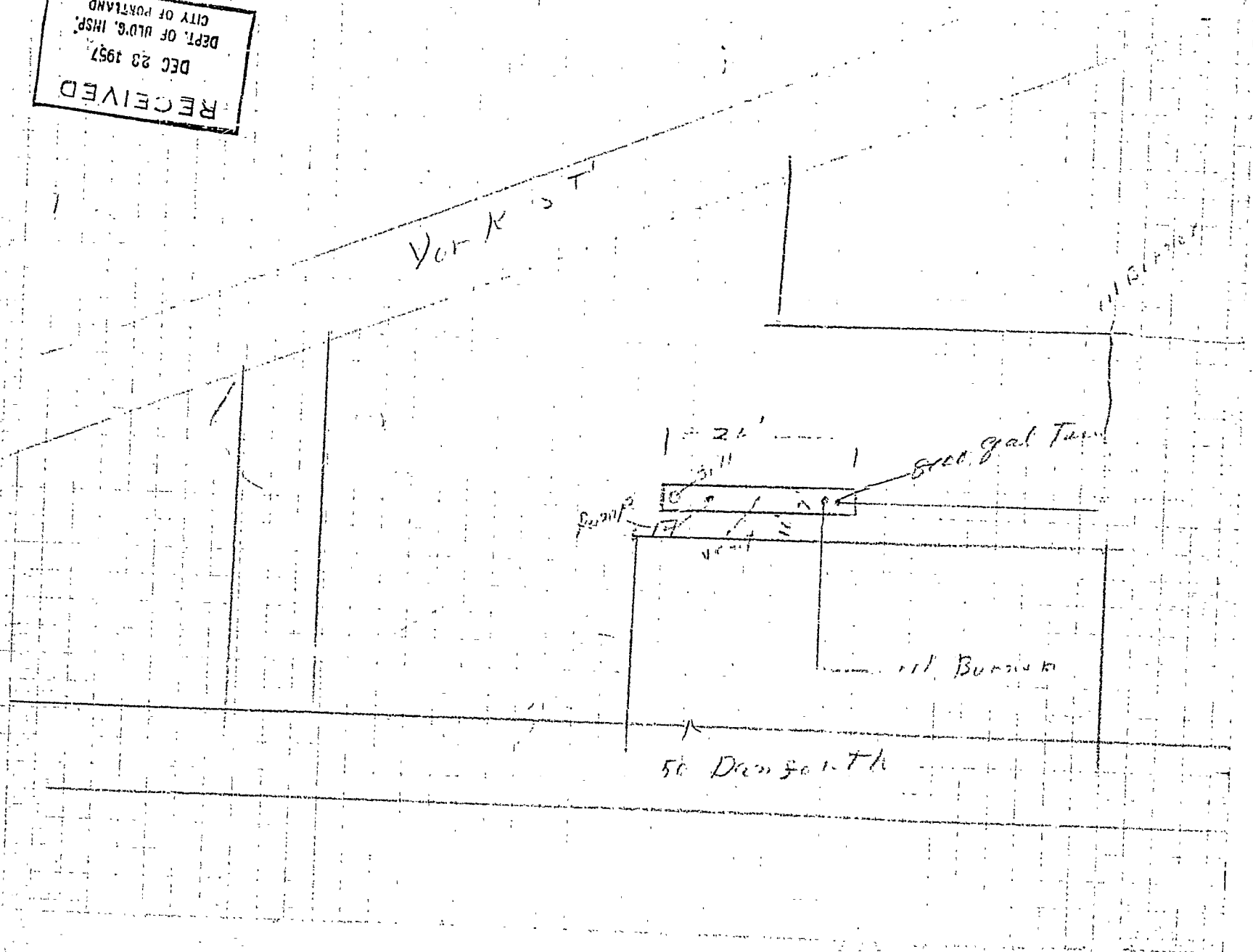
Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

(Signed) Warren McDonald  
Inspector of Buildings

CS-27

RECEIVED  
DEC 23 1957  
DEPT. OF PLD.G. INSP.  
CITY OF PORTLAND





GENERAL BUSINESS FORM

# APPLICATION FOR PERMIT

Class of Building or Type of Structure concrete block and brick

Portland, Maine, April 26, 1955

PERMIT ISSUED  
60598

MAY 3 1955

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~existing~~ ~~structure~~ ~~on~~ the following building ~~structure~~ ~~on~~ ~~lot~~ ~~20707~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 50 Danforth St. Within Fire Limits? yes Dist. No. \_\_\_\_\_  
 Owner's name and address Neilmark Corp., 12 Howard Lane, Bangor Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address J. Ernest Roberts, 1024 Washington Ave. Telephone 3-6576  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building office and garage No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ " " \_\_\_\_\_ No. families \_\_\_\_\_  
 Material conc. block & brick No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 3,500. Fee \$ 5.00

### General Description of New Work

To construct 1-story concrete block and brick addition <sup>22'</sup> 16' x 20' to be used for office as per plan.

Permit Issued with Letter

INSPECTOR OF BUILDINGS

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** J. Ernest Roberts

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Neilmark Corp.

APPROVED:

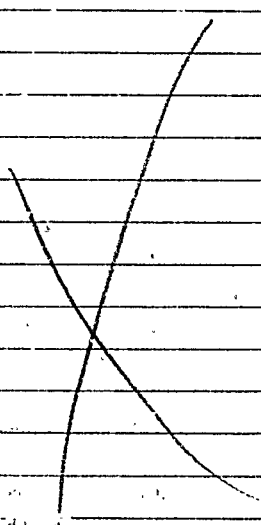
*with letter by AGJ*

Signature of owner by: J. Ernest Roberts

INSPECTION COPY

NOTES

5/16/55 - Saw from Oak - Allen  
 6/12/55 - Walling of work  
 6/16/55 - Metal roof & steel roof  
 joists 4x16 large T beam  
 counter 2x6 channels beam  
 the opening. Channel beam and  
 8' apart - Allen  
 6/8/55 - Saw G.I. - Allen  
 6/20/55 - Still opening  
 between garage & addition  
 - Allen  
 6/27/56 - Saw - Allen  
 7/11/55 - This opening is  
 floored with masonry 2x4  
 thick. - Allen



Permit No. 55/596  
 Location 50 1/2 Danforth St.  
 Owner: P. J. L. Corp.  
 Date of permit 5/3/55  
 Notif. closing-in 6/7/55  
 Inspn. closing-in 6/16/55  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued  
 Staking Out Notice  
 Form Check Notice

5/16/55

May 3, 1955

AP - 50 Danforth Street

Contractor—<sup>o</sup>J. Ernest Roberts  
1024 Washington Ave.

Owner—<sup>c</sup>Neilmark Corp.  
12 Howard Lane

Building permit for construction of a one story addition 22 feet by 20 feet on front of building at the above location is issued herewith based on revised plan, but subject to the following conditions:-

- unless line of Danforth St. has already been staked out by Public Works Department, you should request that this be done before work is started.
- ties between brick facing and concrete block backing are to be no less than galvanized wire of #6 gauge spaced 12 inches horizontally and 16 inches vertically.
- the usual fire cuts and anchors are to be provided for roof timbers resting on masonry walls.
- the existing window opening in wall between garage and addition either is to be filled in with masonry at least eight inches thick or else an automatic closing Class B labelled fire shutter is to be provided on the garage side of the opening.
- if wood strapping is to be used on masonry walls, incombustible firestopping is required between strapping at ceiling level.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJS/G

AP - 50 Danforth Street corner  
of Maple Street

April 29, 1955

Contractor - J. Ernest Roberts,  
1024 Washington Ave.

