

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

PERMIT ISSUED

Permit Number: 100824

AUG 23 2010

This is to certify that GILLIS EDWARD F RESIDUAL TRU Construction

has permission to Repair & Repalce rear porch (1st floor on) as need

AT 51 HIGH ST C-040-C001001

City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0824	Issue Date:	CBL: 040 C001001
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Location of Construction: 51 HIGH ST	Owner Name: GILLIS EDWARD F RESIDUARY	Owner Address: 2 ELMWOOD RD	Phone:
Business Name:	Contractor Name: E.J. Construction	Contractor Address: 10A Beach Street Portland	Phone 2077730776
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 12 Unit Residential (11 legal dwelling units, 1 one illegal)	Proposed Use: 12 Unit Residential - Repair & Repalce rear porch (1st floor only) as needed	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: R2 Type: SB IBC 2003	

Proposed Project Description:
Repair & Repalce rear porch (1st floor only) as needed

Signature: *[Signature]*
Signature: *[Signature]*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 07/12/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> ok w/ conditions Date: 7/13/10 JEM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation YU <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions - see conditions & details. <input type="checkbox"/> Denied Date: 8/11/10
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PERMIT ISSUED

AUG 23 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

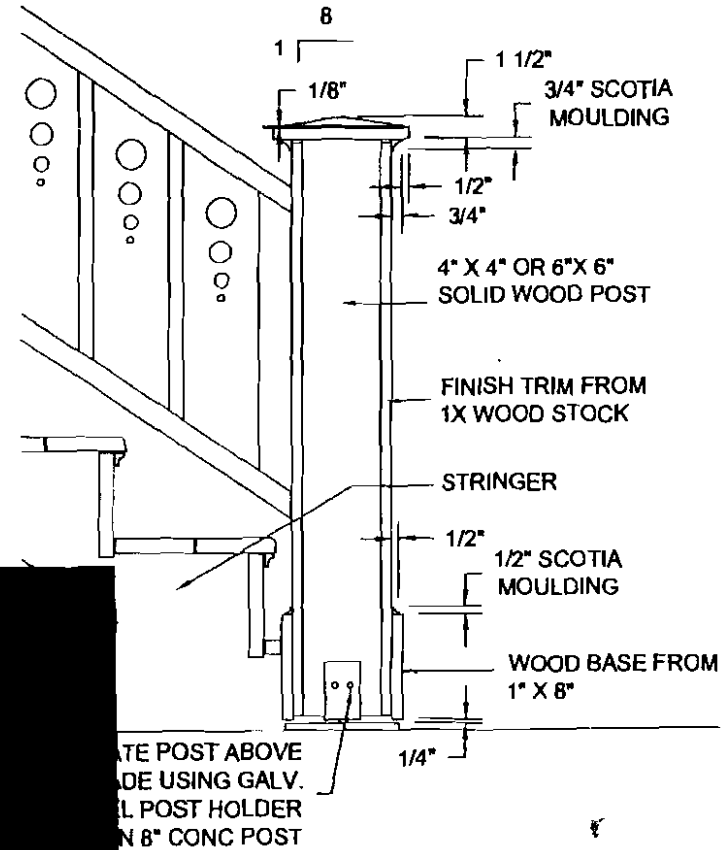
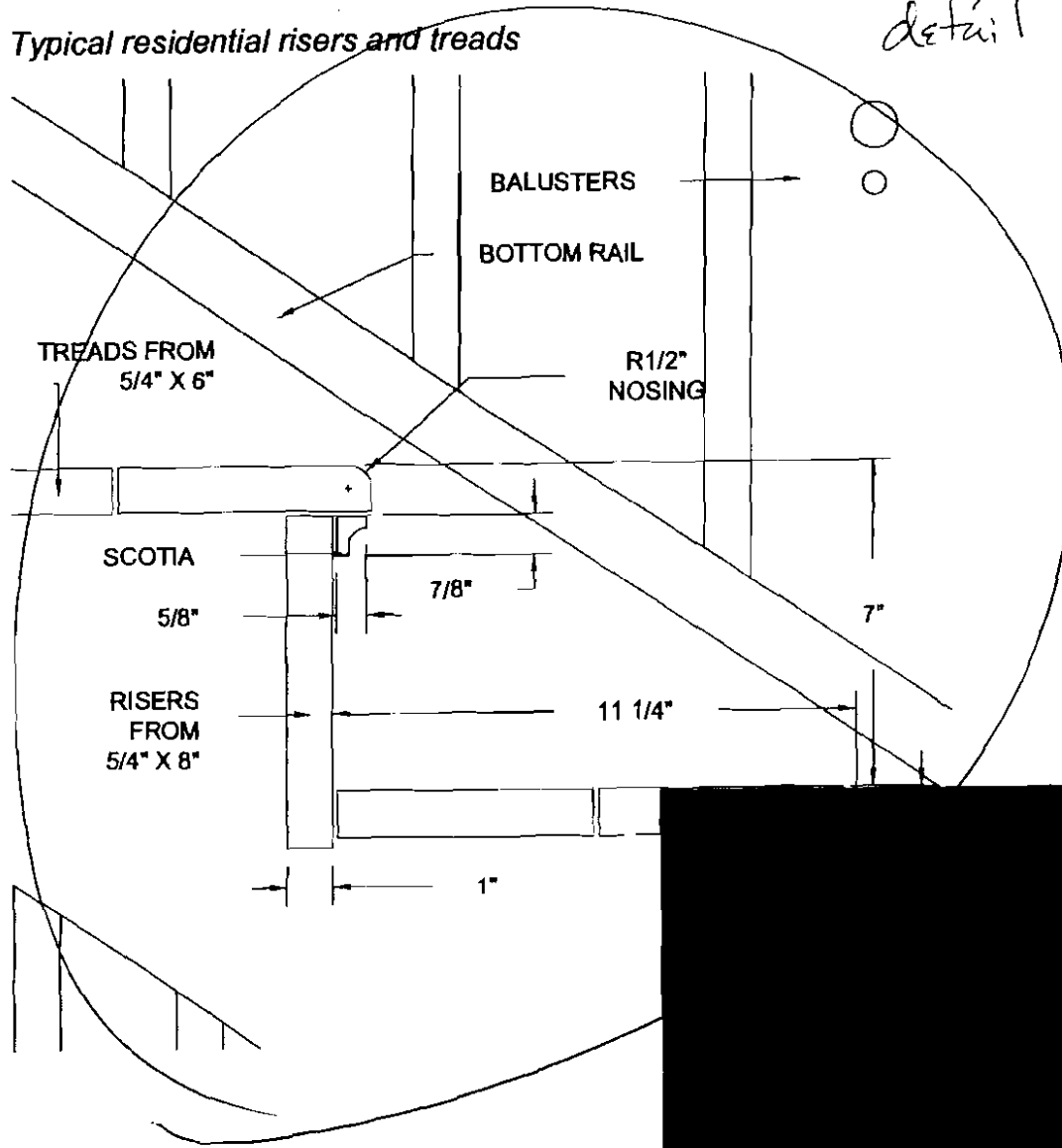
STAIR DETAILS FOR RESIDENTIAL USE

