Form # P 04 DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF POR Please Read BU Application And **L**ION PERMIT ISSUED Notes, If Any, PE Attached Permit Number: 100824 AUG 2 3 2010 This is to certify that GILLIS EDWARD F RESIDI Y TRU nstructior Repair & Repaice rear porch (has permission to _ floor on hs need City of Portland AT _______HIGH ST 040 C001001 pting this permit shall comply with all provided that the person or persons, fi aron ag or cd of the provisions of the Statutes of Ma e and of the nces of the City of Portland regulating the construction, maintenance and use f buildings and stru res, and of the application on file in this department. ation a Noti spectid nust b Apply to Public Works for street line give nd writte bermissi brocure A certificate of occupancy must be and grade if nature of work requires this bui befd g or pa hereof i procured by owner before this buildsuch information. ing or part thereof is occupied. lath or oth sed-in, 2 NOTICE IS REQUIRED. HO OTHER REQUIRED APPROVALS Fire Dept. CAPT. Health Dept. Appeal Board Other Department Name Director - Building & Inspectio Services PENALTY FOR REMOVING THIS CARD

City of Portland, Ma	aine - Building or Use	e Permit Applica	tion ^E	ermit No:	Issue Date:	CBL:	
•	101 Tel: (207) 874-870			10-0824		040 C0	01001
ocation of Construction: Owner Name:				ier Address:		Phone:	
51 HIGH ST	GILLIS EDV	WARD F RESIDUAL	XY 2 E	LMWOOD RI	2		
Business Name:	ne:	Con	tractor Address:		Phone		
	ction	104	A Beach Street	Portland	2077730	776	
Lessee/Buyer's Name	Phone:	Phone:		nit Type:		_	Zone:
				terations - Mul	ti Family		R-6
Past Use:	Proposed Use:	(liled)	Per	mit Fee:	Cost of Work:	CEO District:	ר
12 Unit Residential (1)	12 Unit Resi	dential - Repair &		\$60.00	\$4,000.0	0 1	
12 Unit Residential (19 dwillingunits ? c	Repaice rear	porch (1st floor only	') FIR	E DEPT: A	Approved INS	SPECTION:	
j	as needed				Denied Us	е Group: 🎤 2	Type: 5
			X	·	Denied	e Group: R2 TBC	
			- - - - -	See Cond	Litidus	IBC.	200,5
Proposed Project Description				10			
Repair & Repalce rear po	orch (1st floor only) as need	led	Sig	nature: (K	Sig	nature:	
			PEL	ESTRIANACT	VITIES DISTRIC	T (P.A.D.)	
		Action: Approved		ed 🗔 Annrove	Approved w/Conditions		
			Sig	nature:		Date:	
Permit Taken By:	Date Applied For:			Zoning	Approval		
ldobson	07/12/2010						
1. This permit applicat	ion does not preclude the	Special Zone or F	leviews	Zonir	ig Appeal	Historic Pre Y4	servation
Applicant(s) from m	eeting applicable State and	Shoreland		Variance		Not in District or Landm	
Federal Rules.							
2. Building permits do	not include plumbing,	Wetland		Miscella	neous	Does Not Re	quire Review
septic or electrical w		{					
3. Building permits are	void if work is not started	Flood Zone		Conditional Use		Requires Review	
	s of the date of issuance.						/
	ay invalidate a building	Subdivision		[] Interpret	ation	Approved	
permit and stop all w	vork.						
		Site Plan			d	Approved w	Conditions -
						peec	adulle
PERMIT ISSUED		Maj 🔲 Minor 🗔	Maj 🗍 Minor 🗔 MM 🦳		Denied		rdet
		ok ladihor					1
		Date: 7/13/10		Date:		Date: 8 []	D
AUG 2	3 2010					<u> </u>	·
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City of F	, , , , , , , , , , , , , , , , , , ,						

