

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that TREE HOUSE LLC.

Located At 45 DANFORTH ST

Job ID: 2012-08-4677-ALTCOMM

CBL: 040- B-032-001

has permission to Build 2nd floor ext egress, new 6'x8' ext freezer
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4677-ALTCOMM

Located At: 45 DANFORTH ST

CBL: 040- B-032-001

Conditions of Approval:

Building

1. Application approval based upon information provided by the applicant or design professional, including revisions dated received 10/9/12 and 10/12/12. Any deviation from approved plans requires separate review and approval prior to work.
2. Equipment shall be installed in compliance with the manufacturer's specifications and the UL listing.
3. Lighting shall be required per code at the new exterior egress
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

1. Approval based upon plans dated 10/09/12.
2. All construction shall comply with City Code Chapter 10. The occupancy shall comply with City Code Chapter 10 upon inspection.
3. The Sprinkler system shall be reviewed by a licensed contractor(s) for code compliance. Compliance letters are required.
4. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
5. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
6. All structures with a sprinkler or fire alarm system require a Knox Box to be installed per city ordinance.
7. Fire extinguishers are required per NFPA 1.
8. Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
9. All means of egress to remain accessible at all times.
10. Emergency lights and exit signs are required including exterior exit discharge. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
11. Any cutting and welding done will require a Hot Work Permit from Fire Department.
12. Commercial cooking shall comply with NFPA 1 and 96.
13. Separate permits are required for kitchen hoods and hood suppression systems.



General Building Permit Application

Entered 8/10/12



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-08-4677-ALTCOMM

Location/Address of Construction: 45 DANFORTH ST		
Total Square Footage of Proposed Structure/Area 109 + 48 FREEZER		Square Footage of Lot 2973
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 040 B 032 001	Applicant * <u>must</u> be owner, Lessee or Buyer* Name LAURA CIGRI Address 45 DANFORTH ST City, State PORTLAND ME 04102	Telephone: 751-6320
Lessee/DBA (If Applicable) ZEN CHINESE BISTRO 45 DANFORTH ST PORTLAND ME 04102	Owner (if different from Applicant) Name TREEHOUSE LLC Address 70 CENTER ST. 3RD FL City, State PORTLAND ME 04101	Cost Of Work: \$ 19,000.00 C of O Fee: \$ 0 Total Fee: \$ \$210.00
RECEIVED AUG 10 2012 Dept of Building Inspection City of Portland Maine		
Recent legal use (i.e. single family) RESTAURANT If vacant, what was the previous use? RESTAURANT Proposed Specific Use: RESTAURANT Is property part of subdivision? NO If yes, please name _____ Project Description: SMALLEST INGRESS / EGRESS CHANGES. + New Deck upstairs NO CHANGES IN SEATING + NEW 6' x 8' FREEZER - Admin AVth		
Contractor's name: NIM MAGNO MAGNO BUILDERS & REMODELING Address: 7 LILAC LANE City, State & Zip: TOPSHAM ME 04086 Telephone: 751-7804 Who should we contact when the permit is ready: LAURA CIGRI Telephone: 751-6320 Mailing address: 45 DANFORTH ST, PORTLAND ME 04102		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mark J. [Signature] Date: **8-9-12**

This is not a permit; you may not commence ANY work until the permit is issue



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Receipts Details:

Tender Information: Check , Check Number: 6532

Tender Amount: 210.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 8/10/2012

Receipt Number: 46951

Receipt Details:

Referance ID:	7586	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	210.00	Charge Amount:	210.00
Job ID: Job ID: 2012-08-4677-ALTCOMM - Egress changes; new deck, new 6'8' freezer; NO COU			
Additional Comments: 45 Danforth			

Thank You for your Payment!



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- NA Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- NA Complete electrical and plumbing layout.
- NA Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- NA Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- ✓ Name, address and phone number of applicant **and** the project architect.
- ✓ Proposed use of structure (NFPA and IBC classification)
- ✓ Square footage of proposed structure (total and per story)
- ✓ Existing and proposed fire protection of structure.
- ✓ Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- ✓ A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary

NA Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



Accessibility Building Code Certificate

Designer: Mark Sangelmann dba ALPHA architects
 Address of Project: 45 DANFORTH ST PORTLAND 04102
 Nature of Project: RESTAURANT
8-9-12

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature: Mark Sangelmann
 Title: Principal
 Firm: ALPHA architects
 Address: 17 Chestnut St
Portland ME 04101
 Phone: 761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 8-9-12

From: Mark Sougelmann dba ALPHAarchitects

These plans and / or specifications covering construction work on:

45 DANFORTH ST RESTAURANT → RESTAURANT
MODEST INGRESS/EGRESS CHANGES + 6'x8' FREEZER
NO CHANGES TO SEATING

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2009 International Building Code and local amendments.



(SEAL)

Signature: Mark Sougel

Title: Principal

Firm: ALPHAarchitects

Address: 17 Chestnut St

Portland ME 04102

Phone: 761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer: MARK SENGBELMANN dba ALPHA architects
 Date: _____
 Job Name: ZEN CHINESE BISTRO
 Address of Construction: 15 DANFORTH ST PORTLAND 04102

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) A-3

Type of Construction 5

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) NA

Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) NR

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.11, 1807)

Floor Area Use	Loads Shown
<u>EXIT LANDING AND STAIRS</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

ASCE 7-05 Design option utilized (1609.1.1, 1609.6)

100 MPH Basic wind speed (1809.3)

I Building category and wind importance Factor, I_w (table 1604.5, 1609.5)

B Wind exposure category (1609.4)

N/A Internal pressure coefficient (ASCE 7)

N/A Component and cladding pressures (1609.1.1, 1609.6.2.2)

+5.8 PSF - 19.5 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)

↓ Seismic use group ("Category")

↓ Spectral response coefficients, S_D s & S_I (1615.1)

↓ Site class (1615.1.5)

- N/A Live load reduction
- N/A Roof live loads (1603.1.2, 1607.11)
- 46 PSF Roof snow loads (1603.7.3, 1608)
- 60 PSF Ground snow load, P_g (1608.2)
- 46 PSF If $P_g > 10$ psf, flat-roof snow load P_f
- 1.0 If $P_g > 10$ psf, snow exposure factor, C_e
- 1.0 If $P_g > 10$ psf, snow load importance factor, I_s
- 1.1 Roof thermal factor, C_t (1608.4)
- 46 PSF Sloped roof snowload, P_s (1608.4)
- N/A Seismic design category (1616.3)
- ↓ Basic seismic force resisting system (1617.6.2)
- ↓ Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
- ↓ Analysis procedure (1616.6, 1617.5)
- ↓ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

N/A Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

↓ Partition loads (1607.5)

↓ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

August 7, 2012



Lt. Ben Wallace
Portland Fire Department
City of Portland
380 Congress Street
Portland ME 04101

RE: **Zen Chinese Bistro**
45 Danforth St
Portland ME 04102

Lt. Wallace,

The applicant is Laura Cigri, 45 Walton Street, Portland ME 04102 (207) 751-6320. The Project Architect is Mark Sengelmann of ALPHAarchitects, 17 Chestnut St, Portland ME 04101 (207) 761-9500.

A-3, Restaurant (assembly) with 1768sf First floor and 1800 sf Second Floor totaling 3568sf. The building is sprinkled. There is no existing alarm system.

2009 IBC/ NFPA 101 CODE REVIEW

Occupancy: A-3, Existing 2 story Restaurant to remain a restaurant.

Height: 2 Story

Construction Type: 5A

Exit Width 3'-8" total

Stairs Existing stairs were upgraded to meet code in 2008.

New Stair- none

Travel Distance to Exits w Sprinkler 250' max

Wall and Ceiling Finish Class B

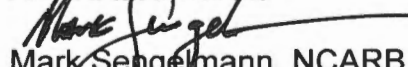
Egress Floor Finish Class II

Hazardous Area Protection Boiler- sprinklered with residential head

This letter certifies that the restaurant at 45 Danforth Street in Portland, Maine has been designed to be compliant with the 2009 IBC and NFPA 101 codes.

Sincerely,

ALPHAarchitects


Mark Sengelmann, NCARB
Principal

C:\General Office\Correspondance\Zen Bistro Certification 8-7-12.doc

ALPHAarchitects

17 Chestnut Street, Suite 201, Portland ME 04101 • 207.761-9500 • Fax 207.761.9595 • mark@ALPHAarchitects.com

ASIS OF
OWN
CLOCKWISE

MAPLE S.

