

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION  
PERMIT**

**PERMIT ISSUED**  
Permit Number: 100824

This is to certify that GILLIS EDWARD F RESIDUARY TRUST /E.J. Construction

AUG 23 2010

has permission to Repair & Repalce rear porch (1st floor only) as needed

AT 51 HIGH ST

CBL 040 C001001

City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. CAPT. R. [Signature]

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

**PENALTY FOR REMOVING T**

**GOOD**


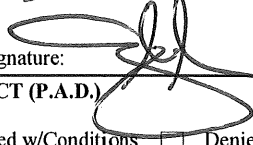
**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0824	Issue Date:	CBL: 040 C001001
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Location of Construction: 51 HIGH ST	Owner Name: GILLIS EDWARD F RESIDUARY	Owner Address: 2 ELMWOOD RD	Phone:
Business Name:	Contractor Name: E.J. Construction	Contractor Address: 10A Beach Street Portland	Phone 2077730776
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 12 Unit Residential (11 legal dwelling units 1 one illegal)	Proposed Use: (11 legal) 12 Unit Residential - Repair & Repalce rear porch (1st floor only) as needed	Permit Fee: \$60.00	Cost of Work: \$4,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: R-2 Type: SB IBC 2003	

Proposed Project Description: Repair & Repalce rear porch (1st floor only) as needed	Signature: 	Signature: 
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 07/12/2010	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED**

AUG 23 2010

City of Portland

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> ok at conditions Date: 7/13/10 JPM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> y4 <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions see conditions & details. <input type="checkbox"/> Denied Date: 8/11/10
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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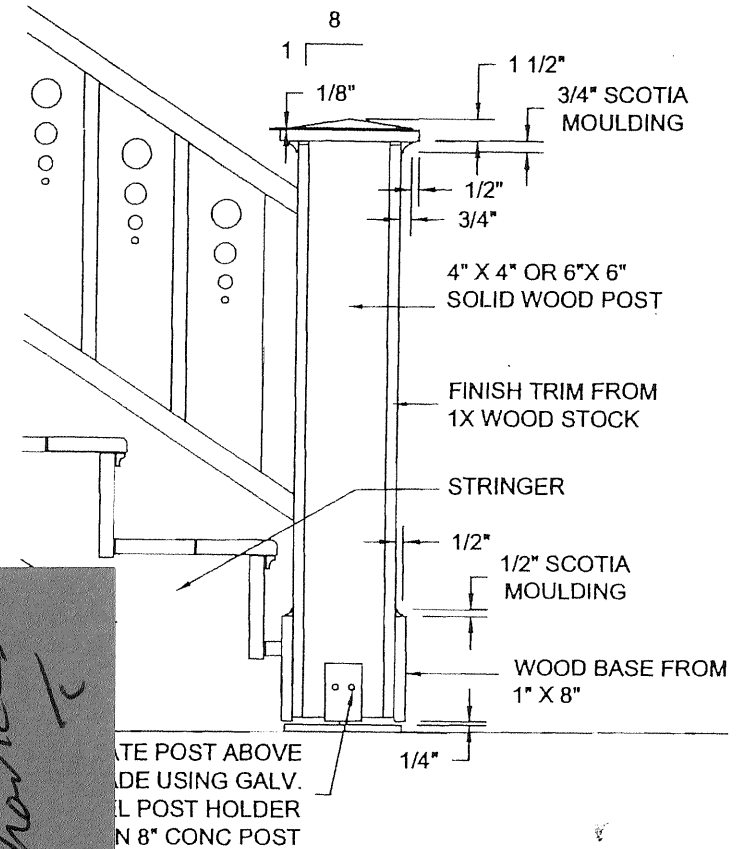
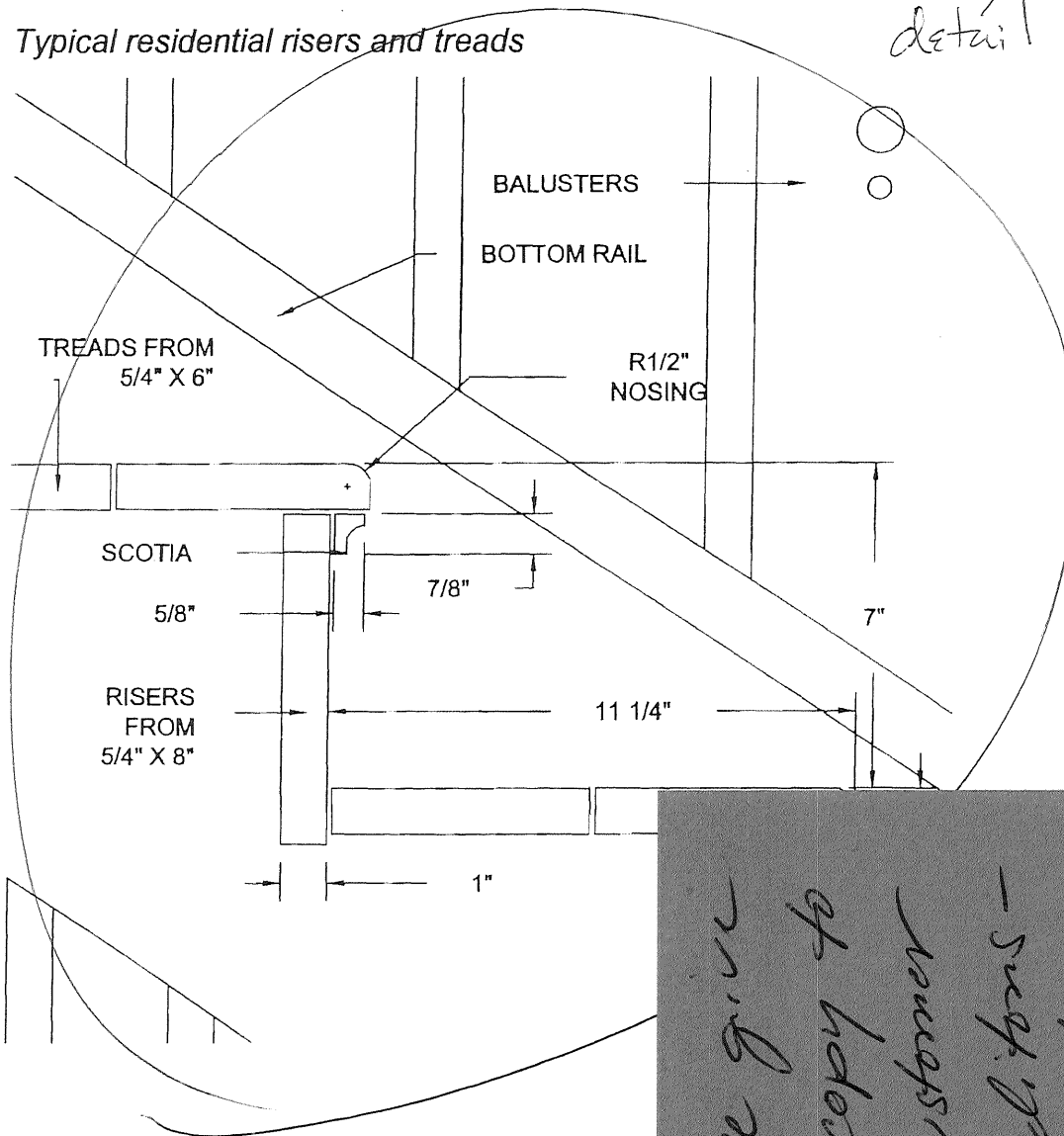
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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# STAIR DETAILS FOR RESIDENTIAL USE