*Required
Porch
Details*

*Tread/Riser
detail*

Typical newel post construction

Typical residential risers and treads

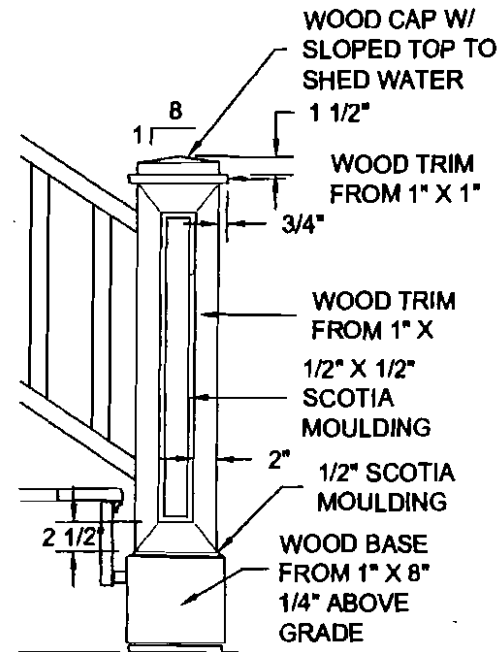
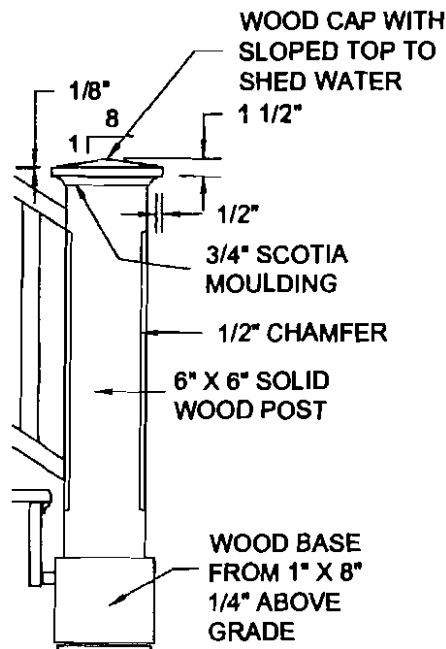
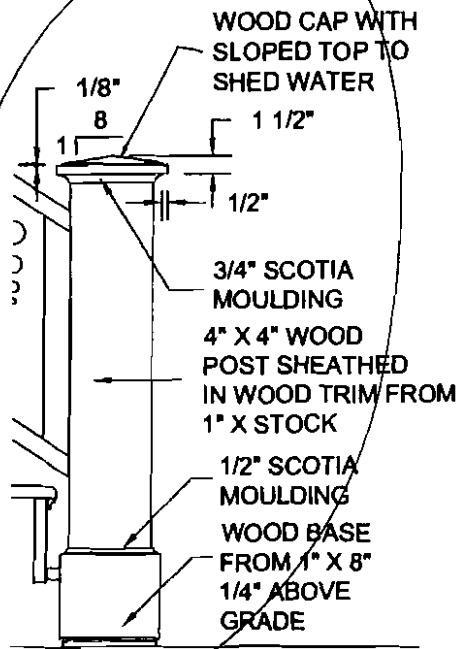