Owner - Neilmark Corp.,  
12 Howard Lane,  
Bangor, Maine

Check of plan filed with application for permit for construction of a one story addition approximately 20 feet by 22 feet on front of building at the above location discloses questions concerning compliance with Building Code requirements as listed below. Before a permit can be issued it is necessary that a revised plan with all of information thereon printed from the original be filed for checking and approval. Details in question are as follows:

1. What is thickness of foundation wall to be? - 12"
2. Presumably the floor is to be of concrete on fill, but there is no indication of such construction. - *Concrete on fill*
3. What is level of top of foundation wall to be in relation to floor level? It appears from plan that floor level may be considerably above top of foundation wall at some points, thus creating a condition whereby the superstructure wall of concrete block and brick will be retaining earth fill below the floor level. - *Foundation wall to extend up to top of floor, part between floor & grade to be brick faced.*
4. Portions of the 8-inch thick superstructure walls exceed the allowable unsupported height of 12' at as shown. - *OK - only 10'*
5. Material, size and spacing of ties between brick facing and concrete block backing are not indicated. - *#6 gauge irregular spaced 12" horizontal & 16" vertically*
6. Fire cuts and anchors on ends of roof timbers bearing on masonry walls are not shown. - *will be provided - 3/4" x 1 1/2" x every 8' feet, long enough to engage 3 joints.*
7. What is to be done about existing window in wall between garage and addition? A two-hour fire separation is required at this point if the construction of roof of addition as shown is to be allowable. - *either close or closed 10" shutter.*
8. How is roof to be drained? - *to existing drain*
9. Is there to be any overhang of roof? - *no*
10. What is size of lintels for small openings to be? - *See plan*
11. A statement of design covering steel beams and lintels has not been furnished. - *OK*

Very truly yours,

Deputy Inspector of Buildings.

AJS/H

COPY



CITY OF PORTLAND, MAINE  
Department of Building Inspection

## Certificate of Occupancy

Issued to **Neilmark Corp.**

Date of Issue **November 30, 1950**

This is to certify that the building, premises, or part thereof, indicated below, and built—  
~~under Building Permit No. 50/1048~~ ~~at 46-48 Danforth Street~~ ~~use at~~ **46-48 Danforth Street**  
under Building Permit No. **50/1048**, has had final inspection, has been found to conform substan-  
tially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved  
for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

Truck Terminal

Limiting Conditions:

This certificate supersedes

certificate issued

Approved **11/29/50:**

*Earle J. Smith*

Inspector

.....  
*Inspector of Buildings*

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from  
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

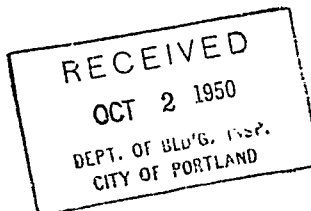
*pl. page  
with  
notes  
10/3/50*

*Bancroft & Martin Rolling Mills Company*

*South Portland 7, Maine*

September 29, 1950

Office of the Building Inspector  
City of Portland  
Portland, Maine



Gentlemen:

We have been requested to advise you that the slab over the boiler room in the new terminal building for the Neilmark Corporation on Danforth Street was designed to sustain a live load of 100 lbs. per sq. ft.

Very truly yours,

BANCROFT & MARTIN ROLLING MILLS CO.

*Wm. W. Thompson*  
Sales Engineer

WWT:pc

BP 50/1048-I  
(46-48 Lanforth Street)

September 25, 1950

Neilmark Corporation  
12 Howard Lane  
Bangor, Maine  
Mr. J. Ernest Roberts  
1024 Washington Avenue

Gentlemen:

Inspection of the new truck terminal at 46-48 Lanforth Street shows the details listed below as not completed so that we cannot issue the final certificate of occupancy for use of the building. Mr. Roberts has explained the emergency situation in which Cox & Ginn find themselves, so this letter may be considered a temporary certificate of occupancy so that the main features of the building may be used. When all of these missing details have been completed, it is important that you notify this office of readiness for final inspection; when, if everything is found in order the final certificate of occupancy will be issued.

The uncompleted details are as follows:

O.K. 1. The fire door at the boiler room stair enclosure is not in place. I understand from Mr. Roberts that there has been some delay in shipping this door, that there is no doubt that the door will be supplied bearing the label of the Underwriters Laboratories, Inc., identifying the door as Class B, and that the door will be hung in a structural metal frame as soon as received, and that we will be notified when the door is in place and equipped with its self-closing device.

O.K. 2. No handrail has been provided full length of the boiler room stairs on one side. See the fifth sub-paragraph of paragraph no. 6 of my letter of June 29.

O.K. 3. No permit has been secured for installation of the heating boiler. This permit must be applied for by, and is issuable only to the actual installer. It is important that you notify him and also that you notify us who the installer is.

O.K. 4. With reference to paragraph no. 9 in my letter of June 29, sent with the permit, we appear to have no record of the live load per square foot for which the reinforced concrete floor over the boiler room was designed. Neither has any permanent floor load sign been posted at this floor to show the safe load in pounds per square foot, as per the same paragraph. Please make good both omissions--notify us of the designed live load and have the permanent sign posted.

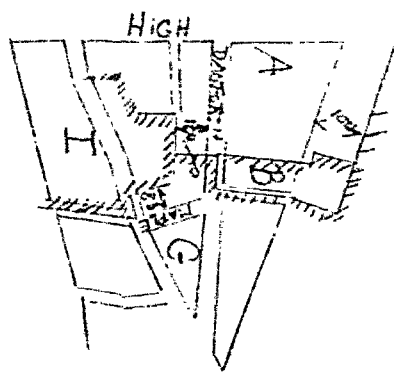
Very truly yours,

Warren McDonald  
Inspector of Buildings

O.K.  
B/29  
2 11/29/50

WMcD/G





12 1/2 Lane Danforth Street-I  
Corner of Maple Street

June 29, 1950

Mr. J. Ernest Roberts  
1021 Washington Avenue  
Wellmark Corporation  
12 Howard Lane  
Bangor, Maine

Copy to: Bancroft & Martin Building Mills Company  
Attn: Mr. Ingepsten  
7 Main Street  
South Portland, Maine

Continued

Building permit for general construction of a proposed truck terminal building at 12 1/2 Lane Danforth Street, corner of Maple Street, is issued to Mr. Roberts, herewith, subject to the conditions which follow. If for any reason you are unable or unwilling to abide by these conditions, it is important that you refrain from starting the superstructure and return the permit immediately for adjustment. Certain features called to attention are of such a character as to require some revision of the plans and application for amendment of the permit was issued. This will be directed to attention with enumeration of the situations which require such action at the end of this letter. References are to sections of the Building Code where applicable.

1. All parts of the westerly wall which may be closer than 5' to the property line dividing the lot where the new building will be and the next lot on which there stands an apartment house require a masonry parapet wall, no less than 12" thick and no less than 62" high above the roof level along the parapet wall. This is irrespective of whether or not Wellmark Corporation has bought or plans to buy the adjoining lot. I understand Mr. Roberts to say that this apartment house extends over onto the Wellmark lot. Our inspector on checking location quite a while ago found the location of the proposed building to be 4' 5" from the rear corner of the apartment house and the front corner 10' 6" from the apartment house. The line of the proposed building and this property line approach each other as they draw away from Danforth Street, so that the rear corner of the building would be considerably closer to this property line than this side wall is from the rear corner of the apartment house. It seems important that you give us the true location of the proposed building with relation to this property line before the walls of the superstructure have proceeded very far. Section 204-b-1.

If it turns out that any part of this wall <sup>will</sup> be closer than 5' to the dividing property line, the plans should be revised to show details and extent of parapet wall, also the true relation to the property line, and the change included in an application for amendment.

2. All of the windows in the westerly wall of the proposed building are required to be standard fire windows (metal mesh and wire glass) because they are located less than 20' from the property line. Section 204-b-1.

3. It is understood there are to be no pits or depressions in the floor of the garage part. If so plans should be revised showing them and the work included in application for amendment.

4. Shown in pencil on latest print of roof framing plan received here on June 27 is a door and doorway, 3' wide by 7' high in the side wall of the proposed building toward York Street very close to the front wall. This is a required means of egress, and, if for other reasons it is necessary to revise this roof framing plan, the door and doorway should be shown on the original so as to be included in the fresh prints furnished. Section 204-e and 212-e-1,2 (a).

5. Nothing in the way of forges, vulcanizing appliances or similar heat generating apparatus is shown, and it is presumed that no repairs of any kind are to be carried on in the building. If that is not the case, reference should be made to Section 204-f-3 of the Code and required protective features provided.

June 29, 1950

Section 204-f-4 requires that either the opening in the loading platform for the stairs to boiler room be enclosed with fire resistive walls or partitions having a fire door leading to the enclosure or that the stairs in the boiler room be enclosed with fire resistive partitions with a fire door at the opening from stairway enclosure to boiler room. None of this is shown on the plan.