RECEIVED

AUG 10 2012

Dept. of Building Inspections
City of Portland Maine

CORNER BOARD 0.1'
INTO ROAD LINE

CORNER BOARD 0.1'
INTO ROAD LINE AT
0.3' JOG

N32°21'53"W
73.00'

N59°38'51"E
40.00'

4.88'

CORNER BOARD

VERTICAL TRIM BOARD
STARTING 1.8' ABOVE
GROUND RUNNING
ALMOST TO ROOF
4.16'

4.71'
SIDING

4.87'
FDN

FOUNDATION - 4.40'

S36°27'24"E
67.33'

EDGE OF PAVEMENT

45 DANFORTH STREET
"ZEN BISTRO"

BOW IN BUILDING THIS AREA
NOT SHOWN

CAD NOTE: BUILDING
SHOWN TO SIDING AND
CORNER BOARDS

0.78- CORNER BOARD TO
BOUNDARY/STREET LINE

CURB FLOW LINE

OVERHANG/EAVES
NOT LOCATED

3.0'± - CORNER BOARD
TO FLOW LINE

S51°58'36"W
45.00'

CORNER OF FOUND MONUMENT

ENLARGED SURVEY PLAN

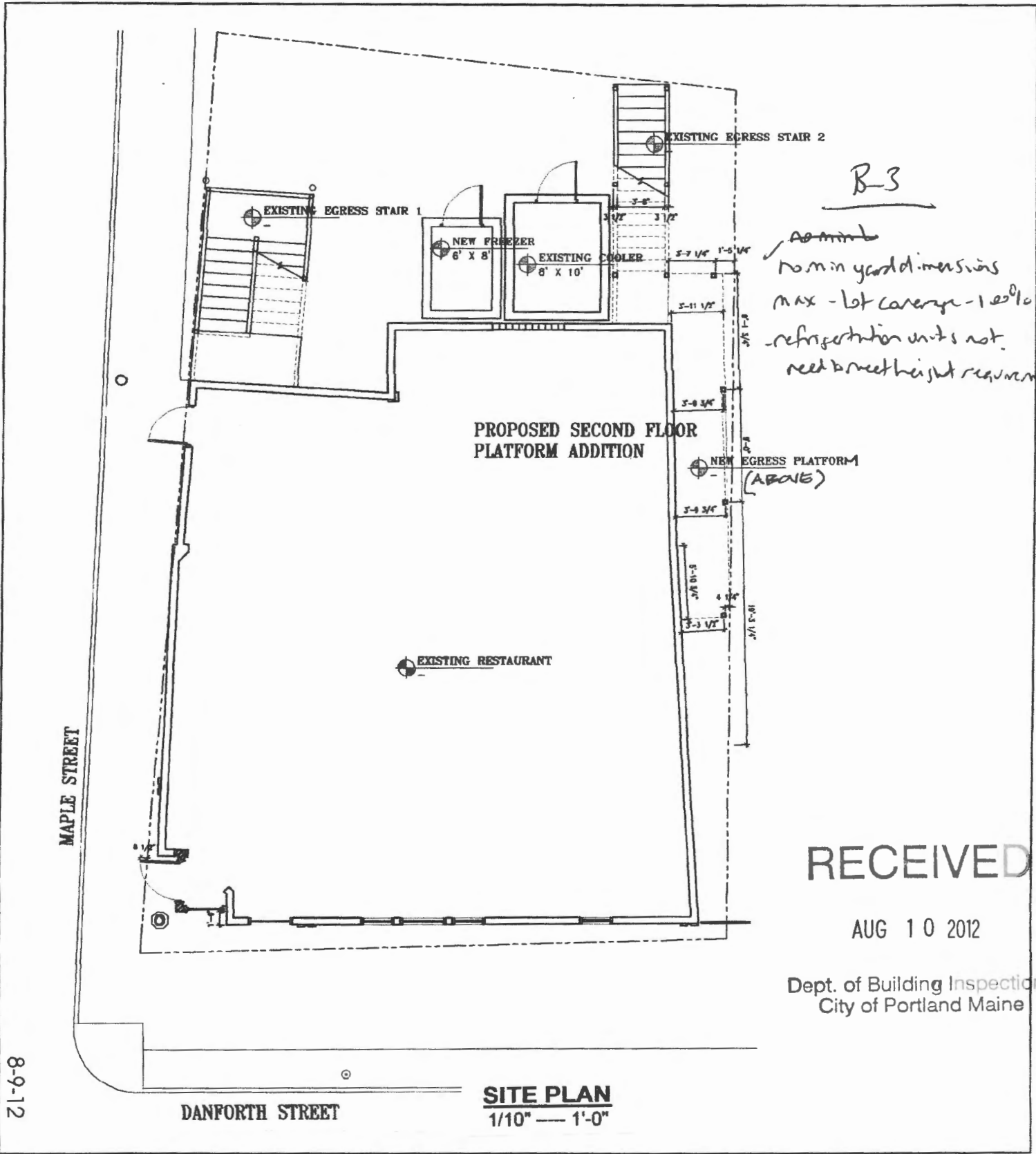
1/10" ----- 1'-0"

S-1	ISSUE DATE	12/13/12
	P. STAFF	
	REV 1	
	CDS	
	PRINT	8-6-12

Zen Chinese Bistro Egress
45 Danforth Street
Portland, ME 04102

ALPHAarchitects
17 CHESTNUT STREET
PORTLAND, ME 04101
PHONE: 207.761.9500
FAX: 207.761.9595
info@alphaarchitects.com

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B-3

Admin
 No. in yard dimensions
 MAX - lot coverage - 120%
 refrigeration units not
 need to meet height requirements

RECEIVED

AUG 10 2012

Dept. of Building Inspections
 City of Portland Maine

SITE PLAN
 1/10" = 1'-0"

8-9-12

S-2

DATE	REV	BY
8-6-12	1	P. STAFF
		CDs
		PRINT

JOB: 12134

Zen Chinese Bistro Egress
 45 Danforth Street
 Portland, ME 04102

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ALPHA architects
 17 CHESTNUT STREET
 PORTLAND, ME 04101
 PHONE: 807.261.9800
 FAX: 807.261.9895
 info@alphainc.com



2012-562

Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: ZEN CHINESE BISTRO

PROJECT ADDRESS: 45 DANFORTH ST CHART/BLOCK/LOT: 040 B032001

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

RESTAURANT -> RESTAURANT. MODEST INGRESS / EGRESS
NO CHANGE IN SEATING + NEW 6'x8' FREEZER

CONTACT INFORMATION:

OWNER/APPLICANT

Name: LAURA CIGRI
Address: 45 DANFORTH ST
PORTLAND ME 04102
Work #: _____
Cell #: 751-6320
Fax #: _____
Home #: _____
E-mail: lcigri@yahoo.com

CONSULTANT/AGENT

Name: ALPHA architects
Address: 17 Chestnut St
Portland ME 04101
Work #: 761-9500
Cell #: 671-4110
Fax #: 761-9595
Home #: NA
E-mail: mark@ALPHAarchitects.com

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment
Y(yes), N(no), N/A

- a) Is the proposal within existing structures? _____
- b) Are there any new buildings, additions, or demolitions? _____
- c) Is the footprint increase less than 500 sq. ft.? _____
- d) Are there any new curb cuts, driveways or parking areas? _____
- e) Are the curbs and sidewalks in sound condition? _____
- f) Do the curbs and sidewalks comply with ADA? _____
- g) Is there any additional parking? _____
- h) Is there an increase in traffic? _____
- i) Are there any known stormwater problems? _____
- j) Does sufficient property screening exist? _____
- k) Are there adequate utilities? _____
- l) Are there any zoning violations? _____
- m) Is an emergency generator located to minimize noise? _____
- n) Are there any noise, vibration, glare, fumes or other impacts? _____

N
Y
Y
N
Y
Y
N
N
N
Y
Y
N
NA
N

RECEIVED

AUG 10 2012

City of Portland
Planning Division

Signature of Applicant: Mark Jungel Date: 8-9-12

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

Administrative Authorization Decision

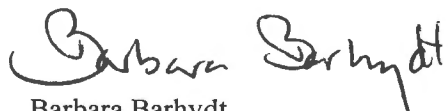
Name: Zen Chinese Bistro
Address: 45 Danforth Street cbl 040 B 32
Project Description: new freezer and chaNges to ingress and egress

Criteria for an Adminstrative Authorizations: Applicant's Assessment Planning Division
(See Section 14-523 (4) on page 2 of this application) Y(yes), N(no), N/A Use Only

a) Is the proposal within existing structures?	N	N
b) Are there any new buildings, additions, or demolitions?	Y	Y – freezer 6 x8 and platform roughly 110 sf
c) Is the footprint increase less than 500 sq. ft.?	Y	Y
d) Are there any new curb cuts, driveways or parking areas?	N	N
e) Are the curbs and sidewalks in sound condition?	Y	Y
f) Do the curbs and sidewalks comply with ADA?	Y	Y
g) Is there any additional parking?	N	N
h) Is there an increase in traffic?	N	N
i) Are there any known stormwater problems?	N	N
j) Does sufficient property screening exist?	Y	Y
k) Are there adequate utilities?	Y	Y
l) Are there any zoning violations?	N	N
m)Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	N