...ATE POST ABOVE
...DE USING GALV.
...L POST HOLDER
...N 8\"/>

te: Newel post may be bolted to a stringer

GREEK REVIVAL PORCH DETAILS

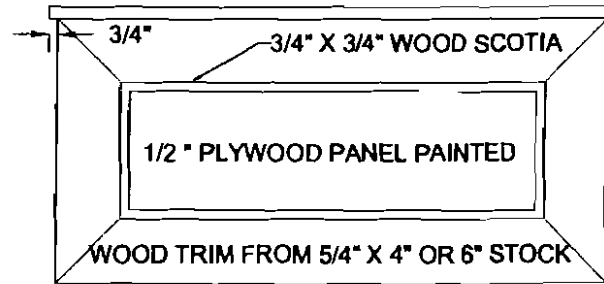
Stair post detail



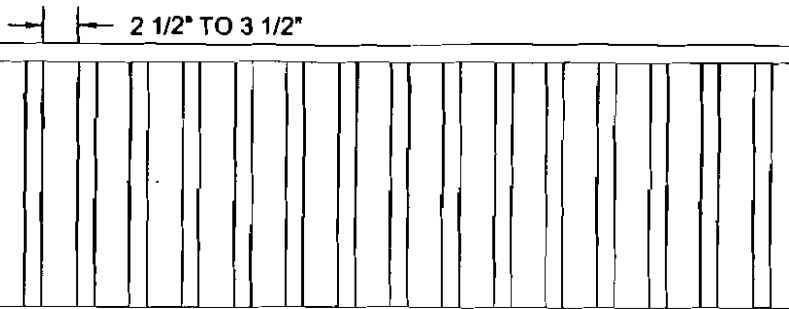
Typical Greek Revival Newel Posts.

GREEK REVIVAL PORCH DETAILS

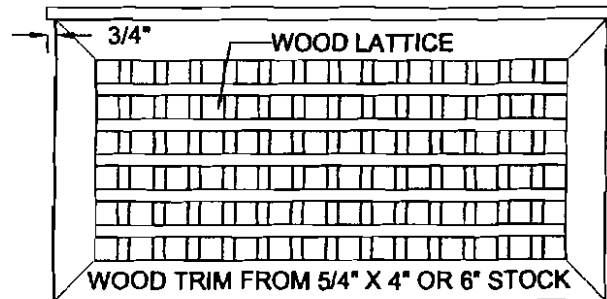
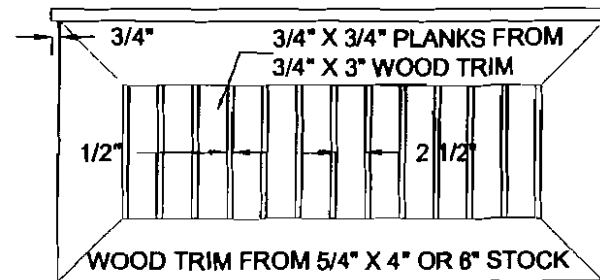
Typical Greek Revival Porch Skirting



Typical Greek Revival Balusters



SQUARE OR ROUND BALUSTERS FROM 2" X 2" STOCK. FINISHED SIZE IS 1 1/2" X 1 1/2".