I do not recollect anything having been said whether or not the building is to be equipped with a standard automatic sprinkler system. If it is, these enclosing partitions may be of one-hour fire resistance with a Class 1 (qualified) fire door in the opening, set in a standard fire door frame. If the building is not to be sprinklered, the fire resistive partitions are required to be such as to be rated at 2-hour fire resistance which usually means a masonry wall at least 8" thick and the fire door in the opening is required to be Class 1. If you decide to enclose the stair well at platform level, the enclosing partitions are required to be carried to the roof, or a fire resistive ceiling of the required fire resistance provided over the enclosure.

In either case the fire door is required to be a self-closing (normally closed) by means of a liquid door check, or automatic-closing (normally open) equipped with standard automatic hardware. If enclosing partitions are of masonry, the frames of the fire doors are required to be of structural steel. If only one-hour fire resistance is required and wooden studs are used in the enclosing partitions, the frames of the door may be steel clad or called for in section 12-2-3.3.

Whether the enclosure is provided at top or bottom of the stairs, the door is required to be as far from the nearest riser of the stairs as the door is wide.

If fire details of the stairs to boiler room, as to material, rise and tread or non-slip on soles at the site. Unless special approval is secured, a handrail is required with length of at least one side, the risers are to be no more than 8 1/2" high and the treads measured from riser to riser, not from riser to nosing, are required to be no less than 9" wide.

It is necessary to revise the plans showing full details of fire resistive enclosure and of the stairs and to include all of this work in application for amendment to the permit now issued.

6. Door from fire partition of the building (presumed to be intended for an office) to out of doors opens only about 2' 0" wide. With this door and the door from loading platform to office are required to be no less than 3' wide and no less than 6' 4" high. Section 12-2-3.3.

7. Presumably the heating system is to be steam, but no indication appears. Section 204-f-4 forbids the use of warm air heat by gravity, and contains special rules for protection if warm air heat with forced circulation is intended.

8. If floor drains are intended in any part of the floor used for motor vehicles, an immiscible liquids trap and grease separator in accordance with state regulations and the approval of the Chief of the Fire Department is required. In that case the plan should be revised to show location of floor drain, kind of trap and separator to be used and fresh print furnished, the work to be included in application for amendment.

9. The designer should put on the revised plan or notify this office of the live load per square foot designed for at the suspended reinforced concrete floor over the boiler room. Since this floor is likely to be used for storage, Section 205-i-1 requires that an appropriate and permanent floor load sign be posted clearly visible from this space indicating the maximum allowable safe load on the slab in pounds per square foot, sign to read something like this: "Load on this floor not to exceed \_\_\_ pounds per square foot". Incidentally this live load designed for is not permitted to be less than 100 pounds per square foot.

10. In event gasoline tanks, pumps and piping are intended, a separate permit from this department is required to cover this installation, to be applied for by and issuable only to the actual installer. With the application the installer should file

June 19, 1950

a plan showing the true location, depth in character of the tank, and location of the pump with relation to nearby landmarks. Now and then it occurs that one party puts in the tanks and someone else connects the pump and piping. At any rate a permit must be secured before any of the work is started, and the tank requires inspection on the part of the Fire Department before it is covered from view.

11. The two prints originally filed, showing floor plan and elevations and the more recent prints from plans made by Hancock-Martin do not fully agree, but the plans are at any rate near complete without using both of them, so as to have one the best of both. The type of construction probably should be classified as metal frame with some variations. We are not familiar with any have no data on the standard 1 1/2" x 20 gauge "approved", so we are compelled to rely upon the statement of design of the designer for this roof structure which is presumed to be of spans of 7', center to center of heavy joists. Mr. Hancock-Martin says that the steel bar and gravel roofing is provided and that probably some type of insulation is to be used between roof sheathing and roofing. Some wooden blocking is noted at the corners. There is no objection to this, but there will be a complete direction between both combustible insulation above the roof sheathing and roof joists and this wooden blocking.

12. The framing of the office portion roof is shown as solid steel joists without any indication of bracing or of ceiling. Presumably a ceiling is intended. Since the main building can be classified as a major hazard, and since there is no 1-hour separation between the main building and the office, it is not allowable to use the 2" members for the roof framing over the office, unless the entire building is to be sprinklered. If the building is not to be sprinklered and you resort to heavy fiber construction for the roof over the office, any ceiling provided will have to be metal lath and plaster on metal furring.

If the wall between office and main building were made a 1-hour fire resistive wall, which it probably could be by providing in the doorway a listed (labeled) fire door either self-closing by means of a liquid door closer or automatic closing by means of standard hardware, set in a structural metal frame. In that case even though the building were not sprinklered, the ordinary steel joists could be used for a combustible ceiling. No less than 1/2" cross bracing would be required between the joists, however.

In any event the plans are to be revised showing the details of this construction work of roof, or 1-hour fire separation or what you propose, and this work included in application for amendment to this permit now issued.

Also show or revised: the steel anchors from joists to masonry walls, spaced not more than 8' from center to center, to be no less than 1 1/2" x 3/8" x 15" long, to be fastened to the bottom edges of the joists and bolted securely into the masonry, and where the joists run parallel to the masonry walls, the anchors to be long enough to engage no less than three joists.

13. If the height from top of lintels over large doors to the top of the masonry wall is to be not more than 4', neither the structural steel lintels nor the lally columns supporting them require fireproofing. Fireproofing is shown but not completely. If this height is more than 4', fireproofing is required, and plans should be revised to show the thickness and the reinforcement of the fireproofing and the spacing of the reinforcement away from the structural steel, and revised plan filed with application for the amendment.

14. If a sprinkler system is to be installed, a separate permit is required from this department to be applied for by and issuable only to the actual installer. With the application is required a plan of the sprinkler system bearing upon it the stamp of approval of the New England Fire Insurance Rating Association.

A separate permit is also required for installation of the heating boiler to be applied for by and issuable only to the actual installer.

June 29, 1950

Mr. J. Ernest Roberts  
McClure Corporation

22. I have not discovered the chimney on the latest prints, but it is assumed that the flue will be lined with tile lining and that a cast iron cleanout door and frame will be provided at the bottom of the flue, accessible from the boiler room.

23. Detail notes and sections have been added to print of plan no. F119 by Barrett & Curtis received here June 27, to show brick veneer along the Maple Street front and along the 124<sup>th</sup> Street front. The notes also show that the brick veneer is to be tied into the cinder block backing by metal ties with a diameter no less than that of no. 3 gauge wire, is about 7/16 of an inch, and that these ties are to be built in every sixth course of brick, 12" from center to center. This is a little closer to each other horizontally than required by the Code which stipulates no more than 24" from center to center, but of course is satisfactory.

24. It is assumed that the bracing for supported joists in the rigid channels in every case, and since there are no ties against the exterior walls, that both bracing is to be carried through an adequate securing to the exterior walls as required by standard specifications for such joists.

25. I can find no detail here for masonry Perroband joints and exterior walls, where the steel joists are parallel with the walls. It is assumed that is something may be relied upon to meet the requirements of the Code for bond between masonry walls and exterior walls.

It is necessary that a detail be shown on the revised plans of this situation where the Perroband gets its bearing on the masonry walls, the arrangement of cornice, and overhang, including the fact that there will be positive firestop between combustible insulation and the combustible walls of the roofing and any wooden blocking of the cornice.

26. I have not discovered any strength reinforcement for the 4" reinforced concrete slab over the heater room, nor any indication of the spacing of the rods for negative tension where the slabs run over the supporting I-beams. If these details are on the latest plan anywhere, please show me where. If not, it is necessary to show these details on the revised prints and include the work in the application for amendment.

27. When all features controlled by the Building Code have been completed, it is the contractor's or owner's responsibility to notify this office of readiness for final inspection. Upon inspection if everything is found in order the required certificate of occupancy will be issued. It is not lawful to occupy the building for any purpose until this certificate has been issued.

28. The following details require revision of the plans and to be included in application for amendment to the permit now issued. May we have this revision and the application for the amendment as quickly as possible, to clear up the matter in the minds of everyone, including our inspector. If anything about this letter is not understood, please take the matter up promptly so that the job may go along smoothly. Here is the list:

- Parapet wall details if closer than 5' to the property line.
- Details of any pits or depressions in the floors.
- Boiler room stairs and enclosure.
- Floor drains, grease traps and separators, if any.
- Details of roof and ceiling over office.
- Fireproofing of steel details, if fireproofing is required (see above)
- Reinforcement of floor slab over boiler room including that for negative tension.