The Administrative Authorization for 45 Danforth Street was approved by Barbara Barhydt, Development Review Services Manager on August 17, 2012 with the following condition(s) of approval listed below:

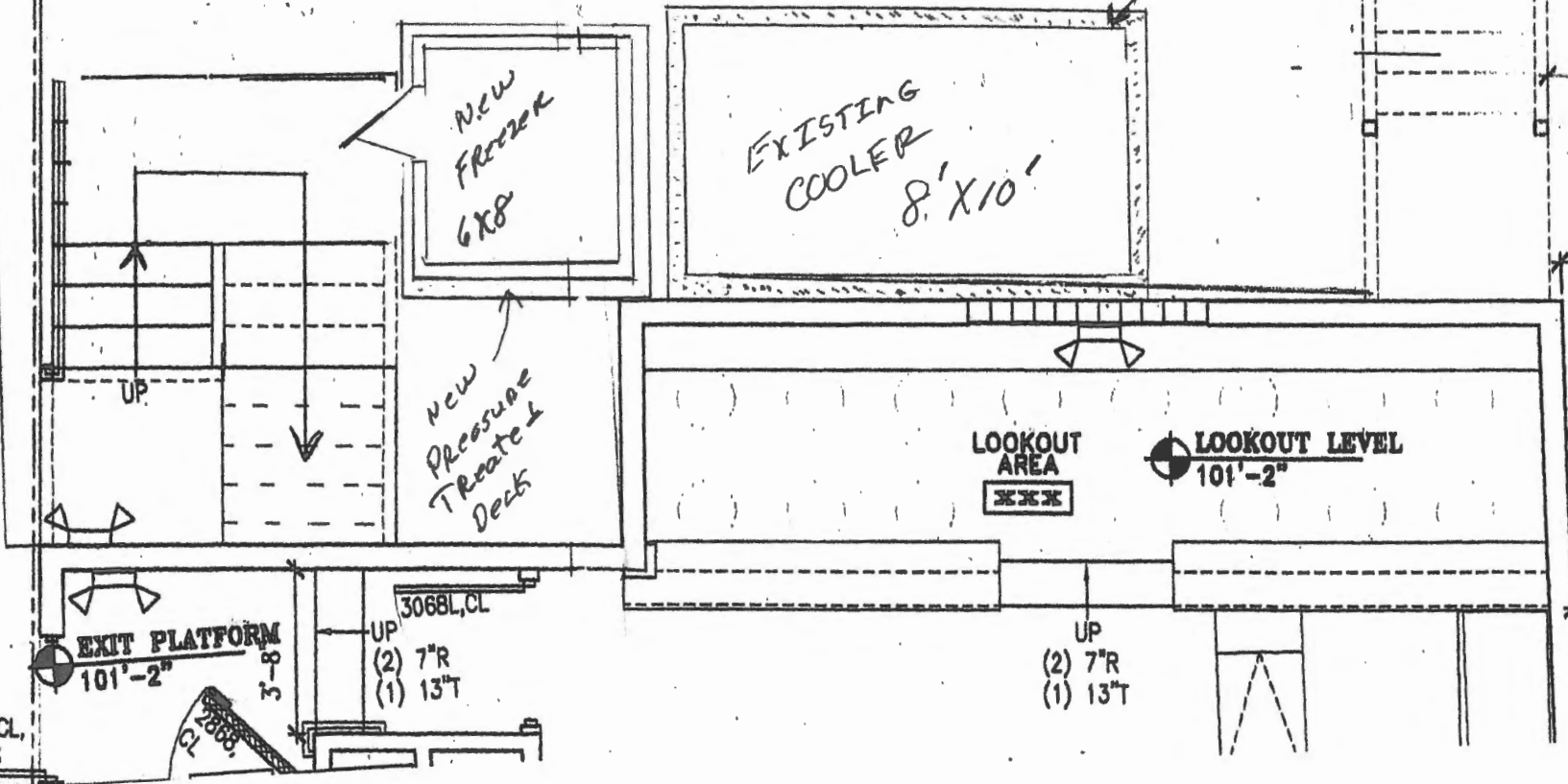
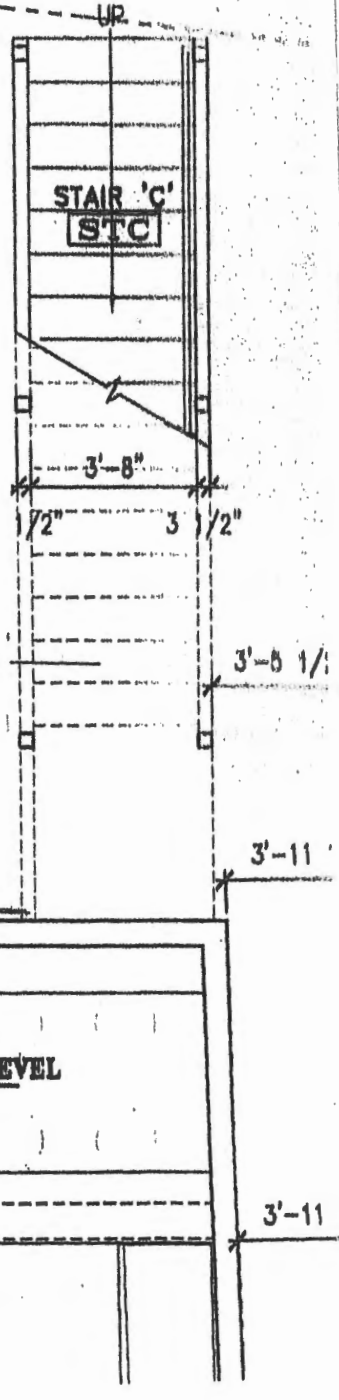
1. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



Barbara Barhydt
Development Review Services Manager
Date of Approval: August 17, 2012

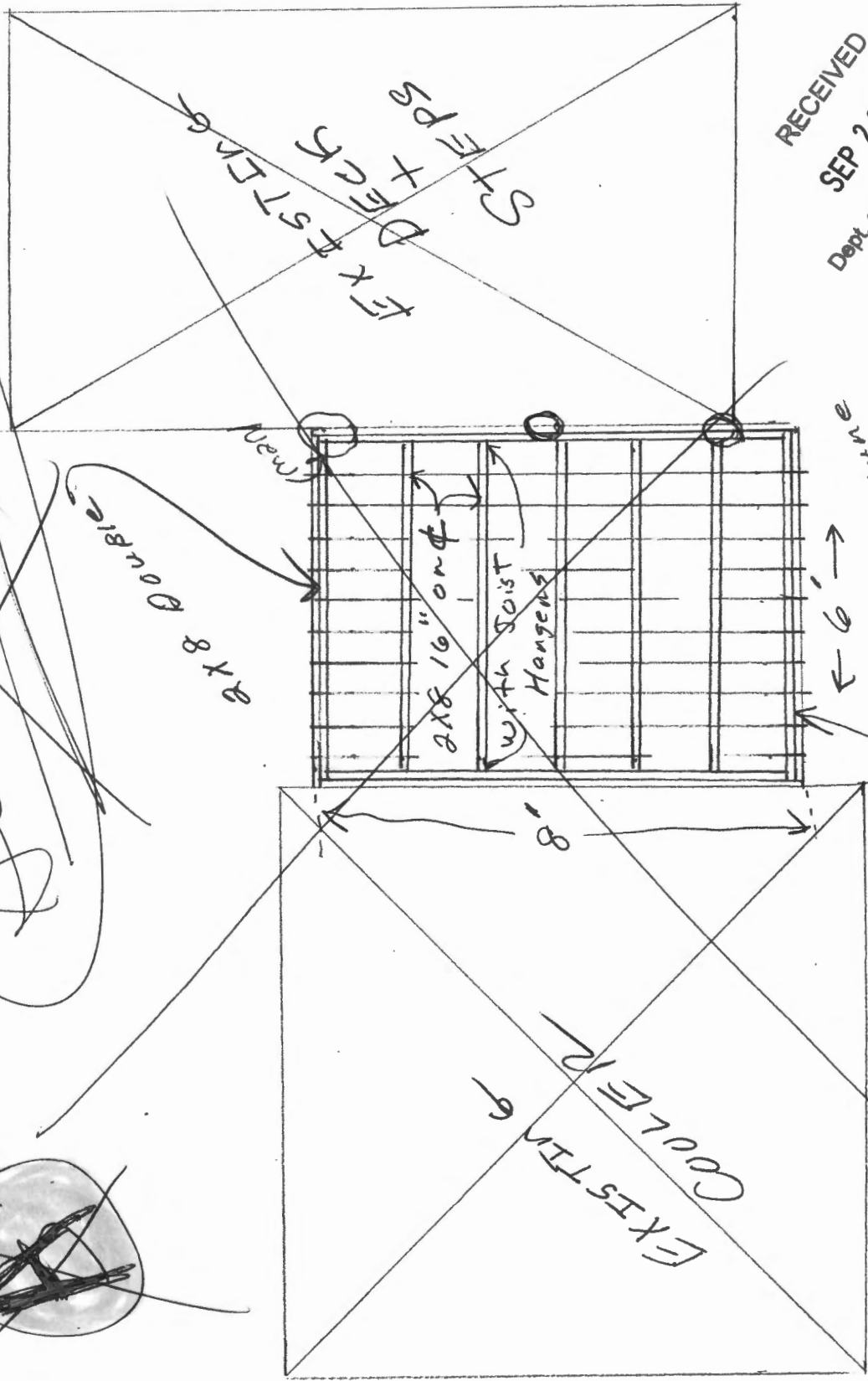
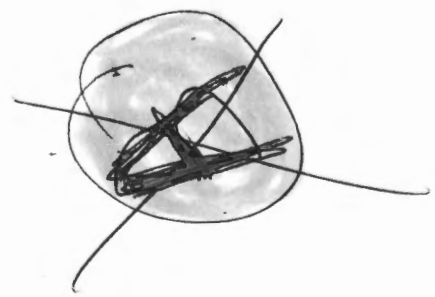
RECEIVED
SEP 26 2012
Dept. of Building Inspections
City of Portland Maine