Required  
Porch  
Details

Tread/Riser  
detail

Typical newel post construction

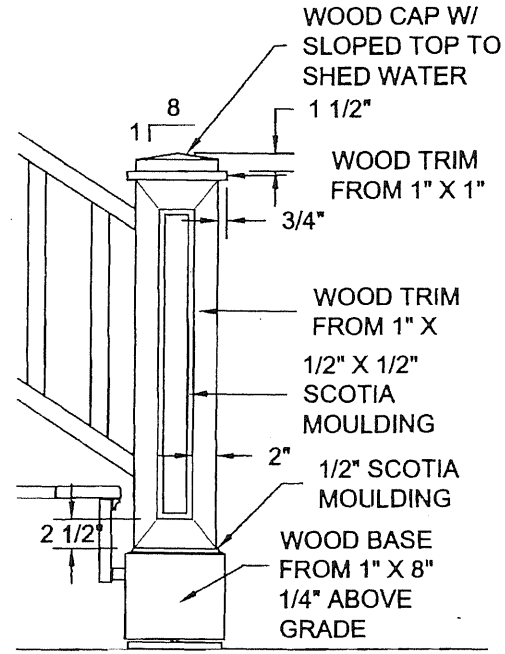
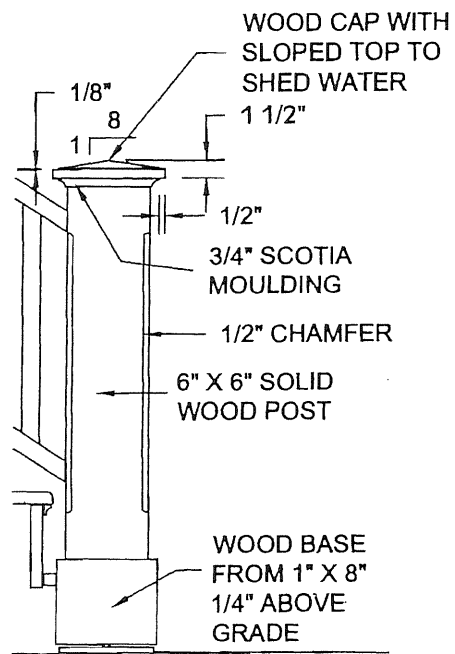
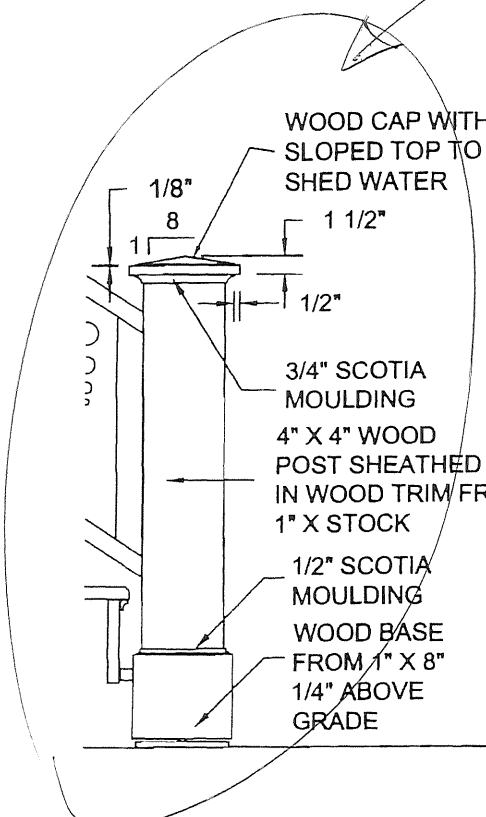


Note: Newel post may be bolted to a stringer.