Very truly yours,

WMcL/G  
Enclosure to contractor; Building permit and applicant's copy of application

Warren McDonald  
Inspector of Buildings



GENERAL BUSINESS ZONE  
APPLICATION FOR PERMIT

PERMIT ISSUED  
01045  
JUN 30 1950  
CITY of PORTLAND

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, May 16, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. *5/20/50*

The undersigned hereby applies for a permit to erect ~~the following building~~ the following building ~~under construction~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 46-48 Danforth Street Within Fire Limits? yes Dist. No. 1  
 Owner's name and address Neilmark Corp., 12 Howard Lane, Bangor, Maine Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address J. Ernest Roberts, 1024 Washington Avenue Telephone 3-5576  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 5  
 Proposed use of building Truck Terminal No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 35,000. Fee \$ 35.00

General Description of New Work

To construct 1-story cinder block truck terminal 60' x 72' as per plans

*Weight used with letter*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Permit to be issued to J. Ernest Roberts

Details of New Work

Is any plumbing work involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Neilmark Corp.

Signature of owner by: J. Ernest Roberts

INSPECTION COPY

Permit No. <sup>1011</sup> 50/1048  
Location 46-49 Danforth St.  
Owner Neilmark Corp.  
Date of permit 6/30/50  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif 9/12/50 (100%)  
Final Inspn. 11/29/50  
Cert. of Occupancy issued 11/30/50

See 57 York St. NOTES

7-24-50 Sidewalk with  
along side  
9/16/50 - Arranged  
for permit & work  
today  
9/18/50 - NO permit  
for work  
NO handrail on  
stairs to boiler room.  
NO fire door to boiler  
room.  
NO floor load design. E.S.S.  
9/25/50 - Temporary cert. of  
occupancy by letter  
11/29/50. Work done  
& permit to be issued. E.S.S.

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT



Class of Building or Type of Structure Foundation  
Portland, Maine, May 22, 1950

ISSUED  
MAY 22 1950  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~repair~~ ~~demolish~~ ~~install~~ the following building structure/equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 45-48 Danforth Street Within Fire Limits? EM Dist. No. \_\_\_\_\_  
Owner's name and address Neilmark Corp., 12 Howard Lane, Bangor, Maine Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address J. Ernest Roberts, 1624 Washington Avenue Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets \_\_\_\_\_  
Proposed use of building Truck Terminal No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_ Fee \$ 1.00  
Estimated cost \$ \_\_\_\_\_

General Description of New Work

To excavate and construct foundation/<sup>forms</sup>only for 1 story cinder block truck terminal  
20'x72' as per plans

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO J. Ernest Roberts

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Neilmark Corp.

APPROVED:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature of owner By:

J. Ernest Roberts

NOTES

5/29/50 - Rough excavation made  
 5/29/50 - I have given permission  
 to your concrete subject to  
 the following conditions  
 1. Work like to be completed  
 within 131 M. To avoid an  
 extension of business to  
 the contractor to be performed  
 6/15/50 - W.M.D.  
 6/8/50 - Checked some notes  
 distances marked in plan on  
 location plan of L.S.  
 6/11/50 - Checked off gas  
 tanks. L.S.

Permit No. 50/757  
 Location 44-119 Oakfield, Ill.  
 Owner M. L. Marshall & W. J. Hoff  
 Date of permit 5/24/50  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn.  
 Cert. of Occupancy issued

50/757

46-48 Danforth Street,  
Corner of Maple Street-1

May 24, 1950

Mr. J. Ernest Roberts  
1024 Wellington Avenue  
Portland, Maine

Copies to:  
Wilkart Corporation, 12 Howard Lane, Bangor, Maine  
Mr. Roberts for the architect

Dear Mr. Roberts:

Advance building permit applied for to cover excavation and foundation only of the proposed truck terminal for Wilkart Corporation at 46-48 Danforth Street, corner of Maple Street is issued to you, herewith, but because of omissions in the plan or questions as to compliance with the requirements, this advance permit is limited to excavation and construction of the forms only and does not include putting anything whatever in the forms.

Before we can clear the permit to complete the foundations, even, additional information is needed:

1. The designer should furnish his signed statement of design showing the design of the reinforced concrete and, if the same party is doing all of the design, he might as well include in that statement of design all reinforced concrete and steel work in the superstructure.

2. Please have the designer furnish his analysis of the reinforced concrete retaining wall shown on Section B-B between the boiler room and the fill under the platform. Because he has shown equal reinforcement in both directions, the basis of his design is uncertain. If the design is based upon the reactions along the floor slab at top and bottom of the wall, as is commonly done, the main reinforcement would run up and down and the top of the wall should be thoroughly tied into the floor slab over boiler room and platform.

3. If this wall requires reinforcement, as it no doubt does if it is to be only 12" thick and retain a height of about 8', it is not apparent why the foundation wall on the other side of the boiler room should not be reinforced also. Presumably reinforcement has been omitted from the exterior wall of the boiler room because that particular wall will evidently retain only four or five feet of earth. The boiler room wall on the side toward the truck space would only retain a depth of about 5', but since it would have to bear the surcharge of a heavy truck it would seem in the interests of safety to reinforce that wall also.

4. The intention seems evident of having every part of the foundation walls at least 4' below the finished grade of the ground, which is the requirement of the Building Code, but in a few places on the elevations, the depth of the foundation walls below the grade scales less than 4'.

5. The intention as regards stairs to the boiler room is not clear, but because these stairs evidently lead downward from a floor which is substantially a garage floor it is evident that the stairway is required to be enclosed at the ground floor level with self-closing fire door and raised threshold. This feature may not enter into the foundation details, although it will make a difference in the wall at the face of the platform. At any rate the matter should be worked out thoroughly so that we can proceed with a check of the superstructure. It would seem to simplify matters considerably if the stairs to the boiler room went down out of the front portion of the building rather than the truck space.

Mr. J. Ernest Roberts \_\_\_\_\_ 2

May 24, 1950

6. The main building is a composite between a garage and a business and industrial establishment, but it seems evident that more means of egress by way of doors of ordinary size will be required. This too will not enter into the foundation construction, perhaps, unless the foundation extends above the grade. At any rate the designer should examine the requirements of the Building Code as to number and relative location of means of egress and revise the plan so that we can proceed with check of the superstructure. The one doorway of ordinary size seems to scale less than the required 3' wide.

7. The plans appear not to be finished in a number of details, for instance at the sort of vestibule between the front portion and the platform portion where a small difference in levels of floors occurs, and at this point only one step at a given point is to be avoided.

8. It is my impression that all of the details have not been completed especially the framing of the roof, and it is hoped that all details will be completed as far as can be told in compliance with the Building Code and from prints furnished before we go to work on a check of the superstructure. The print that we have especially of the foundation plan and section detail is not very clear.

Very truly yours,

Warren McLaughlin  
Inspector of Buildings

WRCB/C

P.S. It appears that the rear part of the main building is proposed closer than 5' to the side property line. In such a case a masonry parapet wall no less than 36" in height is required, but none is shown on the plan. It may be that the owner would prefer to move the building a few feet toward Maple Street and avoid this fire protective requirement. If that is so, please file application for amendment to this advance permit immediately showing the true location proposed.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for truck Terminal  
at 16-18 Danforth Street Date 5/16/50

1. In whose name is the title of the property now recorded? Neilmark Corp.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? \_\_\_\_\_
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

J. Ernest Roberts

227



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, October 6, 1950

01910

N-ESS

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 45-50 Danforth Street Use of Building Warehouse No. Stories 1 New Building Existing
Name and address of owner of appliance Neilmark Corporation, 45-50 Danforth Street
Installer's name and address Harris Oil Co., 502 Commercial Street Telephone 2-3504

General Description of Work

To install Two oil burning units with increased hot water heat.

IF HEATER, OR POWER BOILER

Location of appliance or source of heat center (piller room) Type of floor beneath appliance concrete
If wood, how protected? Kind of fuel oil
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace concrete
From top of smoke pipe 6" From front of appliance concrete From sides or back of appliance concrete
Size of chimney flue 18" Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner General Electric Labelled by underwriter's laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner concrete
Location of oil storage outside below ground Number and capacity of tanks existing 1-2,000 gal.
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Installation of tanks covered by separate permit

Amount of fee enclosed? 2.50 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. - 10/6/50 - O.J.S.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Harris Oil Company

Signature of Installer Davis & Archer

INSPECTION COPY

Permit No. 50/1210  
Location 46-50 Danforth St.  
Owner Neilmark Corp.  
Date of permit 10/7/50  
Approved 11/29/50

NOTES

11/29/50. Validated  
E.S.S.