~~A~~
See Plan B
See Revision Dated 10/9/12
EXISTING
CONCRETE
PAD.



See Revision 1/12

~~See Revision B~~



EXISTING
DECK
STEPS

New

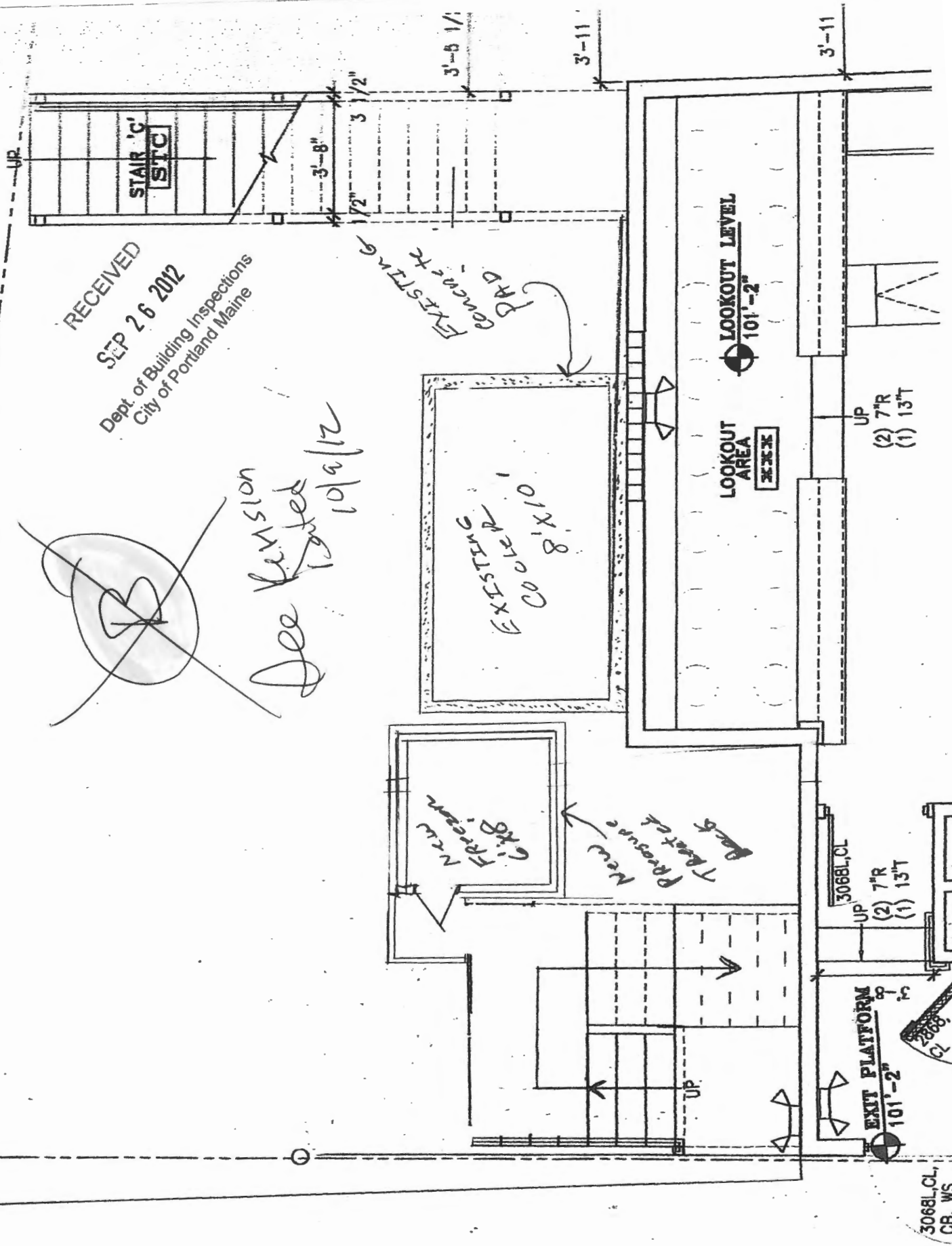
8x8 Boards

2x8 16" on C
with Joist
Hangers

New Pressure Deck
New Top

4x4
2x8
Deck

RECEIVED
SEP 26 2012
Dept. of Building Inspections
City of Portland Maine



RECEIVED
 SEP 26 2012
 Dept. of Building Inspections
 City of Portland Maine

See Revision
 10/2/12

EXISTING
 PMD
 Concrete

EXISTING
 CO. 8'x10'
 CONCRETE

New
 Fire Alarm
 Pressure
 Switch

LOOKOUT LEVEL
 101'-2"

EXIT PLATFORM
 101'-2"