Please give  
this copy to  
the customer  
w/conditions -  
Thanks  
1/1

# GREEK REVIVAL PORCH DETAILS

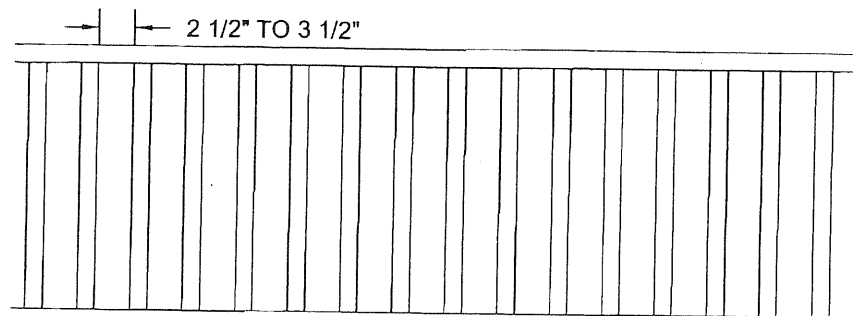
*Stair post detail*



*Typical Greek Revival Newel Posts.*

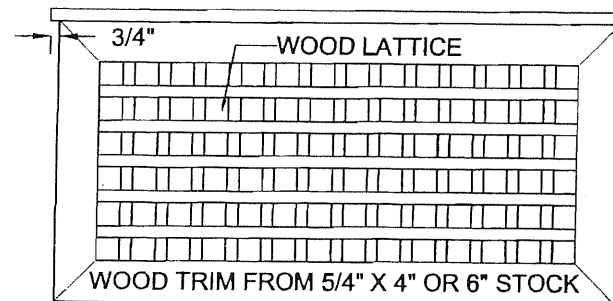
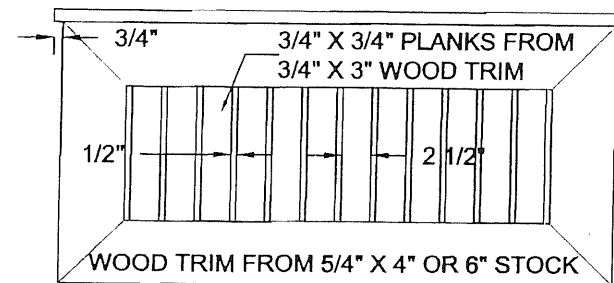
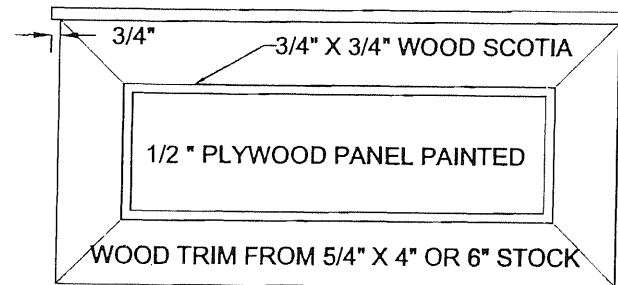
## GREEK REVIVAL PORCH DETAILS

*Typical Greek Revival Balusters*



SQUARE OR ROUND BALUSTERS FROM 2" X 2" STOCK. FINISHED SIZE IS 1 1/2" X 1 1/2".

*Typical Greek Revival Porch Skirting*

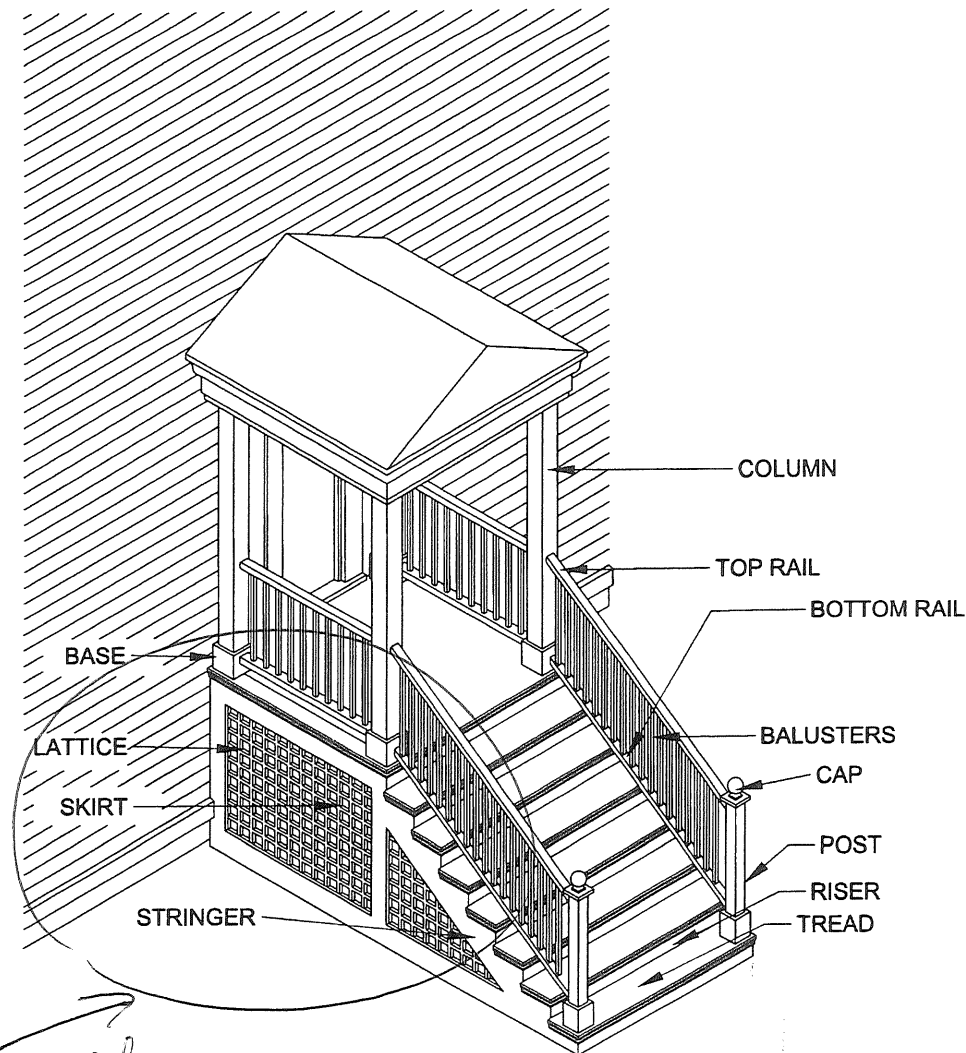


either  
skirting  
option  
okay

## PORCH COMPONENTS

A porch is composed of many elements, including stairs, balustrades, handrails, newel posts and columns. The terminology of these elements is illustrated in the diagram to the right.

While most porches include the same general components, the *style* of these components can vary considerably. For example, porches on early twentieth century Colonial Revival style houses often feature posts with turned ball finials. This stylistic detail would not be found on earlier buildings. Similarly, a porch hood supported by brackets is a hallmark of Italianate and Second Empire Style buildings, but would be inappropriate on a later residence. Therefore, before beginning a porch replacement project, homeowners should first identify the architectural style of their home and take note of the porch details that are typically associated with that style. To be successful, the replacement porch should be consistent with the style of the house.