- 1. Title page
- 2. ...
- 3. R.
- 4. ...
- 5. a
- 6. ...
- 7. ...
- 8. ...
- 9. ...
- 10. ...
- 11. ...
- 12. ...
- 13. ...
- 14. ...
- 15. ...
- 16. ...



(G) GENERAL BUSINESS ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation  
Portland, Maine, August 24, 1950

PERMIT ISSUED  
01515  
AJG 25 1950  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ install the following ~~building~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 50 Danforth Street Within Fire Limits? yes Dist. No. \_\_\_\_\_  
Owner's name and address Fox & Ginn, 29 1/2 Commercial Street Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address T. H. Stokes, 355 Pride St., Westbrook Telephone 3-5179  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

General Description of New Work

To install ~~1-6800~~ 1-6800 gallon gasoline tank. Storage to be for private use. Tank will be 3' underground and painted with asphaltum. Tank bears Underwriters label. New installation. One electric pump to be installed. 1 1/2" piping from tank to pump.

BEFORE Covering Tank and any Piping, APPROVAL of FIRE DEPT. Required.

Permit Issued with Memo  
Sent to Fire Dept. 8/24/50  
Rec'd from Fire Dept. 8/25/50

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO T. H. Stokes

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kir \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ G'rt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Column's under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*[Signature]*  
CLERK OF THE CITY

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fox & Ginn  
*[Signature]*

Signature of owner by:

INSPECTION COPY

NOTES

8/28/50 - P.I. Form

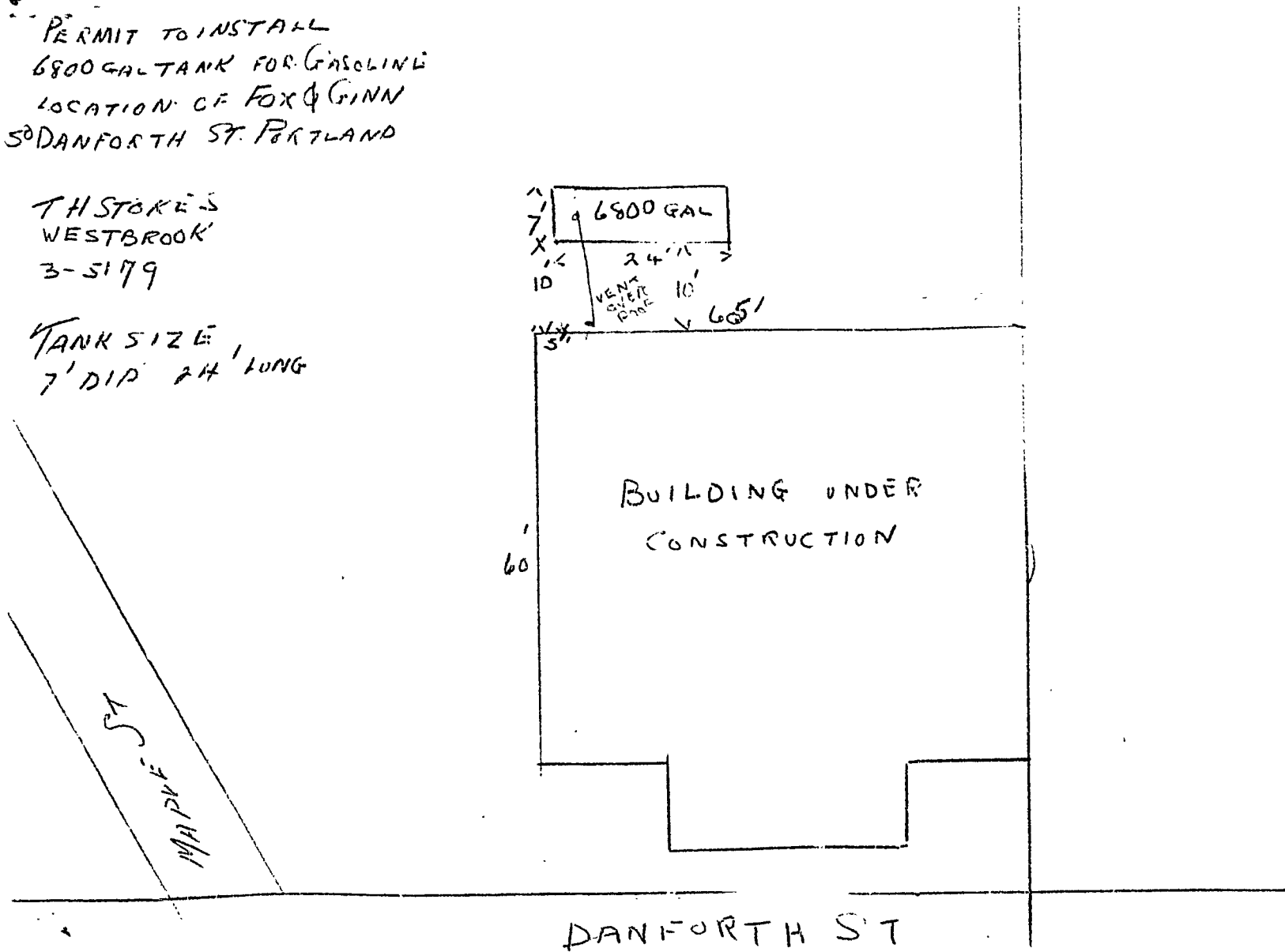
Permit No. 50/1515  
 Location 50 Randolph St.  
 Owner J. P. & L. J. Adams  
 Date of permit 8/25/50  
 Notif. closing-in  
 Inspn. closing-in  
 Final/Notif.  
 Final/Inspn.  
 Cert. of Occupancy Issued

*[The following section contains faint, mostly illegible text and lines, likely representing a checklist or detailed notes for the permit application.]*

PERMIT TO INSTALL  
6800 GAL TANK FOR GASOLINE  
LOCATION OF FOX & GINN  
50 DANFORTH ST. PORTLAND

T H STOKES  
WESTBROOK  
3-5179

TANK SIZE  
7' DIA 24' LONG



Tank must be  
15' & 20' from lot  
line.

and some distance  
from building if  
there is any basement

OK

**Memorandum from Department of Building Inspection, Portland, Maine**

50 Danforth Street—Installation of 1-6,800 gallon gasoline tank for Fox & Ginn  
by T. H. Stokes, Installer August 25, 1950  
Fire Chief requires that tank be at least 15 feet from any lot line and also 15 feet  
from any building at all, the lowest or cellar floor of which would be below the top of  
Before tank and piping is covered from view, installer is required to tank.  
notify Fire Department Headquarters of building for inspection and to wmed  
from covering up until approved by the Fire Department.

This tank of 6,800 gallons capacity is required to be of steel or  
wrought iron no less than  $\frac{1}{4}$  inch nominal thickness and before installation is  
required to be protected against corrosion, even though galvanized, by two  
preliminary coats of red lead and heavy coat of hot asphalt.

Pipe lines connected to underground tanks, other than tubing and ex-  
cept fill lines and vent wells, must be provided with double swing joints  
arranged to permit the tank to settle without impairing the efficiency of  
the pipe connections.

Owner and installer will have to bear the responsibility for the  
structural capacity of the tank to support loads from above such as heavy  
motor trucks.

If tank will be so located as to be subjected to the action of tide  
water or "ground" water, adequate anchorage or bracing must be provided  
to prevent "floating" when tank is empty or nearly so.

S

CC: Fox & Ginn  
294 Commercial Street

Oliver T. Sanborn, Chief  
of the Fire Department

(Signed) Warren McDonald  
Inspector of Buildings



# APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation  
Portland, Maine, June 5, 1950

PERMIT ISSUED  
JUN 9 1950  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~execute repairs to~~ install the following ~~building~~ heating equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 46-50 Danforth Street Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Neilmark Corp., 13 Howard Lane, Bangor Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address J. Ernest Roberts, 1024 Washington Avenue Telephone 3-6576  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

### General Description of New Work

To install 1-2000 gallon fuel oil tank. Tank will be 3' underground and bears Underwriters label.  $\frac{1}{2}$ " piping from tank to boiler. Tank is painted with asphaltum.