UP
 (2) 7'R
 (1) 13'T

UP
 (2) 7'R
 (1) 13'T

3068L,CL,
 CB, WS

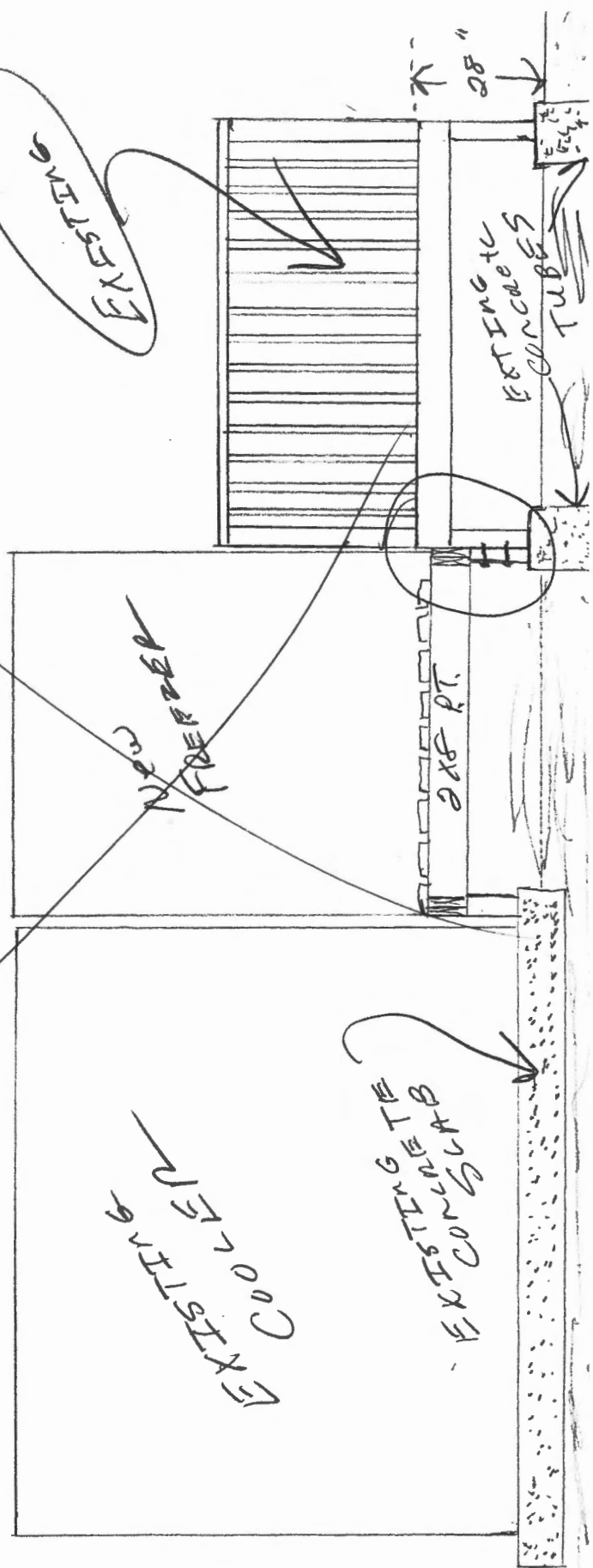
3068L,CL

RECEIVED

SEP 26 2012

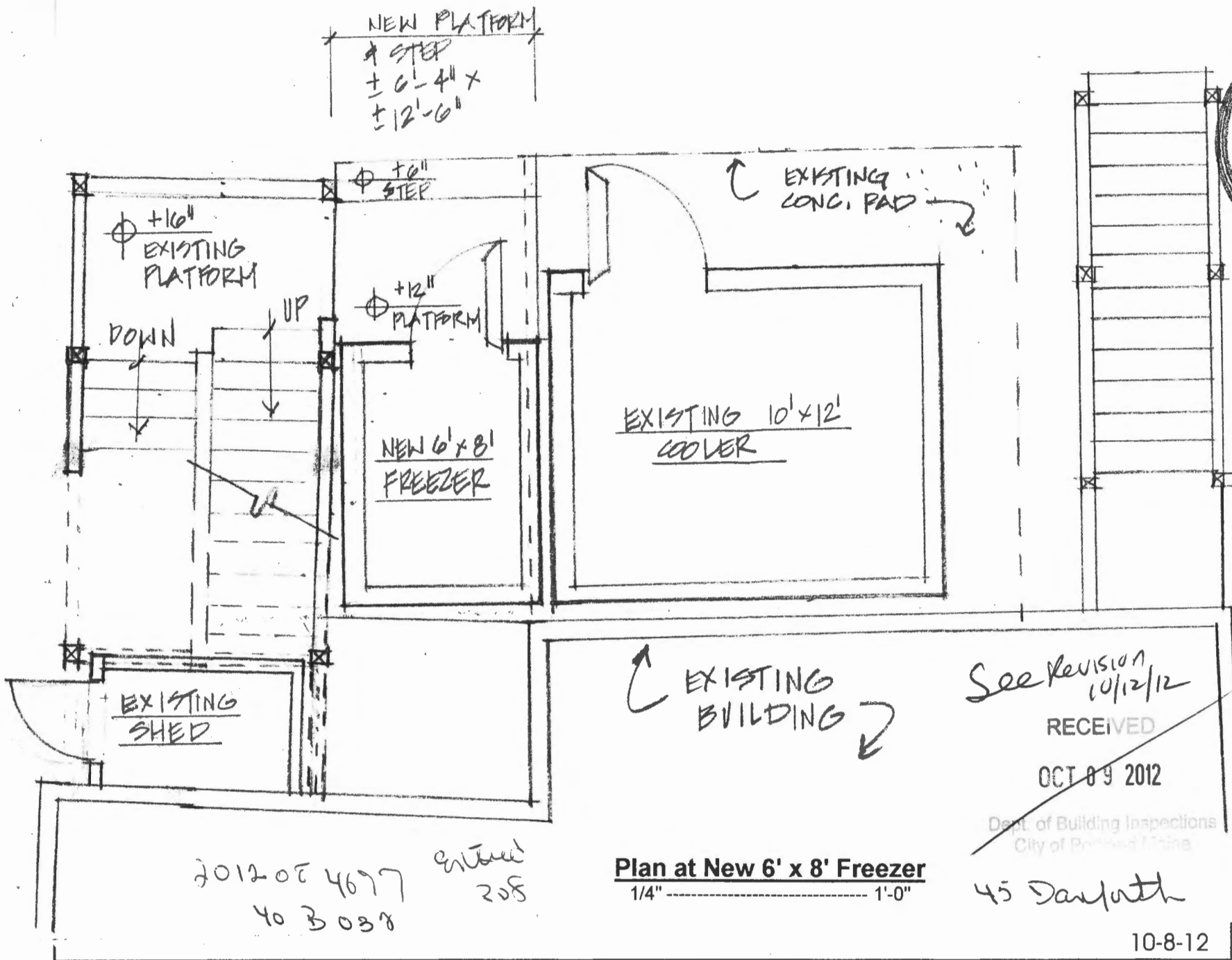
Dept. of Building Inspections
City of Portland Maine

See Revision
10/9/12





ALPHAarchitects
 17 CHESTNUT STREET
 PORTLAND, ME 04101
 PHONE: 207.761.9600
 FAX: 207.761.9698
 design@alphaarchitects.com



TIN
 PE
 ↓

2012 05 4677 entered
 40 B 038 208

Plan at New 6' x 8' Freezer
 1/4" ----- 1'-0"

See Revision 10/12/12

RECEIVED
 OCT 09 2012

Dept. of Building Inspections
 City of Portland, Maine

45 Danforth

10-8-12

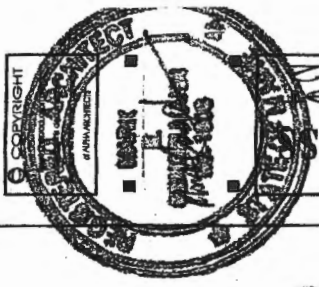
Zen Chinese Bistro Egress
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 Portland, ME 04102

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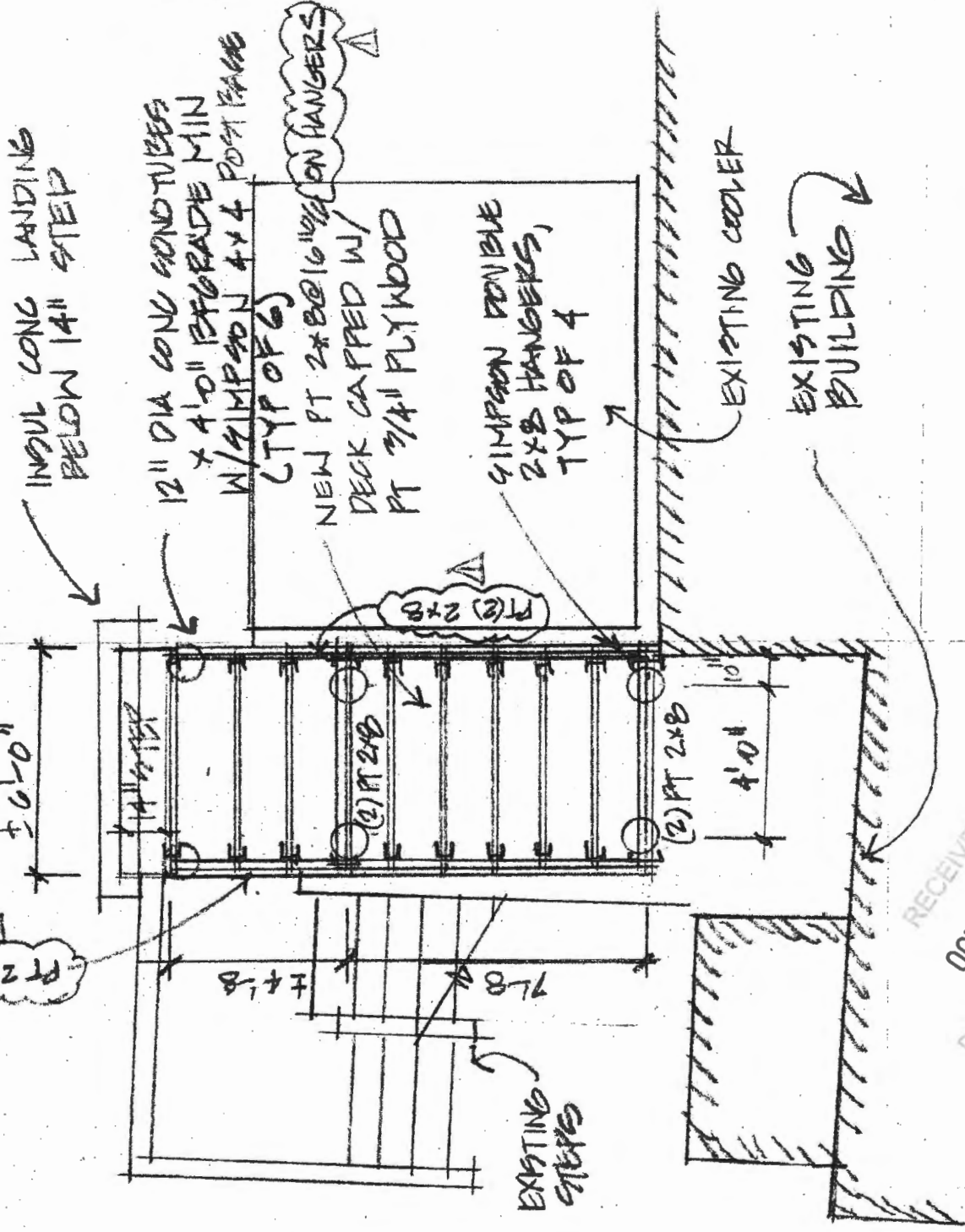