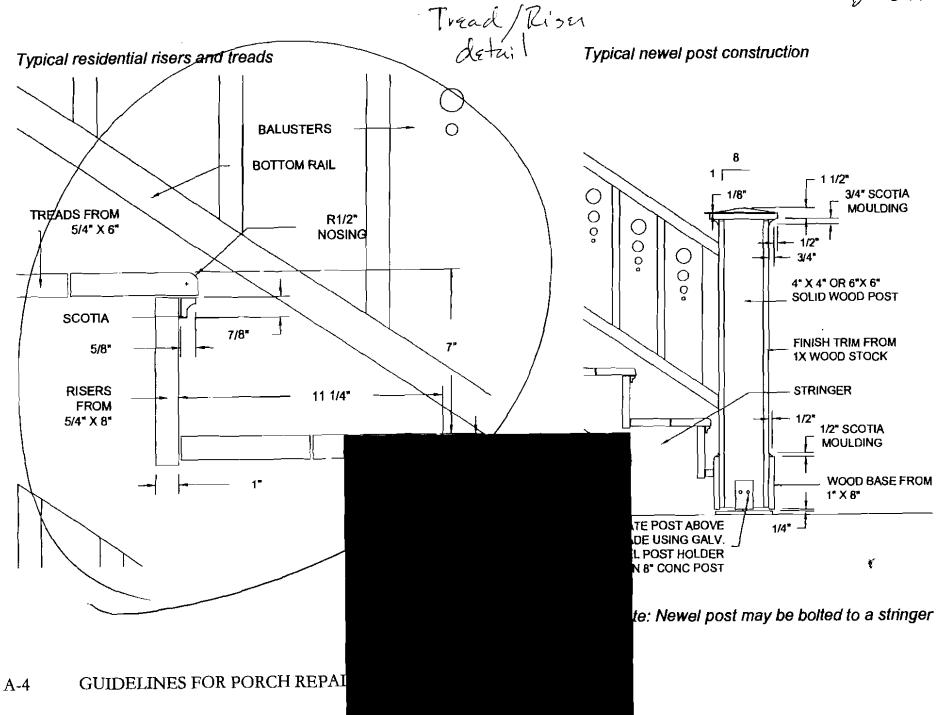
CERTIFICATION

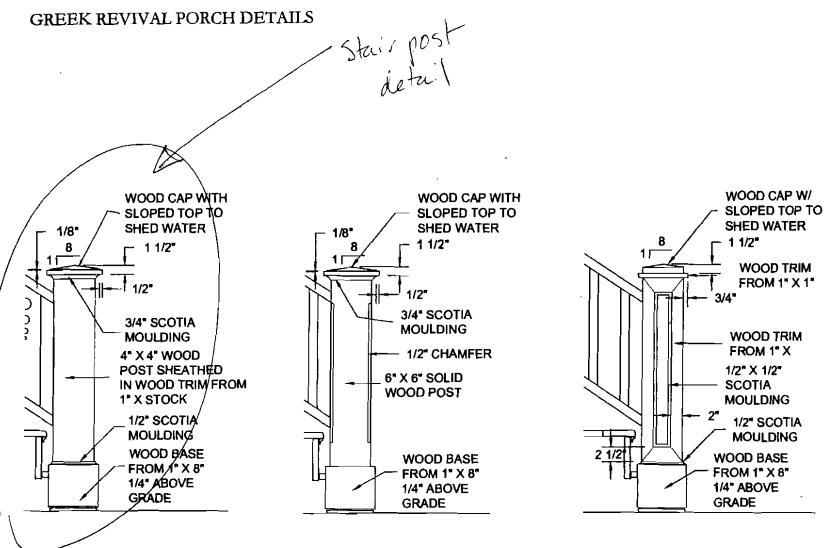
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

STAIR DETAILS FOR RESIDENTIAL USE







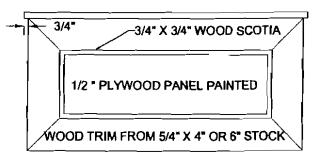
Typical Greek Revival Newel Posts.

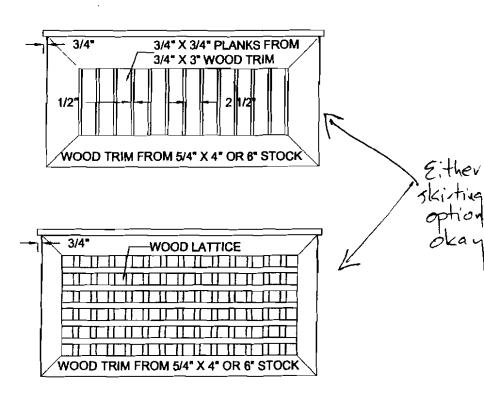
A-12 GUIDELINES FOR PORCH REPAIRS AND REPLACEMENT

REEK REVIVAL PORCH DETAILS

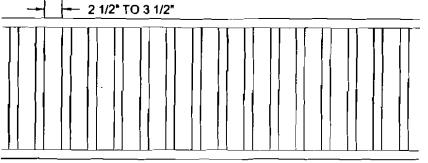
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Typical Greek Revival Porch Skirting