BEFORE Covering Tank and any Piping APPROVAL of FIRE DEPT. Required.

It is understood that this permit does not include installation of heating apparatus which is to be taken <sup>sent to Fire Dept. 6/5/50</sup> ~~care of separately~~ <sup>6/2/50</sup> by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO J. Ernest Roberts**

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

Chas. H. [Signature]  
CITY OF PORTLAND

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Neilmark Corp.

INSPECTION COPY

Signature of owner by:

J. Ernest Roberts

NOTES

6/12/50 - P I. F. E. B. L.

Lined area for notes, containing a large handwritten 'X' and some faint text at the bottom.

Permit No. 50/888

Location 46-50 Danforth St.

Owner Portland Park Camp

Date of permit 6/9/50

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

**Memorandum from Department of Building Inspection, Portland, Maine**

45-50 Danforth Street--Installation of 1-2000 gallon fuel oil tank for Neilmark Corp. by J. Ernest Roberts, installer

Before tank and piping is covered from view, installer is required to notify Fire Department Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Department.

This tank of 2000 gallons capacity is required to be of steel or wrought iron no less in thickness than No. 7 gauge and before installation is required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

CC: Neilmark Corp.  
13 Howard Lane  
Bangor, Maine

Oliver F. Sanborn, Chief  
of the Fire Department

(Signed) Warren McDonald  
Inspector of Buildings

File

INQUIRY BLANK

ZONE \_\_\_\_\_

FIRE DIST. \_\_\_\_\_

CITY OF PORTLAND, MAINE  
DEPARTMENT OF BUILDING INSPECTION

Verbal  
By Telephone

Date February 3, 1949

42 Danforth St., Corner of Maple Street  
46-48 Danforth Street

LOCATION 52 Danforth Street OWNER Various

MADE BY Mr. Fox of Fox & Ginn, Inc. TEL. \_\_\_\_\_

ADDRESS 294 Commercial Street

PRESENT USE OF BUILDING \_\_\_\_\_

CLASS OF CONSTRUCTION \_\_\_\_\_ NO. OF STORIES \_\_\_\_\_

REMARKS: Mr. Fox came in with Gerald Cole, City Councilor

INQUIRY: How would Zoning Ordinance apply to using these three lots and perhaps one more in the rear along Maple St. for a truck freight terminal, involving at least one new building and of course the storage of trucks, but there would be no auto repair there other than repairs to the company's own trucks?

ANSWER: All but southwest corner of No. 46-48 comes under General Business Zone rules-- this corner and all of No. 52 under Limited Business Zone rules. Principal questions under Limited Business Zone are: would be parking or storage of more than one commercial vehicle, any part of the transportation business which might be called wholesale and the question of a Repair Garage even though that Repair Garage were for the owner's own vehicles. An exception from Board of Appeals would probably be necessary at least on the truck storage proposition and it is recommended that while an appeal is being filed it be made broad enough to cover all three items. Expiration of rights under an appeal granted was explained as six months from the date of granting if the work or use is not had one year from that date if the work is not completed and the use finally consummated.

OF REPLY 2/7/49 REPLY BY Wiley



# APPLICATION FOR PERMIT

02541

Class of Building or Type of Structure Third Class  
Portland, Maine, Sept. 29, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ demolish the following building ~~and~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 46-43 Danforth Street Within Fire Limits? Yes Dist. No. \_\_\_\_\_  
Owner's name and address Edward Gero, Apt. Box 70 RD, Westbrook Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Walter Graten, 901 Congress Street Telephone 2-8124  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Use apartment house No. families 6  
Material wood No. stories 2 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Buildings on same lot none  
Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

### General Description of New Work

demolish 2 1/2 story apartment house approximately 40' x 48'  
You agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Department of Public Works of the City of Portland? Yes

I understand that this permit does not include installation of heating apparatus which is to be taken out separately by and in charge of the heating contractor. PERMIT TO BE ISSUED TO \_\_\_\_\_

### Details of New Work

Excavating involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
\_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
\_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
\_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
\_\_\_\_\_ Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
\_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
\_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
\_\_\_\_\_ (Sills and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
\_\_\_\_\_ floors: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
\_\_\_\_\_ 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
\_\_\_\_\_ 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
\_\_\_\_\_ with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

\_\_\_\_\_ to be accommodated \_\_\_\_\_ commercial cars to be accommodated \_\_\_\_\_  
\_\_\_\_\_ being done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

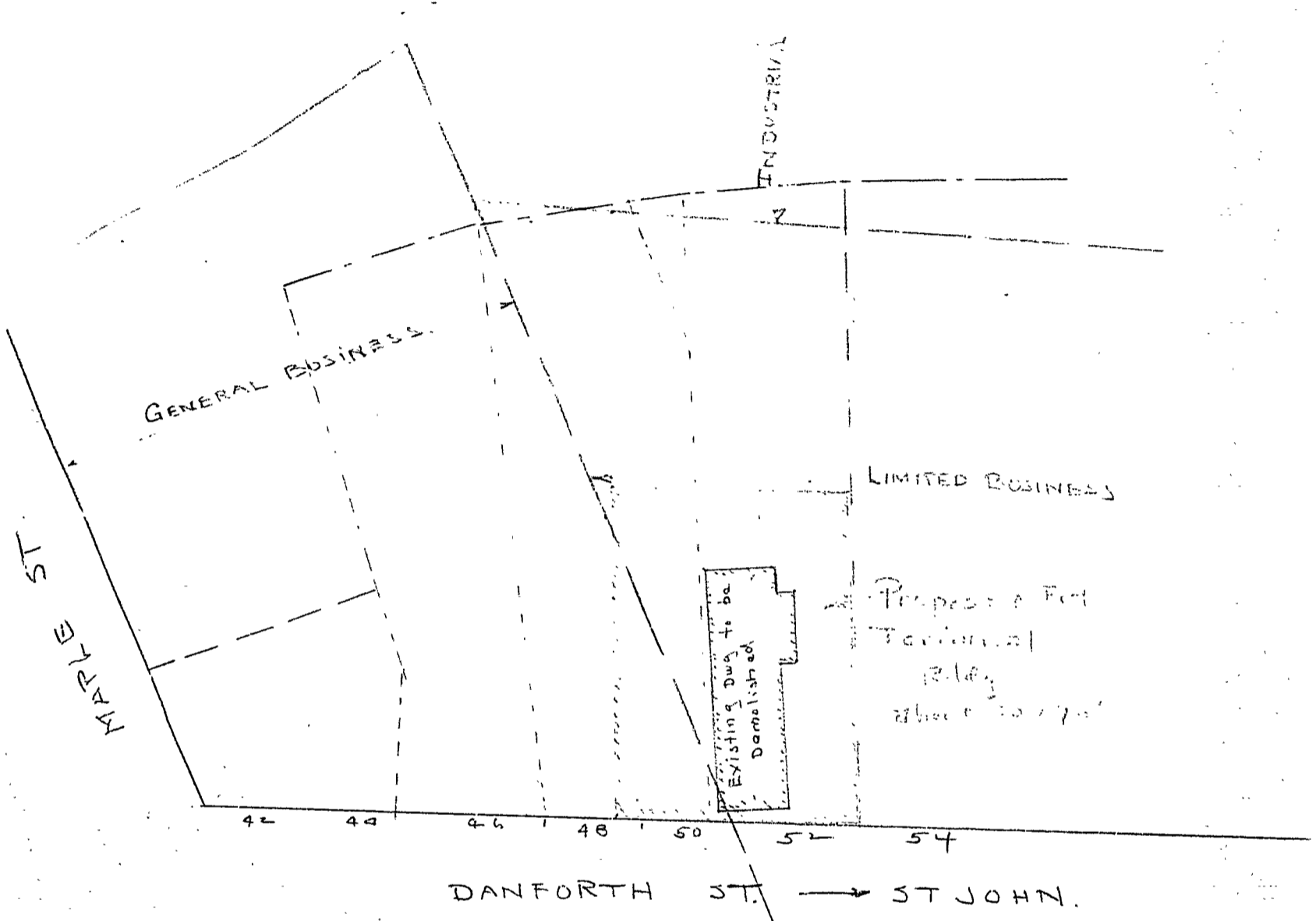
Signature of owner by: Edward Gero

by: Walter Graten

Permit No. 47/2544  
Location 46-48 Danforth St.  
Owner Edward Bers, Agk.  
Date of permit 9/29/47  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. 4/8/48  
Cert. of Occupancy issued none