*Skirt should be fully framed*

Diagram of typical porch components.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0824		<b>Date Applied For:</b> 07/12/2010	<b>CBL:</b> 040 C001001
<b>Location of Construction:</b> 51 HIGH ST	<b>Owner Name:</b> GILLIS EDWARD F RESIDUARY	<b>Owner Address:</b> 2 ELMWOOD RD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> E.J. Construction	<b>Contractor Address:</b> 10A Beach Street Portland	<b>Phone</b> (207) 773-0776
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> 12 Unit Residential (11 units legal use) - Repair & Repalce rear porch (1st floor only) as needed	<b>Proposed Project Description:</b> Repair & Repalce rear porch (1st floor only) as needed
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**Dept:** Historic      **Status:** Approved with Conditions      **Reviewer:** Deborah Andrews      **Approval Date:** 08/11/2010  
**Note:**      **Ok to Issue:** ☒

- 1) \* Railing, including balusters and handrail, to match the 2nd floor railing.
- \* Railing, decking and stairs to be painted or opaque stained.
  - \* Area below deck to be enclosed with skirting. Skirting to consist of vertical boards. Skirt to be fully framed, as per attached drawing.
  - \* Post at base of stairs to be dressed out with face boards and cap.
  - \* Drawing illustrating proposed railing, skirting and stair post to be submitted to Historic Preservation staff for final review and approval.
- 2) \*

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 07/13/2010  
**Note:**      **Ok to Issue:** ☒

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) The legal use of this property is eleven (11) dwelling units. There is one illegal dwelling unit in the building. The owner must bring the use of the property into compliance.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 08/23/2010  
**Note:**      **Ok to Issue:** ☒

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 3) The rim joists shall be 2 - 2" x 8"-s with tube spacing no greater than 4'- 0" oc or 3 - 2" x 10"-s with tube spacing no greater than 6' - 0" o.c.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 08/13/2010  
**Note:**      **Ok to Issue:** ☒

- 1) If applicant chooses to legalize the 12th unit then per NFPA 101 a fire alarm system shall be installed prior to occupancy of the 12 unit.

**PERMIT ISSUED****AUG 23 2010**

City of Portland

<b>Location of Construction:</b> 51 HIGH ST	<b>Owner Name:</b> GILLIS EDWARD F RESIDUARY	<b>Owner Address:</b> 2 ELMWOOD RD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> E.J. Construction	<b>Contractor Address:</b> 10A Beach Street Portland	<b>Phone</b> (207) 773-0776
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

- 2) All construction shall comply with NFPA 1 and 101.
- 3) The entire structure shall comply with NFPA 101 "Existing Apartments"  
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 4) No means of egress shall be affected by this renovation
- 5) All means of egress to remain accessible at all times

**Comments:**

8/12/2010-gg: received permit from historic as of 08-13-10. GG

8/13/2010-gautreauk: Tried to reach owner to give him a heads up on the required fire alarm system. Keith G

PERMIT ISSUED

AUG 23 2010

City of Portland



## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED

AUG 23 2010

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>51 High St. Portland - Maine</u>		
Total Square Footage of Proposed Structure/Area <u>180 SF.</u>	Square Footage of Lot <u>8890 SF.</u>	Number of Stories <u>Three</u>
Tax Assessor's Chart, Block & Lot Chart# <u>40 - C - 1</u> Block# Lot#	Applicant <u>*must be owner, Lessee or Buyer*</u> Name <u>Edward F. Gillis Res. Trust</u> Address <u>Two Elmwood Rd</u> City, State & Zip <u>Cape Elizabeth, Me 04107</u>	Telephone: <u>207-650-0174</u> <u>Cathy Ma!</u>
Lessee/DBA (If Applicable) <u>N/A.</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>4000.00</u> C of O Fee: \$ Total Fee: \$ <u>60</u>
Current legal use (i.e. single family) <u>Residential Apts</u> Number of Residential Units <u>12</u> If vacant, what was the previous use? <u>N-A</u> Proposed Specific use: <u>N-A</u> Is property part of a subdivision? <u>No</u> If yes, please name Project description: <u>Repair + Replace rear porch (1st Floor only) As Needed.</u>		
Contractor's name: <u>E. J. Construction.</u> Address: <u>Beach Street</u> City, State & Zip <u>Portland, Maine 04102</u> Telephone: <u>650-1500</u> Who should we contact when the permit is ready: <u>Peter J. Gillis</u> Telephone: <u>650-0174</u> Mailing address: <u>Two Elmwood Rd., Cape Elizabeth, Me 04107</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the code applicable to this permit.

Signature: Peter J. Gillis

Date: 7-12-10

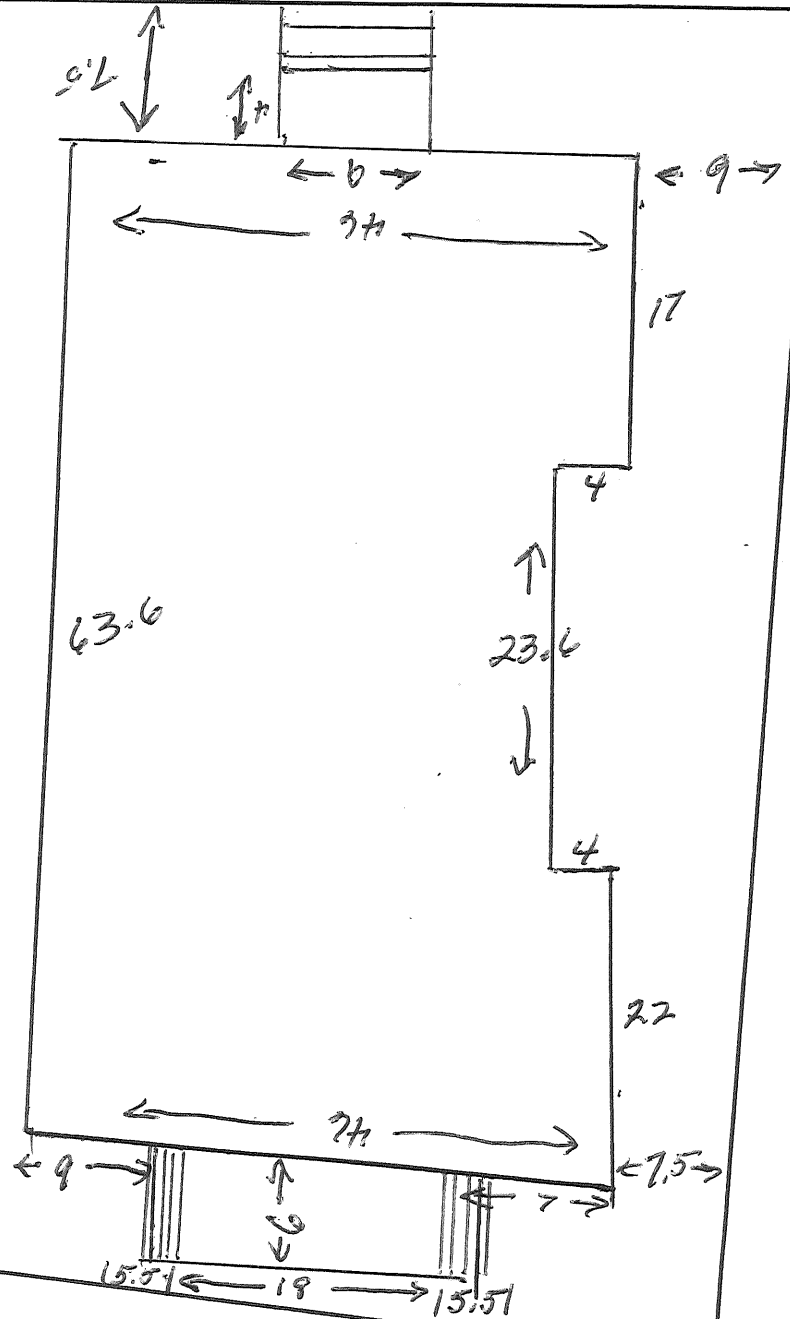
This is not a permit; you may not commence ANY work until the permit is issued