Typical Greek Revival Balusters

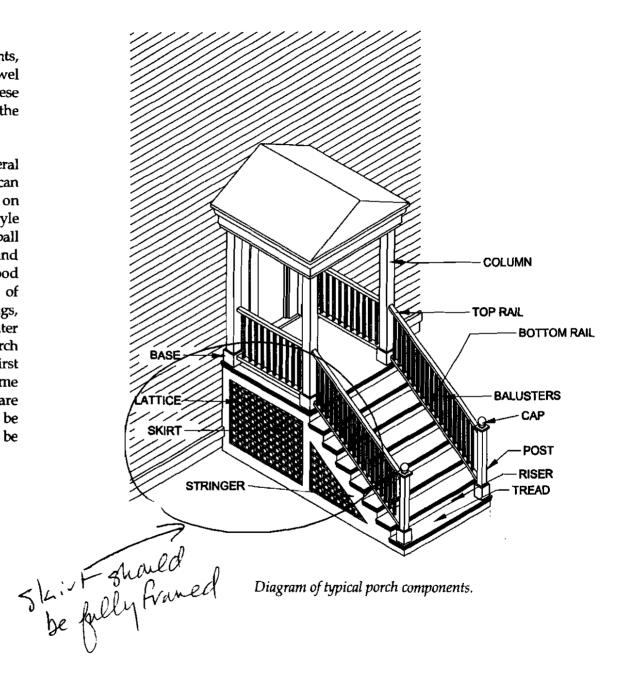


SQUARE OR ROUND BALUSTERS FROM 2" X 2" STOCK. FINISHED SIZE IS 1 1/2" X 1 1/2".

PORCH COMPONENTS

A porch is composed of many elements, including stairs, balustrades, handrails, newel posts and columns. The terminology of these elements is illustrated in the diagram to the right.

While most porches include the same general components, the style of these components can vary considerably. For example, porches on early twentieth century Colonial Revival style houses often feature posts with turned ball finials. This stylistic detail would not be found on earlier buildings. Similarly, a porch hood supported by brackets is a hallmark of Italianate and Second Empire Style buildings, but would be inappropriate on a later residence. Therefore, before beginning a porch replacement project, homeowners should first identify the architectural style of their home and take note of the porch details that are typically associated with that style. To be successful, the replacement porch should be consistent with the style of the house.



City of Portland, Maine - Buil	ding or Use Permit	t	Permit No:	Date Applied For:	CBL:			
389 Congress Street, 04101 Tel: (0	6 10-0824	07/12/2010	040 C001001				
Location of Construction:	Owner Name:		Owner Address: Phone:					
51 HIGH ST	GILLIS EDWARD F	RESIDUARY	ARY 2 ELMWOOD RD					
Business Name: Contractor Name:			Contractor Address:	Phone				
	E.J. Construction		10A Beach Street F	ortland	(207) 773-0776			
Lessee/Buyer's Name	Phone:		Permit Type:					
			Alterations - Multi	i Family				
Proposed Use:		Propos	ed Project Description:					
12 Unit Residential (11 units legal use porch (1st floor only) as needed	:) - Repair & Repalce re:	ar Repa	ir & Repalce rear por	rch (1st floor only)	as needed			
Dept: Historic Status: A Note: 1) * Railing, including balusters and * Railing, decking and stairs to b		2nd floor railin	: Deborah Andrew: g.	s Approval D	Date: 08/11/2010 Ok to Issue: ₩			
Ranning, decking and starts to b	e painted of opaque star	IICU.						
 Area below deck to be enclose drawing. 	d with skirting. Skirting	; to consist of v	ertical boards. Skirt	to be fully framed,	as per attached			
* Post at base of stairs to be dres	sed out with face boards	and cap.						
* Drawing illustrating proposed approval.	* Drawing illustrating proposed railing, skirting and stair post to be submitted to Historic Preservation staff for final review and approval.							
2) *								
Dept: Zoning Status: A Note:	pproved with Condition	as Reviewer	: Ann Machado	Approval D	Date: 07/13/2010 Ok to Issue: ✓			
 ANY exterior work requires a sep District. 	parate review and approv	al thru Histori	e Preservation. This j	property is located	within an Historic			
2) The legal use of this property is e bring the use of the property into		s. There is one	illegal dwelling uni	t in the building. T	he owner must			
 This permit is being approved on work. 	the basis of plans subm	itted. Any devi	ations shall require a	i separate approval	before starting that			
Dept: Building Status: A Note:	pproved with Conditior	is Reviewer	: Tammy Munson	Approval D	Date: 08/23/2010 Ok to Issue: ✓			
 Separate permits arc required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 								
 Application approval based upon and approrval prior to work. 	information provided by	y applicant. An	y deviation from app	roved plans require	es separate review			
 3) The rim joists shall be 2 - 2" x 8". 6' - 0" o.c. 	-s with tube spacing no p	greater than 4'-		-s with tube spacing				
Note:	pproved with Condition		: Capt Keith Gautro	AUG 2 3	Okno Issue: 🗸			
1) If applicant chooses to legalize th unit.	e 12th unit then per NFI	ra iui a fire al	arm system shall be	City of Po	р. 9.			