NOTES

~~12/17/47 - installed  
all  
12/30/47 - [unclear]  
[unclear] [unclear]  
4/8/48 - Work done  
subble not as yet  
cleaned up [unclear]~~



Nail mark opp.  
 a/o C.H. Fox.  
 12 Howard Lane

3/10/49



APPLICATION FOR PERMIT **PERMIT ISSUED**

Class of Building or Type of Structure Third Class 261  
Portland, Maine, March 22, 1939 MAR 22 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 48 Danforth Street Bear Within Fire Limits? yes Dist. No. 1  
Owner's or Lessee's name and address Katharine C. McDonnell, 45 Spring St. Telephone \_\_\_\_\_  
Contractor's name and address Thomas Martin, 12 Oak St. Telephone no  
Architect \_\_\_\_\_ Plans filed no No. of sheets \_\_\_\_\_  
Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Last use Barn No. families \_\_\_\_\_

General Description of New Work

To demolish building 40' x 30' no sewer connection

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

no Height average grade to top of plate \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Kind of heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or Full Size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
Total number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Katharine C. McDonnell  
Thomas Martin

INSPECTION COPY





# APPLICATION FOR PERMIT

PERMIT ISSUED  
0631

MAY 28 1933

Class of Building or Type of Structure Third

Portland, Maine, May 26, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications any, submitted herewith and the following specifications:

Location 42 Denforth Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Patrick J. Clancey, 83 State St. Telephone \_\_\_\_\_

Contractor's name and address H. F. Small, 7 Chapel Street Telephone no

Architect's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Proposed use of building \_\_\_\_\_ No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_

Plans filed as part of this application? \_\_\_\_\_ No. of sheets \_\_\_\_\_

Estimated cost \$ \_\_\_\_\_ Fee \$ 1.00

### Description of Present Building to be Altered

Material wood No. stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ dwelling house No. families 1

### General Description of New Work

demolish building 30' x 24'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

### Details of New Work

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
Height average grade to highest point of roof \_\_\_\_\_

To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_

Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_

chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

heat \_\_\_\_\_ Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

to walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof  
bet. Sills and corner posts all one piece in cross section.

rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

located on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_

cars to be accommodated \_\_\_\_\_

to be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

### Miscellaneous

removal or disturbing of any shade tree on a public street? no

above work a person competent to see that the State and City requirements pertaining thereto

Patrick J. Clancey

Signature of owner Harry W. Small

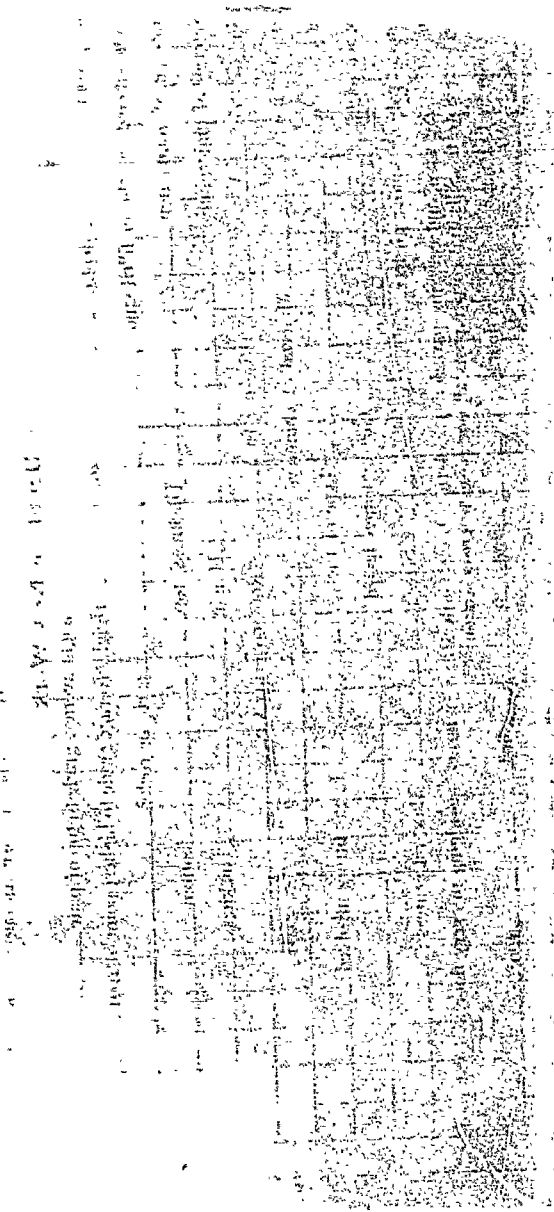
9833A

Ward 5 Permit No. 33/631  
Location 42 Danforth St.  
Owner Patrick J. Clancy  
Date of permit 5/26/33  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspu. 5/26/33  
Cert. of Occupancy issued None

NOTES:  
5/26/33 - P.I.T. - A.J.S.