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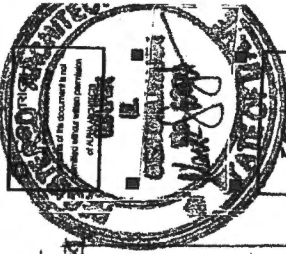
Floor Framing for 6' x 8' Freezer
 1/4" = 1'-0"

10-11-12
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SK.1

(2) NEW +35"
 GRASPABLE
 HAND RAILS
 EACH SIDE

EXISTING
 CONC. PAD

EXISTING 10' x 12'
 COOLER

RETURN ALL
 RAILS TO
 WALL / POST

NEW PLATFORM
 4 STEP
 ± 0'-4" x
 ± 12'-0"

± 0" STEP

± 12" PLATFORM

NEW 6' x 8'
 FREEZER

NEW +35"
 GRASPABLE
 HAND RAIL
 COVER

± 10" EXISTING
 PLATFORM

DOWN
 UP

EXISTING
 BUILDING

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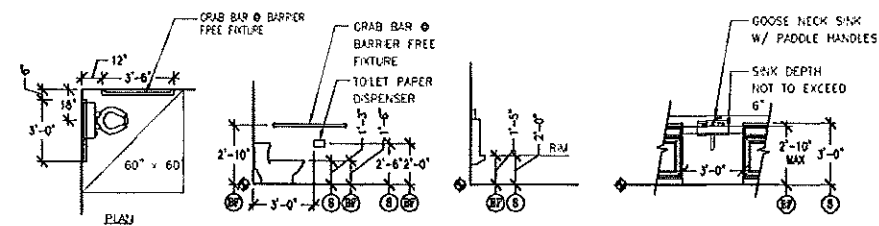
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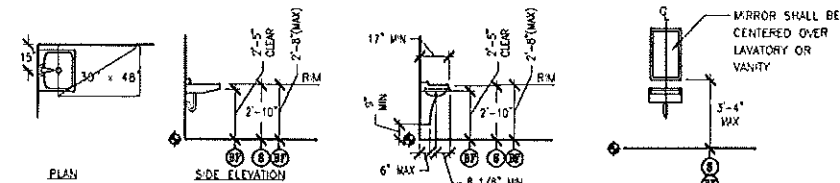
Plan at New 6' x 8' Freezer
 1/4" = 1'-0"

REVISED 10-11-12

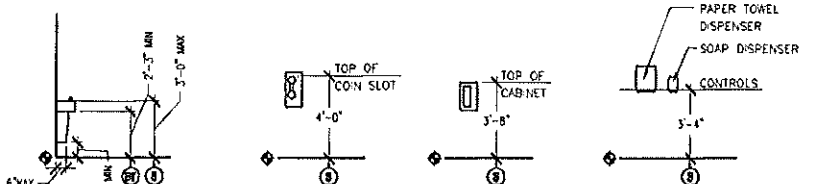
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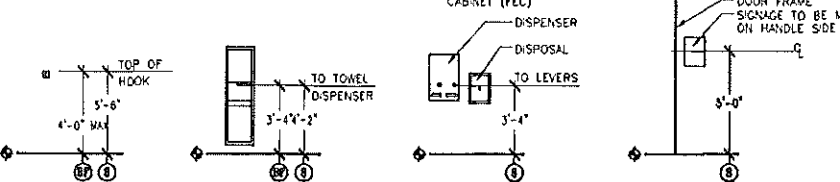
WATER CLOSET & GRAB BAR URINAL LUNCH COUNTER SINK



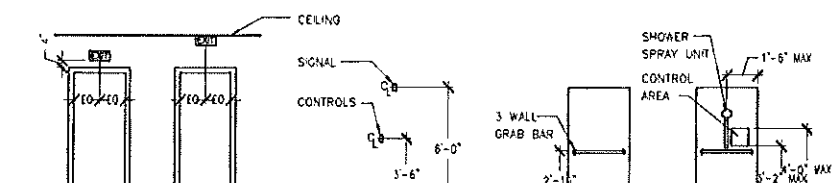
WALL-HUNG LAVATORY OR HAND SINK WALL-HUNG LAVATORY MIRROR OR MEDICINE CABINET



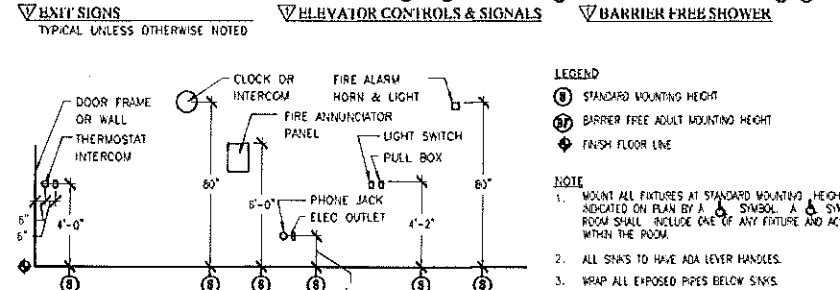
ELECTRIC WATER COOLER (EWC) PUBLIC TELEPHONE FIRE EXTINGUISHER TOWEL & SOAP DISPENSERS



CLOTHES HOOK TOWEL DISPENSER DISPOSAL UNIT SANITARY NAPKIN DISPENSER & DISPOSAL WALL SIGNAGE - COMPLY WITH ADA RAISED BRAILLE CHARACTERS



EXIT SIGNS TYPICAL UNLESS OTHERWISE NOTED ELEVATOR CONTROLS & SIGNALS BARRIER FREE SHOWER



ELECTRICAL & FIRE PROTECTION DEVICES TYPICAL UNLESS OTHERWISE NOTED



GENERAL NOTES:

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL, AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. ALL WORK SHALL BE COMPLETED TO INDUSTRY STANDARDS IN A PROFESSIONAL WORKMAN LIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(ES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK. (STATE FIRE MARSHAL PERMIT BY OWNER.)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND/OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
9. ALL DOOR HARDWARE TO HAVE ADA LEVER HANDLES UNLESS OTHERWISE NOTED.
10. MAINTAIN A SAFE CLEAR PATH FREE FROM DUST AND DEBRIS BE-TAKEN OCCUPIED AREAS AND THE MEANS OF EGRESS. PROVIDE DUST PARTITIONS AS SPECIFIED, OR IF NOT SPECIFIED, AS DIRECTED BY THE ARCHITECT TO PROVIDE THIS ACCESS. REVIEW LOCATION AND SEQUENCING OF DUST PARTITIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. EXISTING WALLS MAY BE SEALED TO UNDERSIDE OF SLAB ABOVE IN LIEU OF CONSTRUCTING NEW DUST PARTITIONS WHERE APPLICABLE.
11. FIELD VERIFY ALL FLOOR LEVEL HEIGHTS PRIOR TO THE START OF CONSTRUCTION. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
12. GUARANTEE: ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. PROVIDE MEANS FURNISH AND INSTALL.
14. PROVIDE 1/4" DIA. PIPE GRAB HANDRAIL. GRIND SMOOTH ALL WELDS AND PAINT W/ RUST PROOF ALKID PRIMER AND 2 COATS ALKID PAINT.
15. THE ARCHITECT RESERVES THE RIGHT TO CONDUCT DISCOVERY/ DEMOLITION TO PROPERLY DETERMINE THE EXISTING MATERIALS/ SUBSTRATES/ FIRE RATINGS AND/ OR HAZARDOUS MATERIALS AND TO MODIFY THE DRAWINGS ACCORDINGLY TO MEET STATE AND LOCAL CODES.
16. REUSE EXIT SIGNS IF ILLUMINATED. IF NOT PROVIDE NEW.
17. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTINGUATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THEIR CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FOR ALL COSTS.
18. CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
19. ALL SIGNAGE TO CONFORM WITH ADA INCLUDING RAISED BRAILLE CHARACTERS IN ALL PUBLIC AREAS.