Location of Construction: Owner Name:		Owner Address:	Phone:			
51 HIGH ST	GILLIS EDWARD F RESIDUA	ARY 2 ELMWOOD RD				
Business Name:	Contractor Name:	Contractor Address:	Phone			
	E.J. Construction	10A Beach Street Portland	(207) 773-0776			
Lessee/Buyer's Name	Phone:	Permit Type:				
		Alterations - Multi Family				
	pply with NFPA 1 and 101. comply with NFPA 101 "Existing Apartmediate of a certificate of					
4) No means of egress shall	be affected by this renovation					
5) All means of egress to rer						

Comments:

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8/12/2010-gg: received permit from historic as of 08-13-10. GG

8/13/2010-gautreauk: Tried to reach owner to give him a heads up on the required fire alarm system. Keith G



AUG 2 3 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 (ONLY) or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.
- X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
 - X Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

AUG 2 3 2010

City of Portland

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction:	51 HI St Petles	1 Al in
		· Marve
Total Square Footage of Proposed Struc	ture/Area Square Footage of L	
		F Three W
Tax Assessor's Chart, Block & Lot	Applicant * <u>must</u> be owner, Lessee	or Buyer* Telephone:
Chart# Block# Lot#	Name Edward F. Gillis	Par In the Cart Mar
11		「 「 」 ジカフェノュラカ・ヘップル】
40-0-1	Address Two Elmaid	Rel
	City, State & Zip Cape Eliz	the office
Lessee/DBA (If Applicable)	Owned if different from Applican	
Lessee/ DDM (IT Applicable)		Work: \$ 4000
	Name	
N IA.	Address SAME	C of O Fee: \$
	City, State & Zip	Total Fee: \$
Current legal use (i.e. single family) / If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision?	Residential Apts_Number of R N-A No If yes, please name	esidential Units2
Project description:		ς
Repair + Replac	e rear porch (1st Floor	only) As Needed.
Contractor's name: E. J. Con	structum.	
Address: Beach Stie		
City, State & Zip_ Portland, 10	Maine 04102	Telephone:
Who should we contact when the permit	is ready: Peter T. Guilles	Telephone: <u>658-6174</u>
Mailing address: <u>Two Elma</u>	vod Rd. Cape Eliz. Me	
Diseas as have all of the informa-	sting outlined on the employed la	Wheel-list Eathurs to