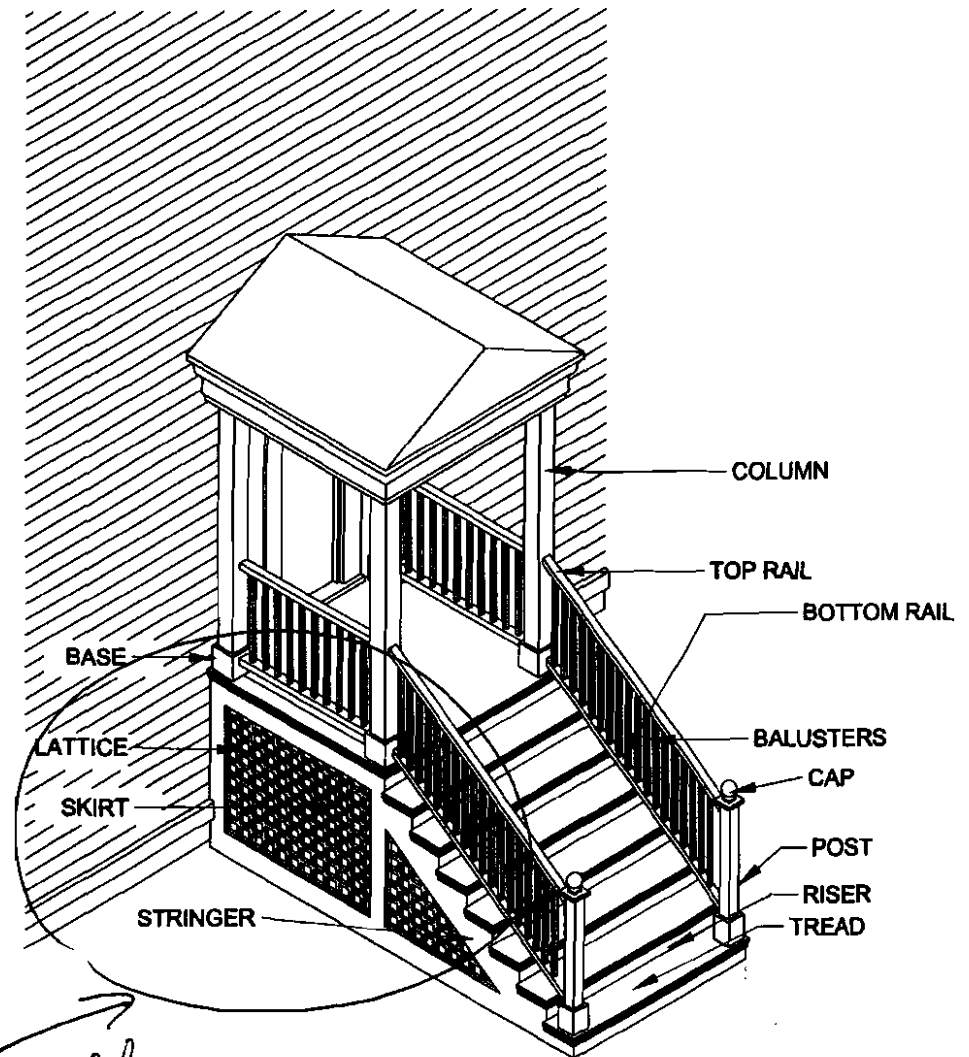


Either skirting option okay

PORCH COMPONENTS

A porch is composed of many elements, including stairs, balustrades, handrails, newel posts and columns. The terminology of these elements is illustrated in the diagram to the right.

While most porches include the same general components, the *style* of these components can vary considerably. For example, porches on early twentieth century Colonial Revival style houses often feature posts with turned ball finials. This stylistic detail would not be found on earlier buildings. Similarly, a porch hood supported by brackets is a hallmark of Italianate and Second Empire Style buildings, but would be inappropriate on a later residence. Therefore, before beginning a porch replacement project, homeowners should first identify the architectural style of their home and take note of the porch details that are typically associated with that style. To be successful, the replacement porch should be consistent with the style of the house.



Skirt should be fully framed

Diagram of typical porch components.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0824	Date Applied For: 07/12/2010	CBL: 040 C001001
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Location of Construction: 51 HIGH ST	Owner Name: GILLIS EDWARD F RESIDUARY	Owner Address: 2 ELMWOOD RD	Phone:
Business Name:	Contractor Name: E.J. Construction	Contractor Address: 10A Beach Street Portland	Phone: (207) 773-0776
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 12 Unit Residential (11 units legal use) - Repair & Repalce rear porch (1st floor only) as needed	Proposed Project Description: Repair & Repalce rear porch (1st floor only) as needed
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 08/11/2010
Note: **Ok to Issue:**

- 1) * Railing, including balusters and handrail, to match the 2nd floor railing.
- * Railing, decking and stairs to be painted or opaque stained.
- * Area below deck to be enclosed with skirting. Skirting to consist of vertical boards. Skirt to be fully framed, as per attached drawing.
- * Post at base of stairs to be dressed out with face boards and cap.
- * Drawing illustrating proposed railing, skirting and stair post to be submitted to Historic Preservation staff for final review and approval.
- 2) *

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/13/2010
Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) The legal use of this property is eleven (11) dwelling units. There is one illegal dwelling unit in the building. The owner must bring the use of the property into compliance.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 08/23/2010
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 3) The rim joists shall be 2 - 2" x 8"-s with tube spacing no greater than 4'- 0" oc or 3 - 2" x 10"-s with tube spacing no greater than 6' - 0" o.c.

PERMIT ISSUED

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 08/13/2010
Note: **Ok to Issue:**

- 1) If applicant chooses to legalize the 12th unit then per NFPA 101 a fire alarm system shall be installed prior to occupancy of the 12 unit.

Location of Construction: 51 HIGH ST	Owner Name: GILLIS EDWARD F RESIDUARY	Owner Address: 2 ELMWOOD RD	Phone:
Business Name:	Contractor Name: E.J. Construction	Contractor Address: 10A Beach Street Portland	Phone (207) 773-0776
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

- 2) All construction shall comply with NFPA 1 and 101.
- 3) The entire structure shall comply with NFPA 101 "Existing Apartments"
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 4) No means of egress shall be affected by this renovation
- 5) All means of egress to remain accessible at all times

Comments:

8/12/2010-gg: received permit from historic as of 08-13-10. GG

8/13/2010-gautreauk: Tried to reach owner to give him a heads up on the required fire alarm system. Keith G

PERMIT ISSUED

AUG 23 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

AUG 23 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 High St. Portland - Maine</u>		
Total Square Footage of Proposed Structure/Area <u>180 SF</u>	Square Footage of Lot <u>8890 SF</u>	Number of Stories <u>Three</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40 - C - 1</u> Block# Lot#	Applicant * must be owner, Lessee or Buyer* Name <u>Edward F. Gillis Res. Invest</u> Address <u>Two Elmwood Rd</u> City, State & Zip <u>Cape Eliz. Me 04107</u>	Telephone: <u>207-650-0174</u> <u>Cape Eliz. Me.</u>
Lessee/DBA (If Applicable) <u>N/A.</u>	Owner (if different from Applicant) Name Address <u>SAME</u> City, State & Zip	Cost Of Work: \$ <u>4000⁰⁰</u> C of O Fee: \$ Total Fee: \$ <u>60</u>
Current legal use (i.e. single family) <u>Residential Apts</u> Number of Residential Units <u>12</u>		
If vacant, what was the previous use? <u>N-A</u>		
Proposed Specific use: <u>N-A</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: <u>Repair + Replace rear porch (1st Floor only) as needed.</u>		
Contractor's name: <u>E. J. Construction.</u>		
Address: <u>Beach Street</u>		
City, State & Zip: <u>Portland, Maine 04102</u>		Telephone: <u>550</u>
Who should we contact when the permit is ready: <u>Peter J. Gillis</u>		Telephone: <u>650-0174</u>
Mailing address: <u>Two Elmwood Rd., Cape Eliz. Me 04107</u>		