Total Sq Ft  
8890

74±

Garage  
22x22

112±

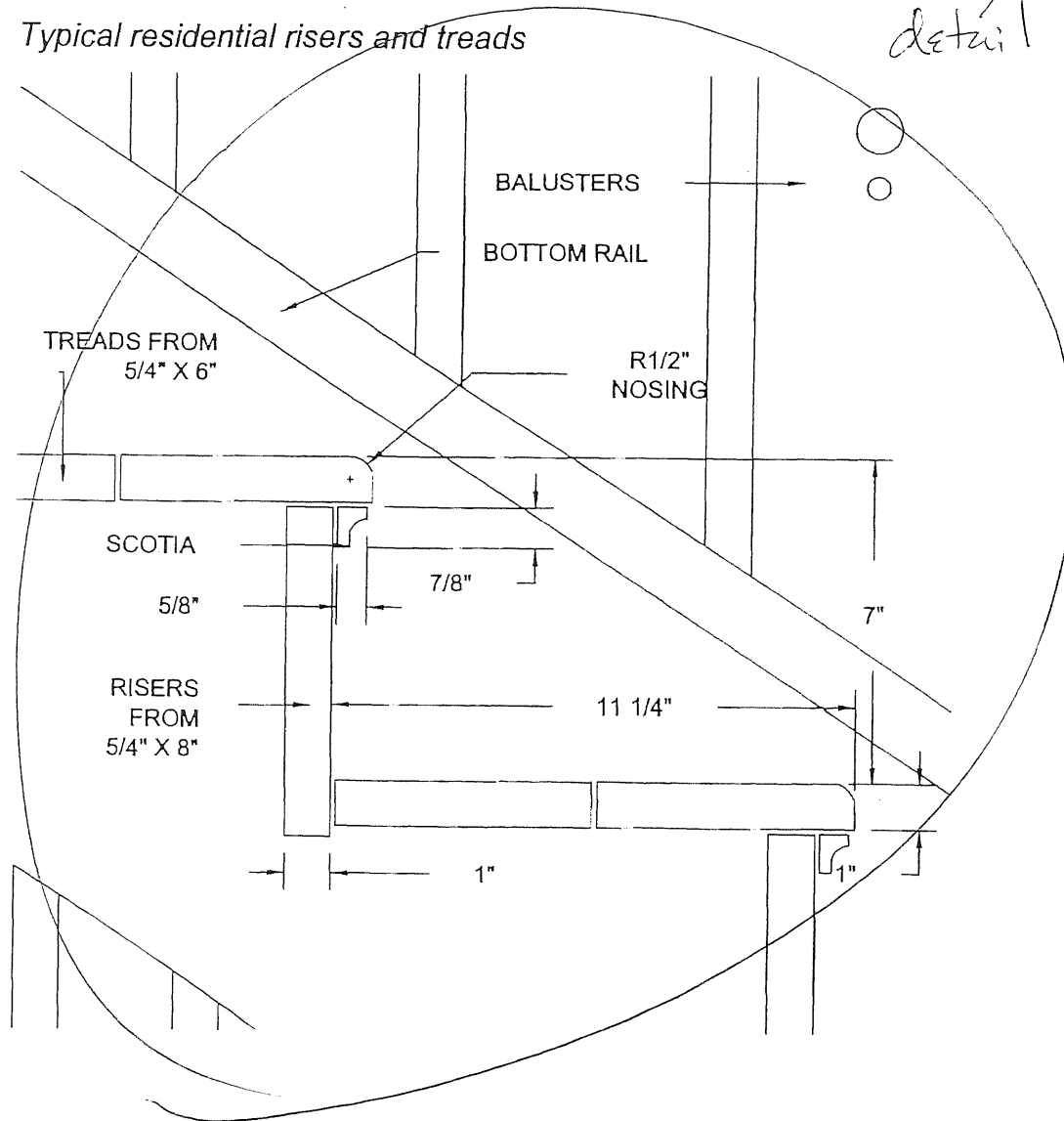


110±

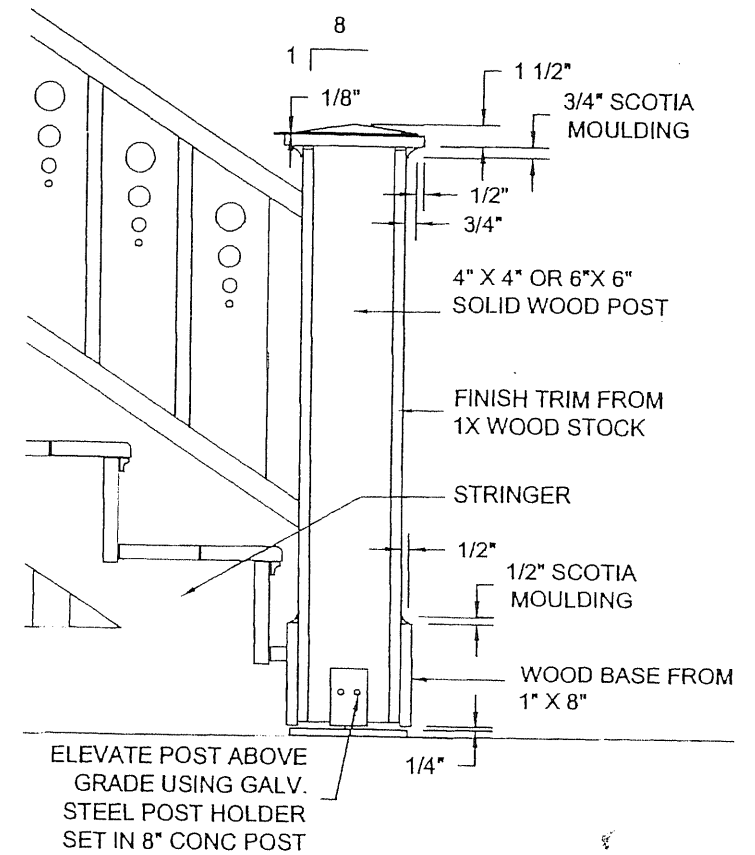
*Required  
Porch  
Details*

*Tread/Riser  
detail*