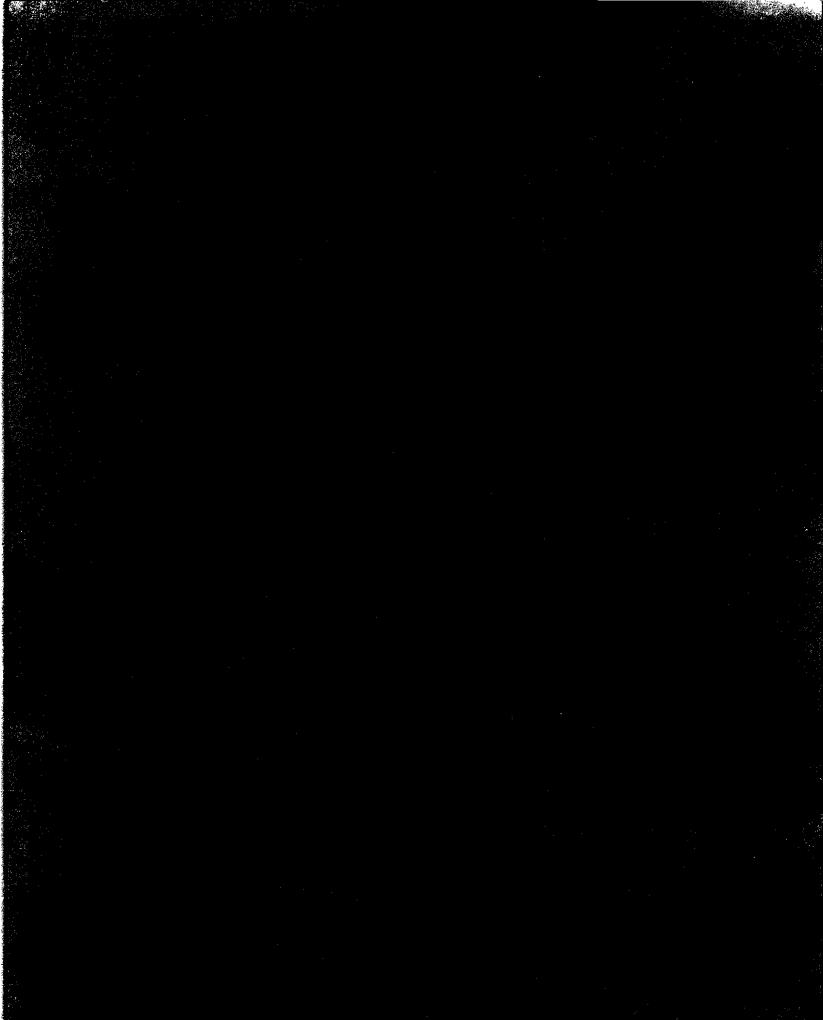
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <u>www.portlandmaine.gov</u>, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the code applicable to this permit.

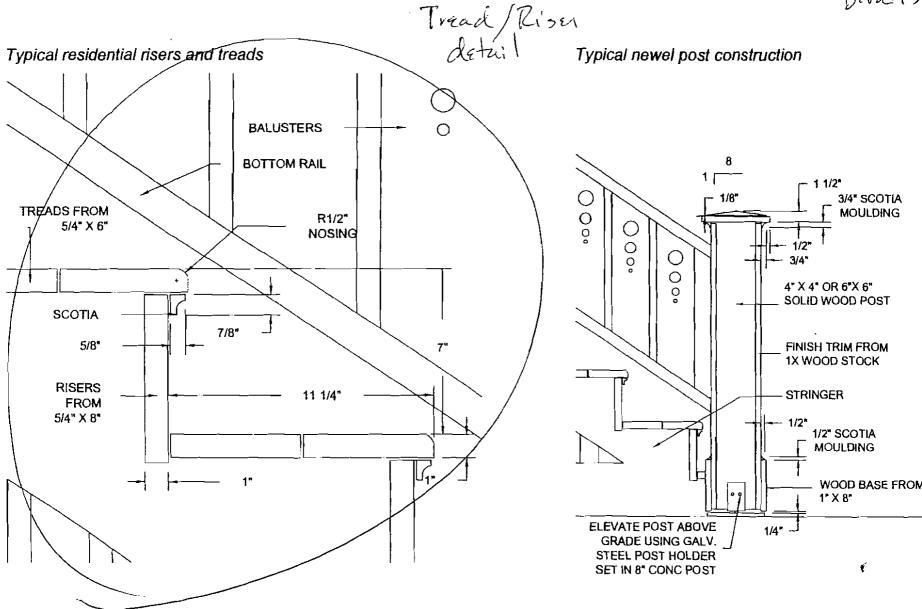
Signature:	T.J.	t -	12	len	Date	:	7-12-10	
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This is not a permit; you may not commence ANY work until the permit is issued