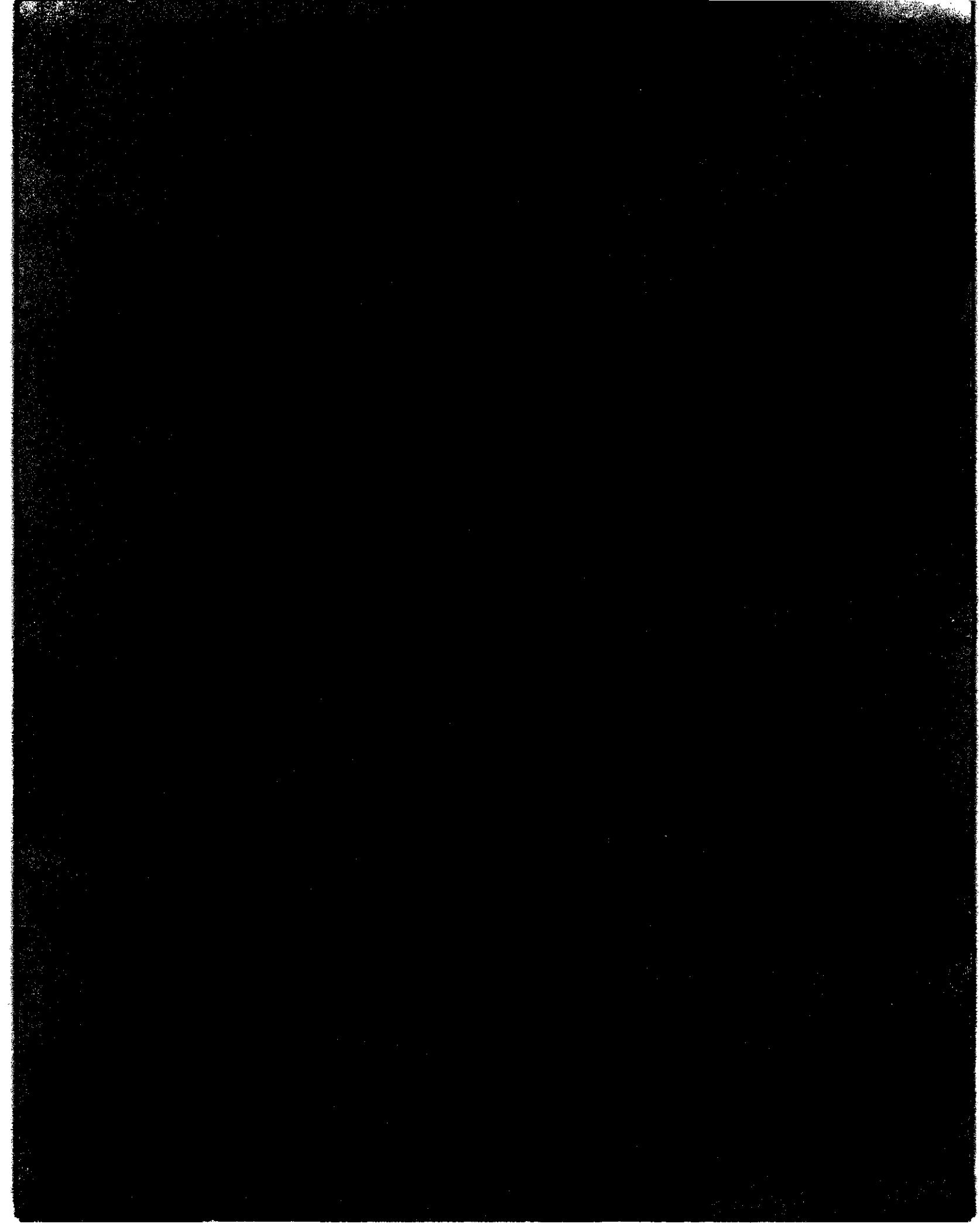
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the code applicable to this permit.