Typical residential risers and treads



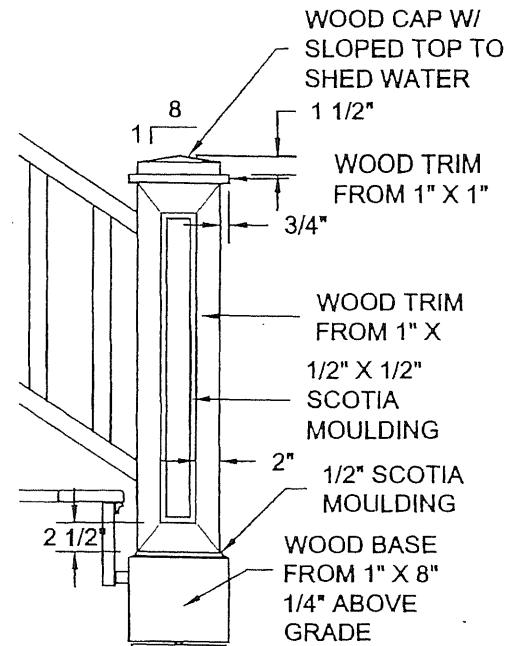
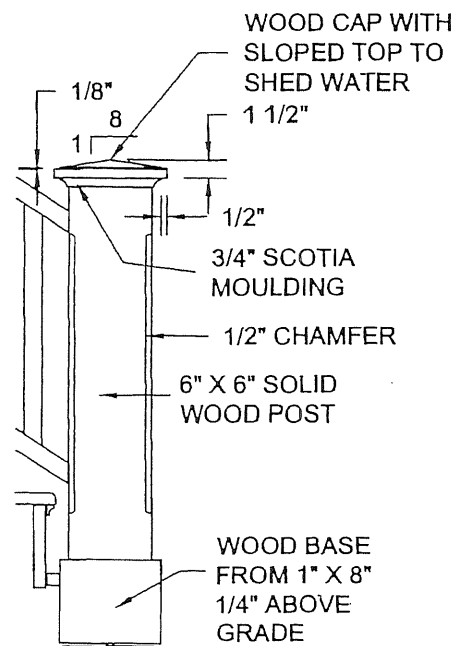
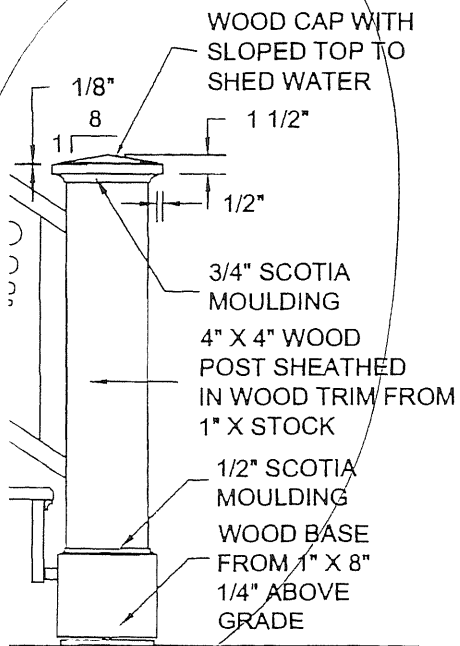
Typical newel post construction