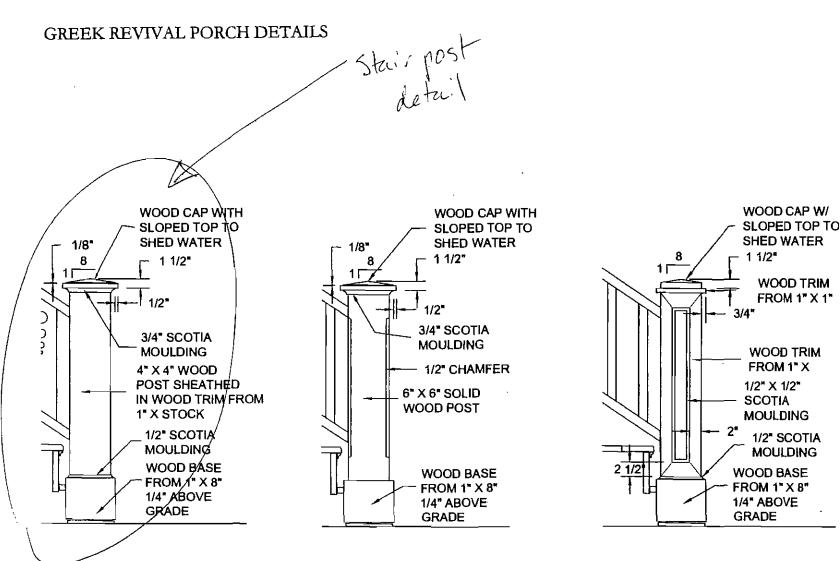


STAIR DETAILS FOR RESIDENTIAL USE





Alternate: Newel post may be bolted to a stringer

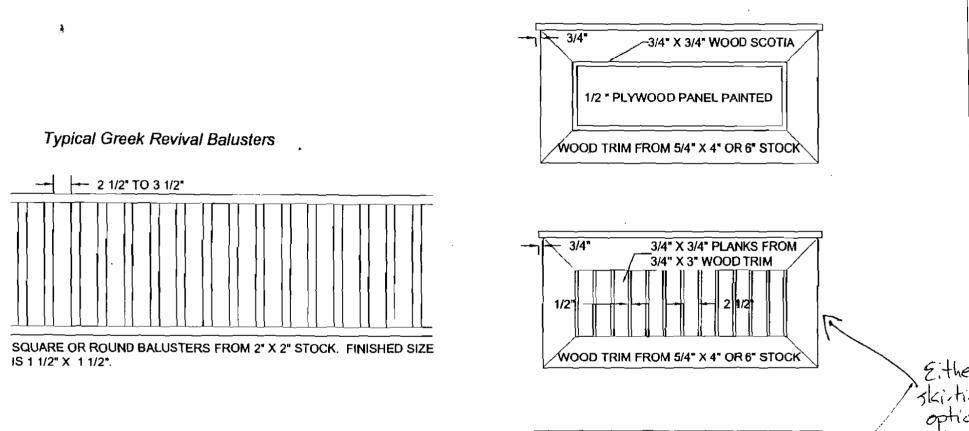


Typical Greek Revival Newel Posts.

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GREEK REVIVAL PORCH DETAILS

Typical Greek Revival Porch Skirting



-WOOD LATTICE

WOOD TRIM FROM 5/4" X 4" OR 6" STOCK

3/4"