RENOVATION GENERAL NOTES:

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS. CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REPAIR ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (w/ EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE. PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHOWN LINES.
5. WHERE NEW WALLS OR INFILLS ADJUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTINUOUS.
6. IF SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND/OR REMOVAL. ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY WITH THE TOWN OF AUBURN CONCURRENTLY WITH THIS PROJECT. THE CONTRACTOR SHALL CO-ORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. PROVIDE CODE COMPLIANT, PAINTABLE (WHERE EXPOSED), FIRE SEALANT AT ALL RATED WALL PERIMETERS AND WALL/ FLOOR PENETRATIONS.

ABBREVIATIONS:

∅	AND	HORIZ	HORIZONTAL
∠	ANGLE	HR	HOUR
INSUL	INSULATION	INSUL	INSULATION
AT	ABOVE FINISH FLOOR	LAM	LAMINATED
CLC	CENTER LINE	MFC	MANUFACTURE
CAB	CABINET	MTL	METAL
CELD	CEILING	N	NORTH
CLR	CLEAR	NAT	NATURAL
CMU	CONC. MASONRY UNIT	NC	NOT IN CONTRACT
CNT'R	COUNTER	# OF NO	NUMBER
COL	COLUMN	ON CENTER	ON CENTER
CCNC	CONCRETE	PERP	PERPENDICULAR
CSNT	CONTINUOUS	PLAS	PLASTER
COR	CORNER	PT	PRESSURE TREATED
CPT	CARPET	PTD	PAINTED
DA	DIAMETER	R	RISER
DR	DOOR	RO	ROUGH OPENING
E	EAST	SAT	SUSPENDED ACOUSTICAL TILE
ELEC	ELECTRIC	SM	SIMILAR
ELEV	ELEVATION OR ELEVATOR	SS	STAINLESS STEEL
EO	EQUAL	STD	STANDARD
E, EXIST, EXTD	EXISTING	STL	STEEL
FLR	FLOOR	TEL	TELEPHONE
CA	CAUSE	TYP	TYPICAL
GLZY	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VF	VERIFY IN FIELD
OSB / O.P. ED.	OSYSLAM BOARD	WD	WOOD
H	HIGH	WC	WATER COOLER
HM	HOLLOW METAL	W/	WITH

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2009 IBC CODE REVIEW

Project Description: Restaurant to be upgraded with an expanded kitchen and revised ingress/egress.
Occupancy: Restaurant and Assembly Class III
Supervised Auto Sprinkler System: Yes
Height: 2 story
Size: 1,775 SF First Floor, 1,608 SF Second
Occupied Load: 110 Seals and 10 Employees
Egress Width: 120 x 2'/occ = 24/2 Corridor & doors
120 x 3'/occ = 36/2 Stairs & Ramps
Construction Type: SA 2.0.0
Dead Load Corridor: 20'
Max Travel Distance: 250' w/ sprinkler
Common Path of Travel: 75'

TOILET CALCS FOR 137 OCCUPANTS

Male Internal Plumbing Code	WOMEN	WOMEN	OTHER
TOTAL OCCUPANTS: (137)	68.5	68.5	-
TOILETS:	1	3	-
URINALS:	2	-	-
SINKS:	1	1	-
DRINKING FOUNTAIN:	-	-	-
SERVICE SINK:	-	-	1

* NOT REQUIRED WHERE FOOD & DRINK ARE SERVED.

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FIRE SAFETY NOTES:

1. INTERIOR FINISH MATERIAL SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF ASTM CLASS II.
2. FIRE EXTINGUISHER, PER 2006 NFPA 101-7-7.1.1.
3. KITCHEN SUPPRESSION SYSTEM PROTECTION, PER APPLICABLE PROVISIONS NFPA 96.
4. INSULATING MATERIALS SHALL HAVE A FLAME SPREAD RATING OF 76-200 OR LESS AND A SMOKE DEVELOPED RATING OF 450 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E-84 & NFPA 255.

LIST OF DRAWINGS:

T1	TITLE SHEET
A1.1	FIRST & SECOND FLOOR ARCHITECTURAL PLANS
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTION & DETAILS

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T-1

08-09-12



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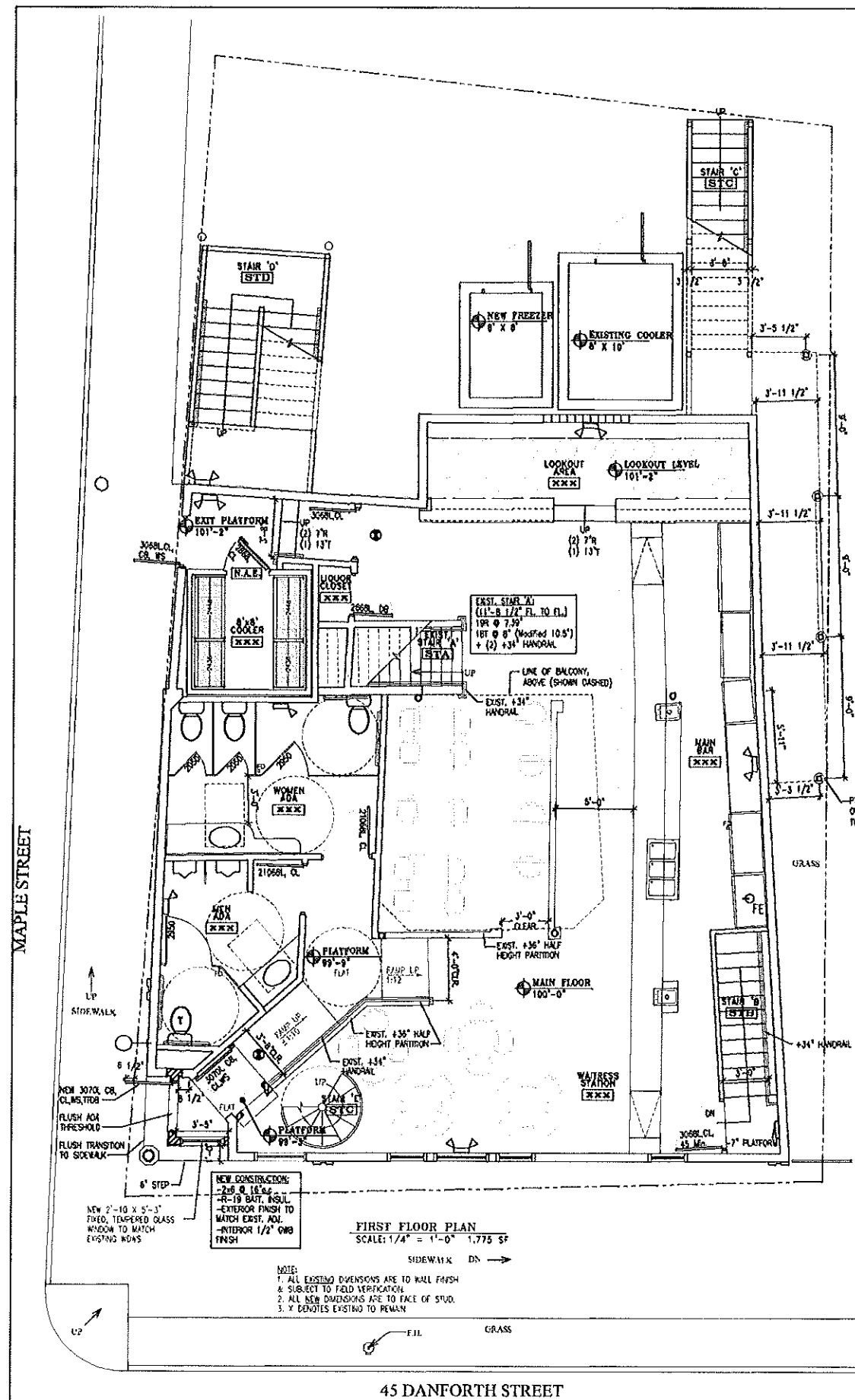
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FIRST & SECOND
 FLOOR PLANS