*Alternate: Newel post may be bolted to a stringer.*

# GREEK REVIVAL PORCH DETAILS

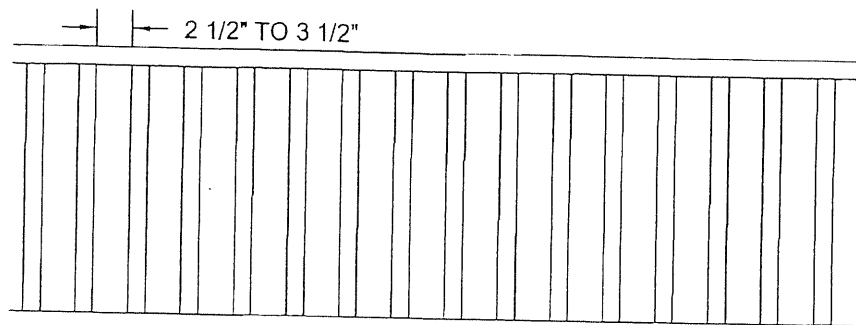
*Stair post detail*



*Typical Greek Revival Newel Posts.*

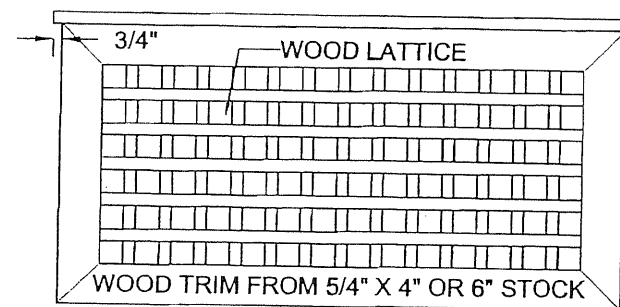
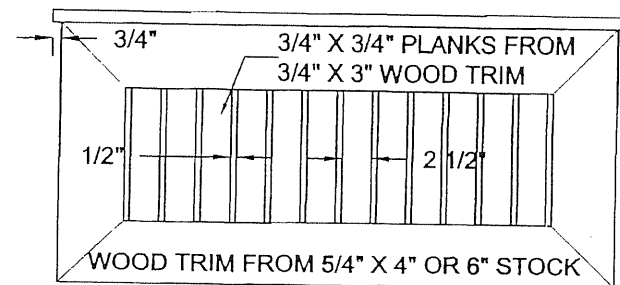
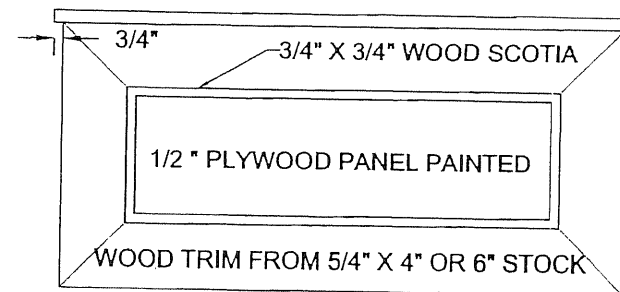
# GREEK REVIVAL PORCH DETAILS

*Typical Greek Revival Balusters*



SQUARE OR ROUND BALUSTERS FROM 2" X 2" STOCK. FINISHED SIZE IS 1 1/2" X 1 1/2".

*Typical Greek Revival Porch Skirting*

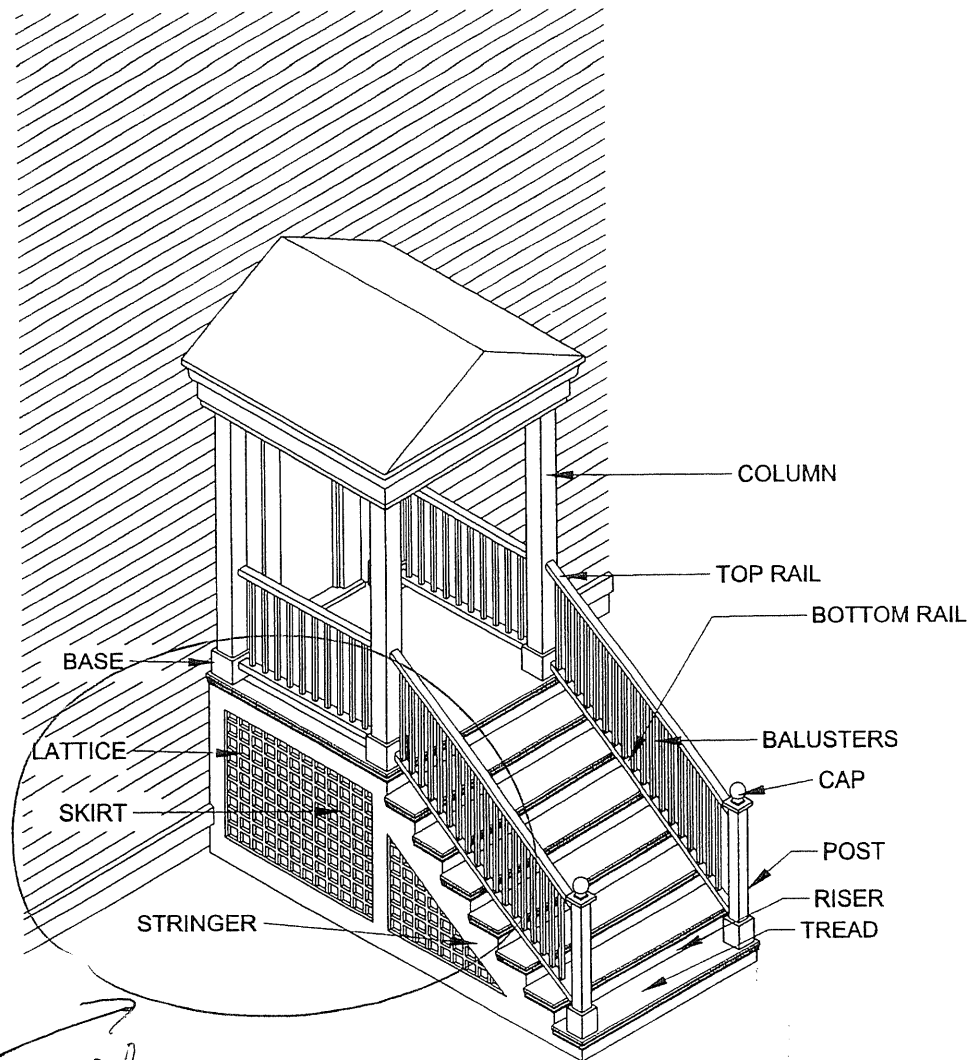


Either  
skirting  
option  
ok.

## PORCH COMPONENTS

A porch is composed of many elements, including stairs, balustrades, handrails, newel posts and columns. The terminology of these elements is illustrated in the diagram to the right.

While most porches include the same general components, the *style* of these components can vary considerably. For example, porches on early twentieth century Colonial Revival style houses often feature posts with turned ball finials. This stylistic detail would not be found on earlier buildings. Similarly, a porch hood supported by brackets is a hallmark of Italianate and Second Empire Style buildings, but would be inappropriate on a later residence. Therefore, before beginning a porch replacement project, homeowners should first identify the architectural style of their home and take note of the porch details that are typically associated with that style. To be successful, the replacement porch should be consistent with the style of the house.