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PORCH COMPONENTS

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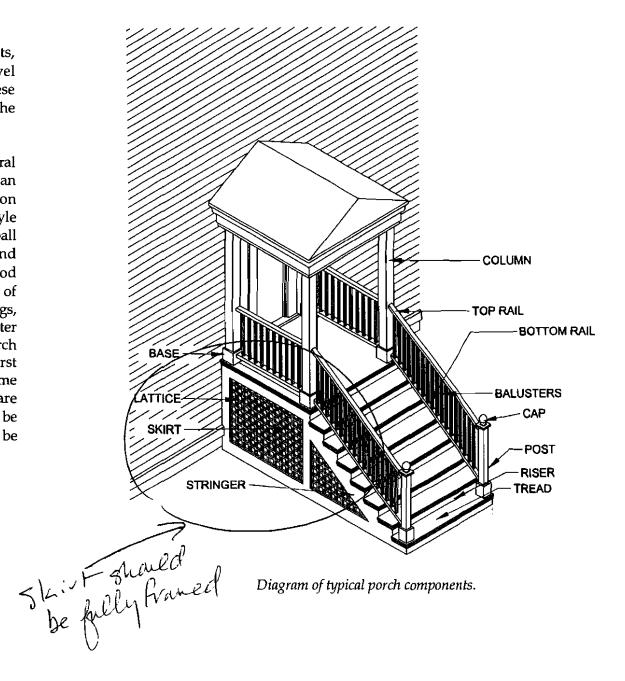
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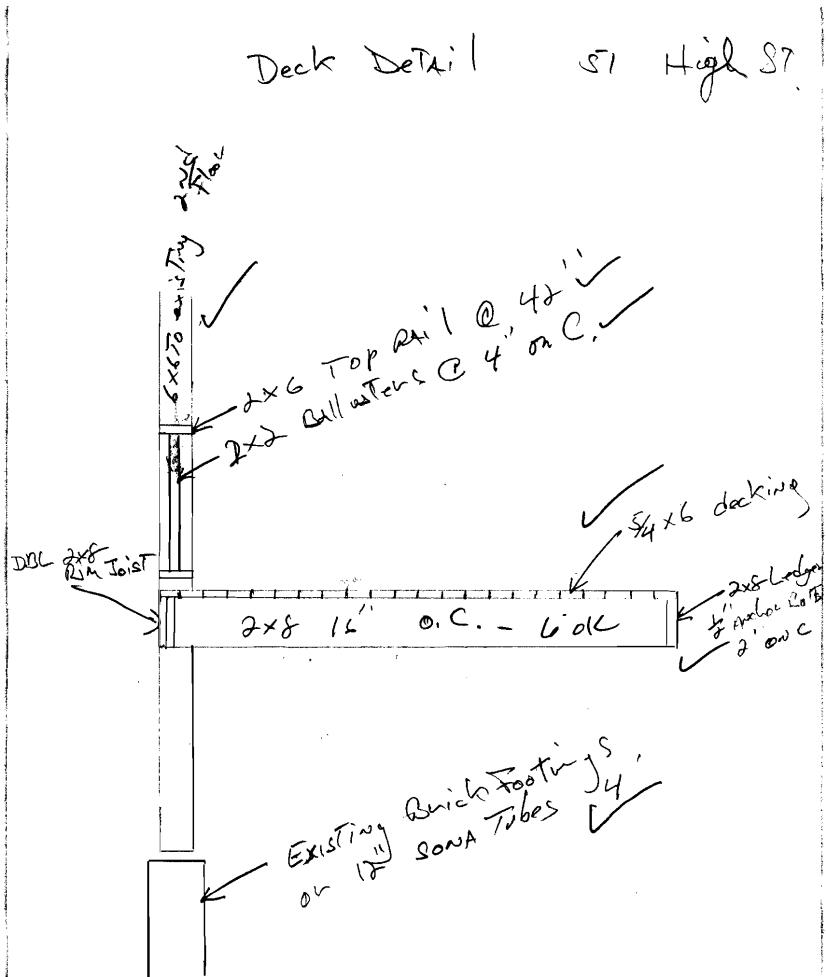
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BUILDING A DECK???

INFORMATION REOUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

- 1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.
- 2. Type of foundation system
 - Existing co a. Diameter of concrete filled tube or pre cast concrete pier size
 - b. depth below grade (minimum 4'-0" below grade)
 - c. anchorage of column to footing
 - d. spacing and location of tubes/piers

3. Framing Members

a. Columns – wood size and location (members supporting framing of floor system) $\zeta \times \zeta$ 1/2" Thundres Studies Cod on É

Both

42'' 3.75,, 34

- b. Ledger size attached to building
- c. Fastener size and spacing attaching ledger
- d. Girder Size and spans carrying floor system ≥x8 16" o.C.
- e. Joist size, span, and spacing
- f. Joist hangers or ledger

4. Guardrails & Handrail Details

- a. Guardrail height
- b. Baluster spacing
- c. Handrail height

5. Stair Details

- a. Tread depth (measured nosing to nosing)
- b. Riser height
- c. Nosing on tread
- d. Width of stairs

Existing 11 6:5 5:6''