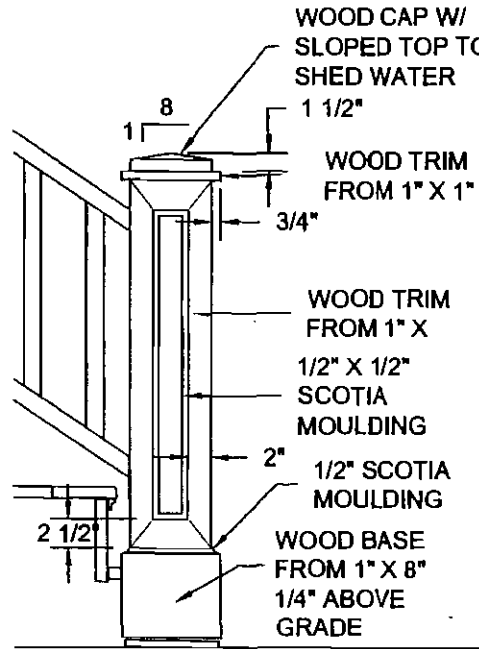
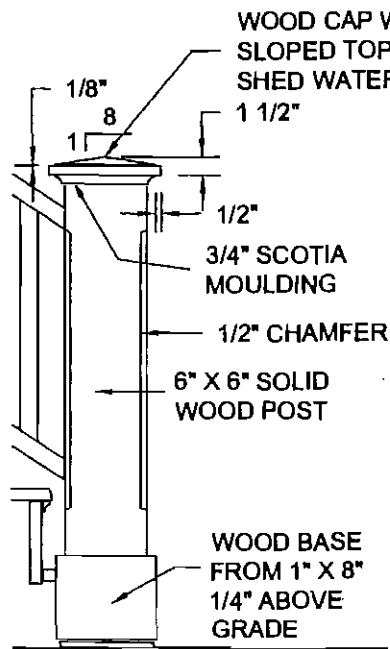
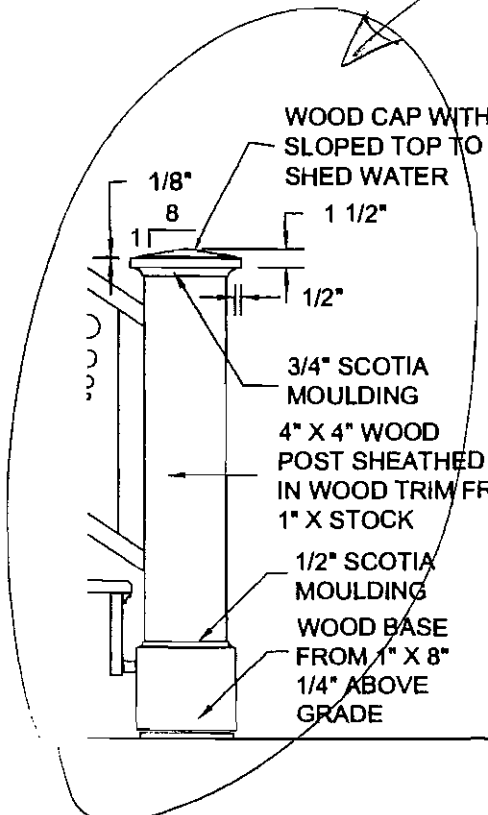
Signature: Peter J. Gillis Date: 7-12-10

This is not a permit; you may not commence ANY work until the permit is issued



GREEK REVIVAL PORCH DETAILS

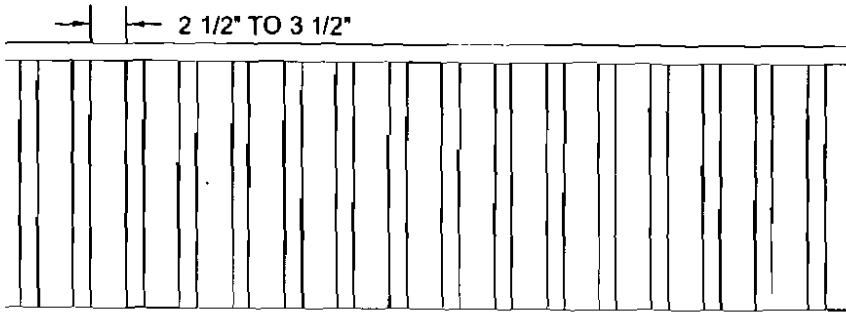
Stair post detail



Typical Greek Revival Newel Posts.

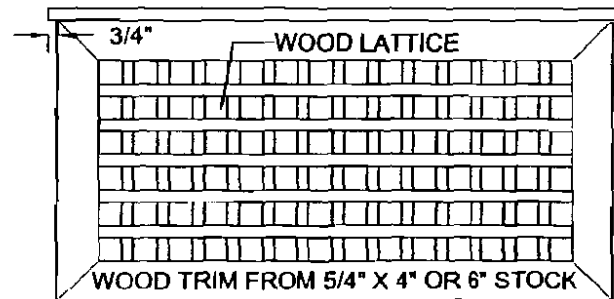
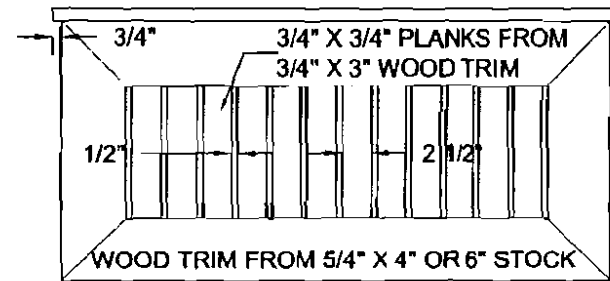
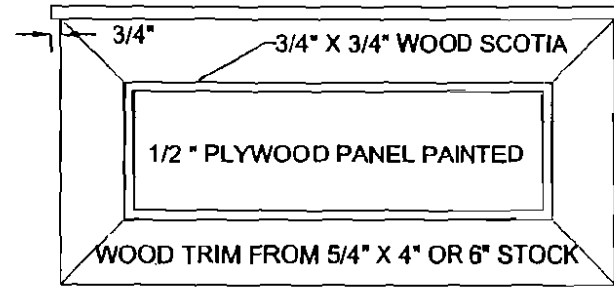
GREEK REVIVAL PORCH DETAILS

Typical Greek Revival Balusters



SQUARE OR ROUND BALUSTERS FROM 2" X 2" STOCK. FINISHED SIZE IS 1 1/2" X 1 1/2".