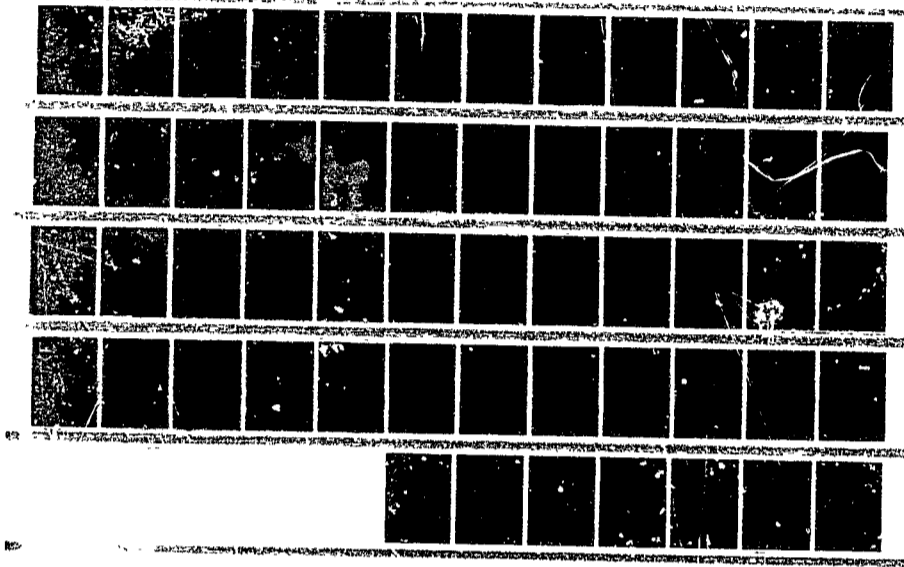
~~SECTION FOR PERMIT  
REVISION 1~~

View Map



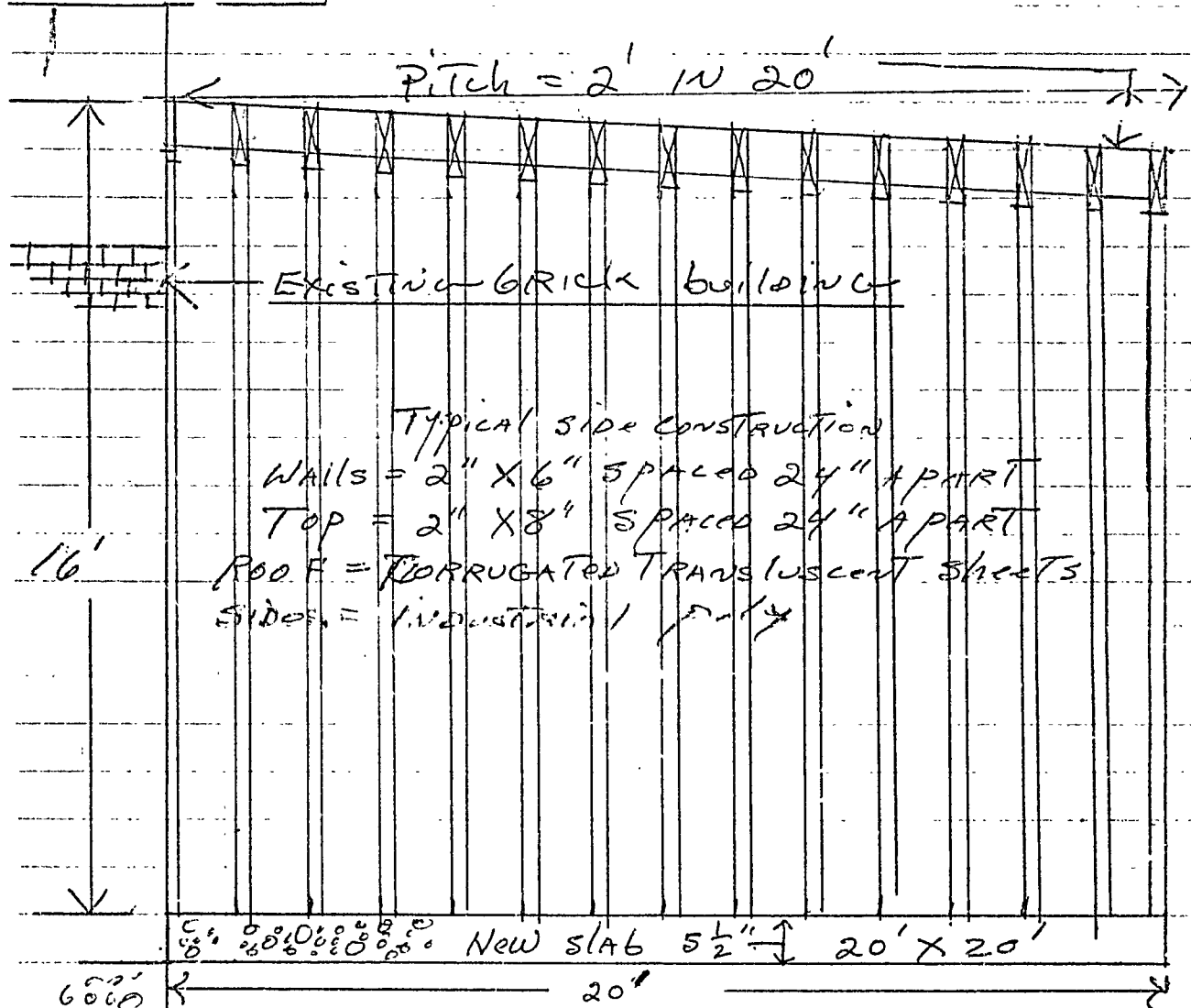
42-50 DANFORTH STREET

2



TEMPORARY STRUCTURE TO PROTECT  
MEN FROM WEATHER DURING  
OUT DOOR CONSTRUCTION

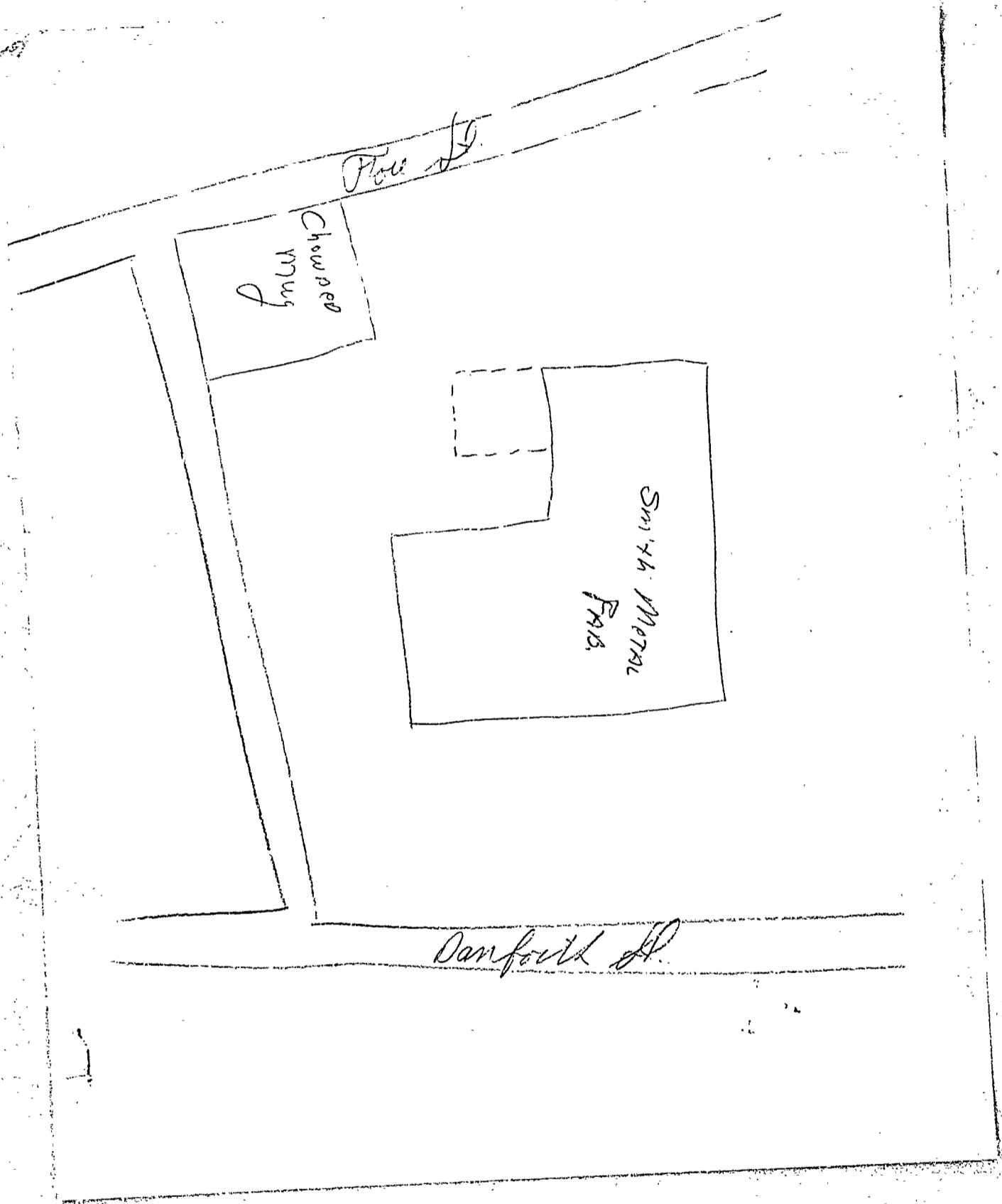
Roof Exist Bldg  
Steel Members



Typical side construction  
Walls = 2" X 6" SPACED 24" APART  
TOP = 2" X 8" SPACED 24" APART  
ROOF = CORRUGATED TRANSLUCENT SHEETS  
SIDES = INDUSTRIAL PLY

SMITH'S METAL FAB.  
50 DANFORTH ST.  
PORTLAND, ME.

RECEIVED  
DEC 21 1979  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND





APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....

ZONING LOCATION PORTLAND, MAINE, 12-21-79

DEC 26 1979
001130
CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE:

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 50 Danforth Street
1. Owner's name and address Smith's Metal Company
2. Lessee's name and address
3. Contractor's name and address Owner
4. Architect Specifications Plans No. of sheets
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ Fee \$ 5.50

FIELD INSPECTOR: Mr. GENERAL DESCRIPTION
This application is for: @ 775-5451
Dwelling Ext. 234 Construct temporary structure
Garage 120 day
Masonry Metal Blug. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant Roy M. Simmons Phone #
Type Name of above Roy M. Simmons 1 2 3 4

FIELD INSPECTOR'S COPY

Other and Address

Permit No. 79 / 1130<sup>#4</sup>  
 Location 50 Danforth St  
 Owner Smith's Metal  
 Date of permit 12-26-79  
 Approved by [Signature] Chief in APRIL

NOTES

12-31-79 Slab already poured - some  
 being is up -  
 3-79-80 Completed - will check  
 in a few months when temp  
 permit expires -  
 1-20-81 Blader still there - being  
 used off on for any work that  
 can't be done inside their regular  
 shop -> checked with walking off  
 to it remaining. TOLD to  
 keep it for another year +  
 a review of OCCASIONALLY - S  
 4-1-81 Temp shelter  
 still in use  
 6-83 Shelter removed by  
 J. B. Brown for G. 1. Cont.