51 High. St								Location of Construction
Owner, Address: 2 Elimoted Road Cape Elizabeth 04: Dissec/Buyer's Name: Phone: BusinessName: O U U L Connerger Name: Currentingham Security ** Address: Address: Address: Nulti-Unit Phone: BusinessName: Permit Issued Past Use: Nulti-Unit Same COST OF WORK: \$ 74,00 Permit Issued I D. U. Shall female Fire DEFT. GApproved Instruction: Instruction: Permit Issued Proposed Project Description: Install Fire Alarm Signature: Date: Date: Date: Permit Taken By: Date Applied For: GD Date Applied For: Gd Date: Date: Date: Date: Date: 1 This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Date:			raone:		Halen Cillia		14102	51 Plan St (
Consister Marce: Counting Marce: Summing Marce: Summing Marce: Summing Marce: Summing Marce: Summing Marce: Summing Marce: Multi-Unit Multi-U	111		BusinessNa	Phone:	yer's Name:	Lessee/Buy	Cape Elizabeth 041	Owner Address: 2 Elmwood Road
Past Use: Proposed Use: COST OF WORK: PERMIT FEE: Multi-Unit Same \$ 4,750.00 \$ 54.00 ID.U. Shall Fermin ID.U. Signature: NMPECTION: ID.U. Shall Fermin ID.U. Signature: Denied Opposed Froject Description: ID.U. Signature: Date Applied For: ID.U. OD Gd Pebruary 14, 2000 Signature: ID.U. OD Od rebruary 14, 2000 Signature: Date: ID.This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Date: Zonith Approved ID. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Date: Zonith Approved ID. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Date: Zonith Approved ID. This permit and stop all work. CERTIFICATION Date: Zonith Approved Def	:bec			Phone:		Address:		Contractor Name
Past Use: Proposed Use: COST OWNEL: Prevent PEE: Multi-Unit Same FIRE DEPT: SA_00 Nulti-Unit Same FIRE DEPT: Denied INSPECTION: Proposed Project Description: ID: Signature: Multi-Unit Signature: Multi-Unit Proposed Project Description: Install Fire Alarm PEDESTRIAN ACTIVITIES DISTRICT (PDD) Strenature: Date: Denied	с 5			OT OF WORK	Read St 04103	** 313 1	irity **	
Multi-Unit Same FIRE DEPT. GrApproved INSPECTION: II D.U. Shall remain [ID.4] Signature: Use Groups Type: 1* Proposed Project Description: Install Fire Alarm PEDESTRIAN ACTIVITES DISTRICT [AD.] Action: Approved with Conditions: Install Fire Alarm CD Gate Applied For: Date: GD Gate Applied For: Isignature: Date: CD Gate Applied For: Isignature: Conditions: I. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Isignature: Variance Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work CERTIFICATION Action: CERTIFICATION CERTIFICATION Stabularized ty the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner of record of the named property, or that the proposed work is authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable taws of the purces of the permit at any reasonable hour to enforce the provisions of the code(s) applicable to the prime the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) appl	-	ERMIT FEE:				Proposed U		Past Use:
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ID.U. Shall remain ID.4 Signature: THEN Signature: Signature: Signature: Signature: Signature: Signature: Signature: Signature: Signature: Approved Zonim Approved Proposed Project Description: Inetall Fire Alarm Approved Signature: Date:			•		29mé L		Matel-Outt	
Install Fire Alarm PEDSSIMIA ACTIVITIES DISTRICT (MAD) Action: Approved Approved with Conditions: Denied Special 20 Special 20		BOCA46	13		Il remain 11 D.4 s	Sha		
Install Fire Alarm Approved with Conditions: Bioreland Denied Denied Bioreland Permit Taken By: Date Applied For: Date: Signature: Date: (D) Cd February 14,2000 Signature: Date: Signature: Date: 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Conditional Oneolder Conditional 2. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work Historic Miscollane CERTIFICATION CERTIFICATION Historic Shall are the owner of record of the named propeny, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner of record and that I have been authorized by the owner of record and that I have been authorized by the owner of record and that I have been authorized by the owner of record and that I have been authorized by the owner of record of the named propeny, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner of record of the named propeny. Denied I appoint for work described in the application as his authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforee the provisions of the code(s) applicable	rovaking conditions	DISTRICT (PAD.) Zoning Apr			1		iption:	Proposed Project Descr
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Signature: Date: Subdivision Permit Taken By: Date Applied For: C Subdivision GD Gd February 14,2000 Zonit 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Zonit Zonitional 2. Building permits do not include plumbing, septic or electrical work. Interpretation may invalidate a building permit and stop all work. Veriance 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. Interpretation Historic Interpretation CERTIFICATION February 14,2000 Miscellane: Appoved I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, addition, addition, addition, addition, addition, and that I have been authorized by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit Defined I a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit Defined Stonary 14,2000 St	-		mea					
CD Gd February 14,2000 Zoning I. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Image: Conditional Conditene Conditional Conditenees	sion	Date:		ature:				
In This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. Uariance In This permits do not include plumbing, septic or electrical work. Image: Septic according to a septic according t	an maj Ominor Omm D					D		Permit Taken By:
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 Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. Certification Certification<th>-</th><th></th><th></th><th>Federal rules.</th><th>from meeting applicable State a</th><th>e Applicant(s) f</th><th>cation does not preclude the A</th><th>I. This permit appli</th>	-			Federal rules.	from meeting applicable State a	e Applicant(s) f	cation does not preclude the A	I. This permit appli
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City of Portland, Maine ~	Building or Use Permit Application	389 Congress Street, 04101.	Tel: (207) 874-8703, FAX: 874-8716