Typical Greek Revival Porch Skirting

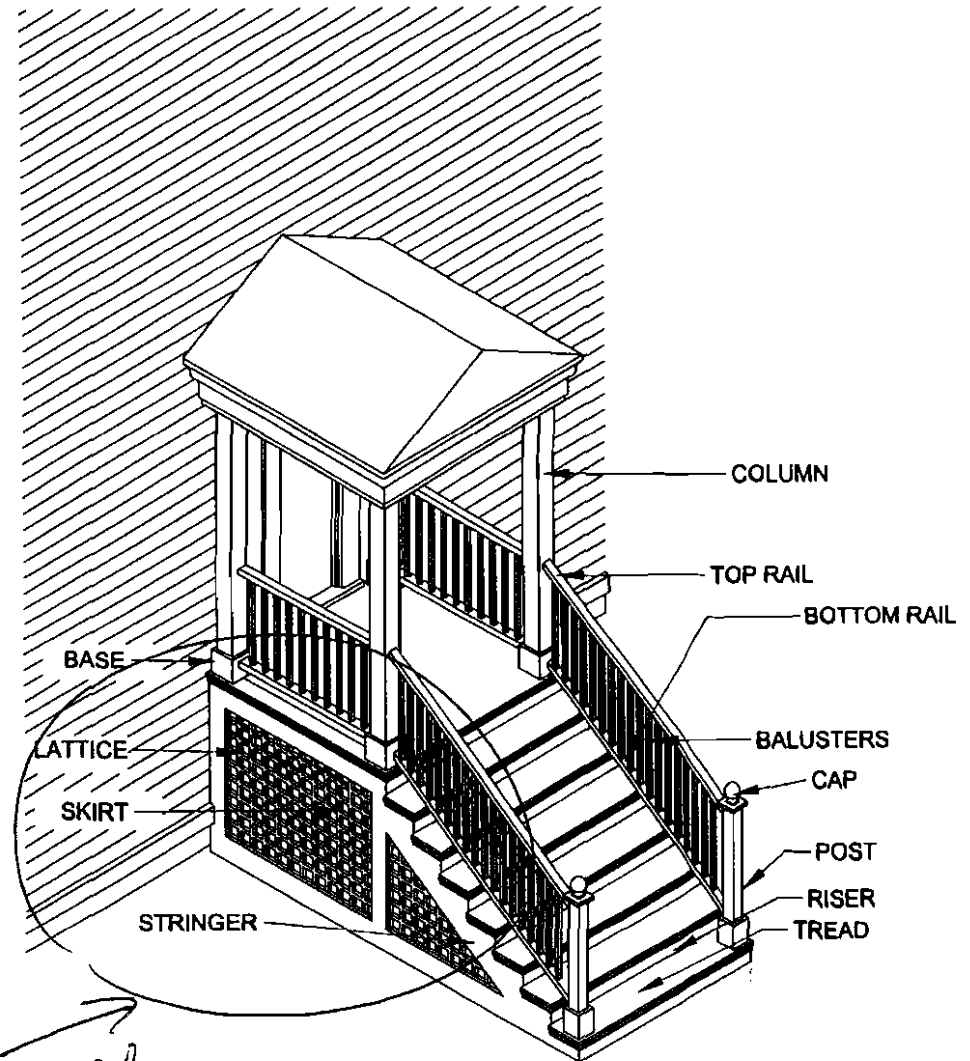


Either
skirting
option
OK

PORCH COMPONENTS

A porch is composed of many elements, including stairs, balustrades, handrails, newel posts and columns. The terminology of these elements is illustrated in the diagram to the right.

While most porches include the same general components, the *style* of these components can vary considerably. For example, porches on early twentieth century Colonial Revival style houses often feature posts with turned ball finials. This stylistic detail would not be found on earlier buildings. Similarly, a porch hood supported by brackets is a hallmark of Italianate and Second Empire Style buildings, but would be inappropriate on a later residence. Therefore, before beginning a porch replacement project, homeowners should first identify the architectural style of their home and take note of the porch details that are typically associated with that style. To be successful, the replacement porch should be consistent with the style of the house.