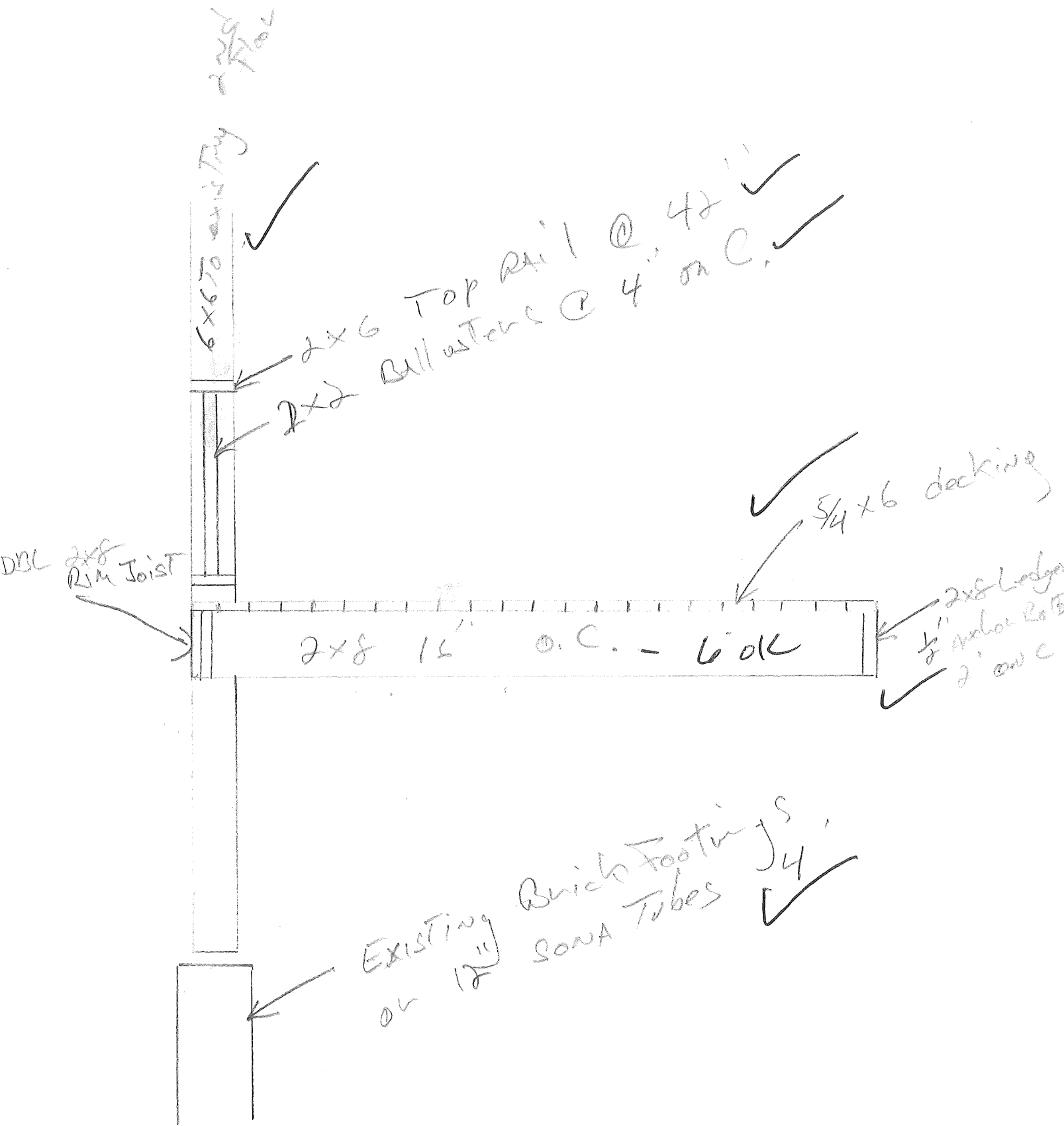


Skirt should  
be fully framed

Diagram of typical porch components.

# Deck Detail

51 High 87.





# BUILDING A DECK???

## INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.
2. Type of foundation system
  - a. Diameter of concrete filled tube or pre cast concrete pier size 12"
  - b. depth below grade (minimum 4'-0" below grade)
  - c. anchorage of column to footing
  - d. spacing and location of tubes/piers 6x6 Base w/p Existing 10
3. Framing Members
  - a. Columns – wood size and location (members supporting framing of floor system) 6x6
  - b. Ledger size attached to building 2x8
  - c. Fastener size and spacing attaching ledger 1/2" Thunder Studs @ 2' on c
  - d. Girder Size and spans carrying floor system
  - e. Joist size, span, and spacing 2x8 16" O.C.
  - f. Joist hangers or ledger Both
4. Guardrails & Handrail Details
  - a. Guardrail height 42"
  - b. Baluster spacing 3.75"
  - c. Handrail height 34
5. Stair Details
  - a. Tread depth (measured nosing to nosing)
  - b. Riser height Existing 11
  - c. Nosing on tread 6.5
  - d. Width of stairs 1' 5' 6"

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 51 High St, 04102		Owner: Helen Gillis		Phone:	Permit No: 000111
Owner Address: 2 Elmwood Road Cape Elizabeth 04107		Lessee/Buyer's Name:		Phone:	BusinessName:
Contractor Name: ** Cunningham Security **		Address: ** 313 Read St 04103		Phone: 878-5858	Permit Issued: 5
Past Use:  Multi-Unit  11 D.U.	Proposed Use:  Same  shall remain 11 D.U.	COST OF WORK: \$ 4,750.00		PERMIT FEE: \$ 54.00	Zone: <u>R-2</u> CBL: 040-C-001 Zoning Approval: <u>ok with conditions</u> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group <u>A-3</u> Type: <u>8"</u> <u>BOCA46</u>	
		Signature: <u>124m7</u>		Signature: <u>Hoffm</u>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied			
Proposed Project Description:  Install Fire Alarm		Signature:		Date:	
Permit Taken By: GD		Date Applied For: Gd February 14, 2000			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

February 14, 2000

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- ☐ Variance
  - ☐ Miscellaneous
  - ☐ Conditional Use
  - ☐ Interpretation
  - ☐ Approved
  - ☐ Denied

- Historic Preservation**
- ☐ Not in District or Landmark
  - ☐ Does Not Require Review
  - ☐ Requires Review

Action: Any exterior work  
shall require a separate review and approval  
☐ Approved  
☐ Approved with Conditions  
☐ Denied

Date: \_\_\_\_\_

CEO DISTRICT  
WITH REQUIREMENTS

PERMIT ISSUED  
WITH REQUIREMENTS