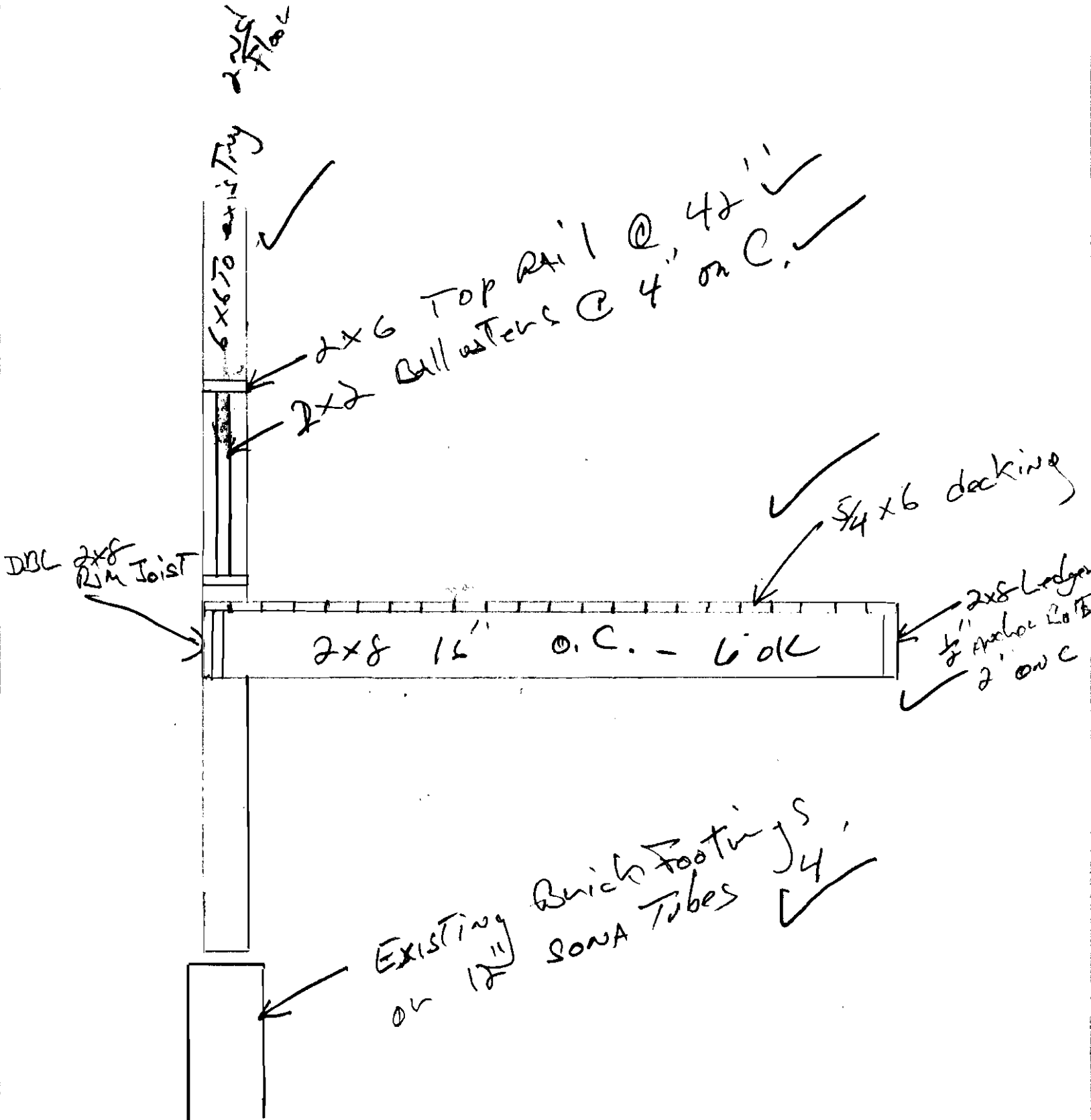


Skirt should be fully framed

Diagram of typical porch components.

Deck Detail

51 High 87.



BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- Diameter of concrete filled tube or pre cast concrete pier size
- depth below grade (minimum 4'-0" below grade)
- anchorage of column to footing
- spacing and location of tubes/piers

12"
6x6 ✓ Base cap
Existing 10"

3. Framing Members

- Columns - wood size and location (members supporting framing of floor system)
- Ledger size attached to building
- Fastener size and spacing attaching ledger
- Girder Size and spans carrying floor system
- Joist size, span, and spacing
- Joist hangers or ledger

6x6
2x8
1/2" Thunder Studs @ 2' on c
2x8 16" O.C.
Both

4. Guardrails & Handrail Details

- Guardrail height
- Baluster spacing
- Handrail height

42"
3.75"
34

5. Stair Details

- Tread depth (measured nosing to nosing)
- Riser height
- Nosing on tread
- Width of stairs

Existing 11"
6.5"
1"
5' 6"

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 51 High St, 04102		Owner: Helen Gillis		Phone:		Permit No: 000111	
Owner Address: 2 Elmwood Road Cape Elizabeth 04107		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: * Cunningham Security **		Address: ** 313 Read St 04103		Phone: 878-5858		Permit Issued: 5	
Past Use: Multi-Unit 11 D.U.		Proposed Use: Same shall remain 11 D.U.		COST OF WORK: \$ 4,750.00		PERMIT FEE: \$ 54.00	
Proposed Project Description: Install Fire Alarm				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A.3 Type: 8 ⁶ BOC 46	
				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: <i>R-2</i> CBL: 040-C-001	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland 2/15/00 <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: GD		Date Applied For: Gd February 14, 2000					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
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3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

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I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

February 14, 2000

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____
 White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

Action: *Any exterior work shall require a separate review and approval*
 Approved
 Approved with Conditions
 Denied

Date: _____

CEQ DISTRICT WITH REQUIREMENTS