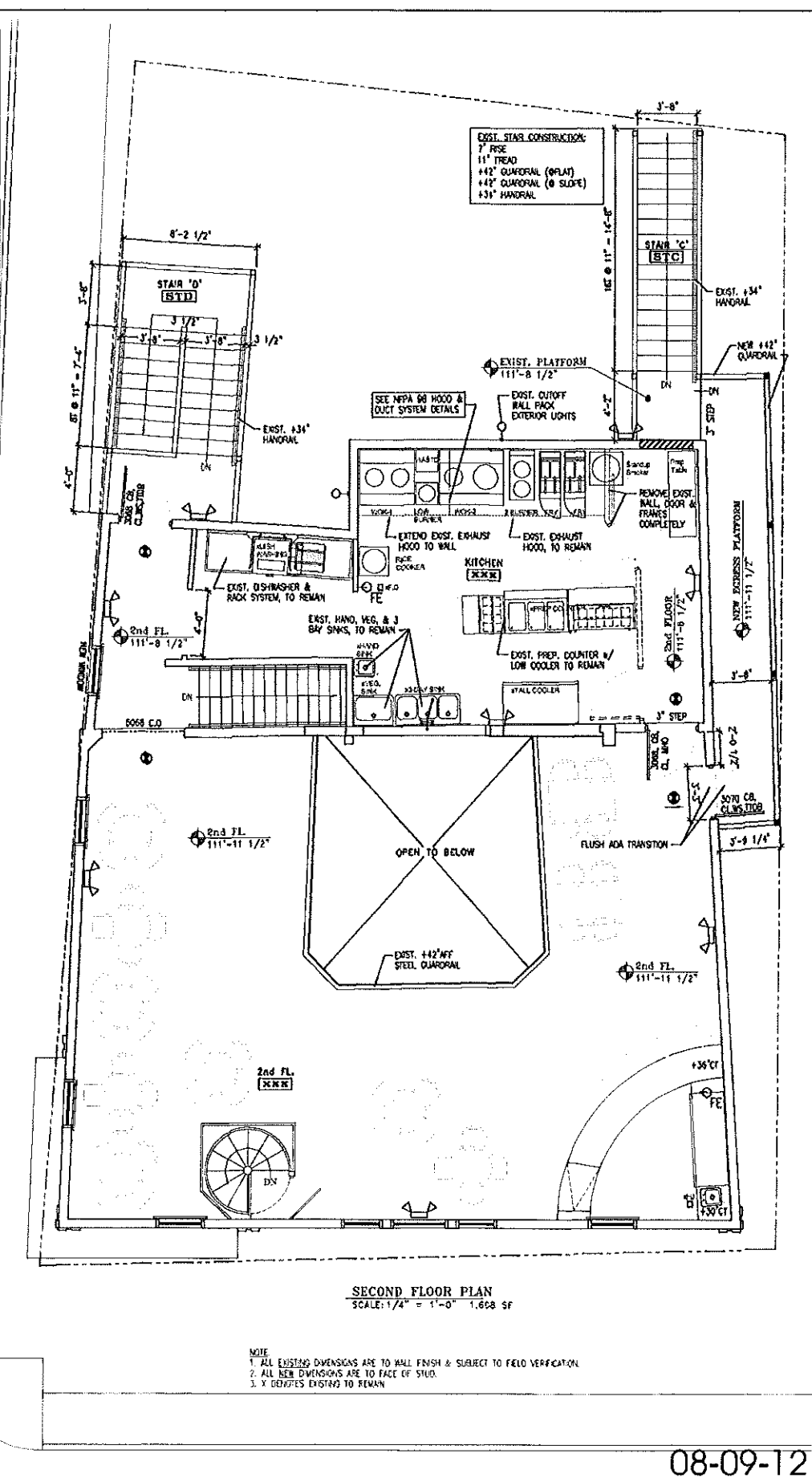
A1.1



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1,775 SF

NOTE:
 1. ALL EXISTING DIMENSIONS ARE TO WALL FINISH & SUBJECT TO FIELD VERIFICATION.
 2. ALL NEW DIMENSIONS ARE TO FACE OF STUD.
 3. X DENOTES EXISTING TO REMAIN.

- NOTES:**
- ALL EMERGENCY LIGHTS MUST BE POWERED BY BATTERY BACK-UP OR GENERATOR PER NFPA 101.
 - HVAC PER NFPA 90A
 - EMERGENCY LIGHTS TO AVERAGE 1 FOOTCANDLE AND 1 FOOTCANDLE MINIMUM.
 - ALL FIRE BALL PENETRATIONS TO BE COMPLETELY SEALED TO MAINTAIN A 1 HR. RATING. - ALL DUCTWORK WHICH PENETRATES A FIRE BALL SHALL HAVE A 1 HR. DAMPER.
- ABBREVIATIONS:**
- C.O. = CASED OPENING w/ 1x3 FLAT CASING
 C. = CASED OPENING w/ 1x3 FLAT CASING
 O.C. = OOR CLOSER
 W.S. = WEATHER STRIPPING SYSTEM
 D.B.T. = DEAD BOLT (THRU TURN)
 A.L. = ADA LEVER
 R. = RELOCATED
 X. = EXISTING TO REMAIN
- FIRE PROTECTION LEGEND**
- FE = FIRE EXTINGUISHER 10# ABC
 - EL = EXIT LIGHT
 - STROBE ONLY WITH CANDELLA RATING AS NOTED
 - NORM STROBE WITH CANDELLA RATING AS NOTED
 - DUAL EMERGENCY LIGHT
 - SINGLE EMERGENCY LIGHT
 - SMOKE DETECTOR (CEILING)
 - HEAT DETECTOR (CEILING)
 - COMBINATION LIGHT/EXHAUST FAN
 - FIRE ALARM MASTER CONTROL PANEL
 - PULL STATION
 - EXTERIOR EGRESS LIGHT
 - N.A.E. = "NOT AN EXIT" SIGN IN RAISED BRAILLE
 - XXX = VAN ACCESSIBLE

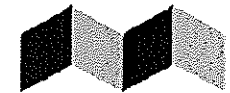


SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1,668 SF

NOTE:
 1. ALL EXISTING DIMENSIONS ARE TO WALL FINISH & SUBJECT TO FIELD VERIFICATION.
 2. ALL NEW DIMENSIONS ARE TO FACE OF STUD.
 3. X DENOTES EXISTING TO REMAIN.

45 DANFORTH STREET

08-09-12



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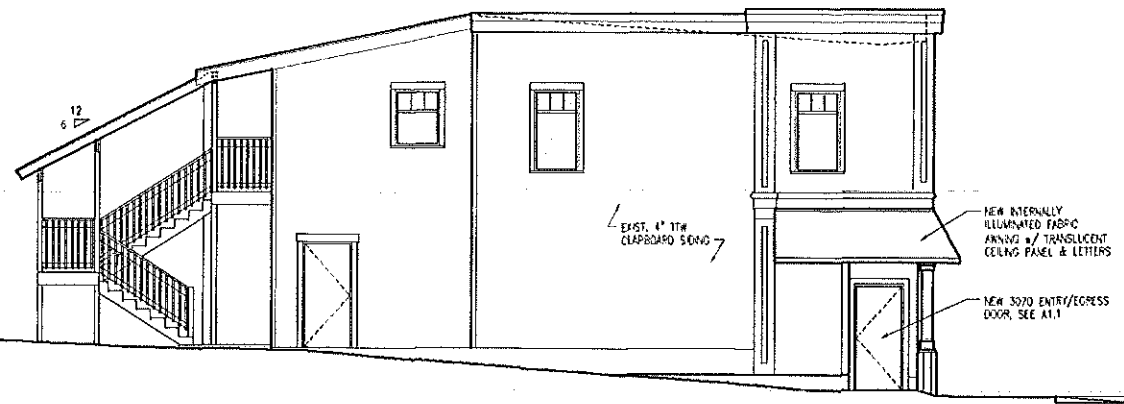
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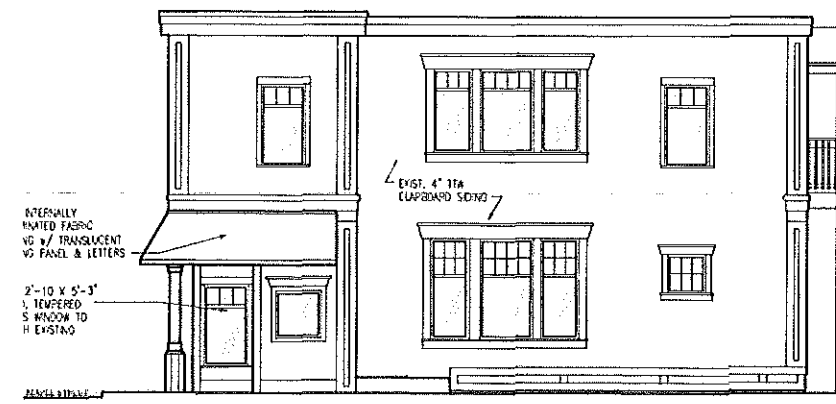
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EXTERIOR
 ELEVATIONS

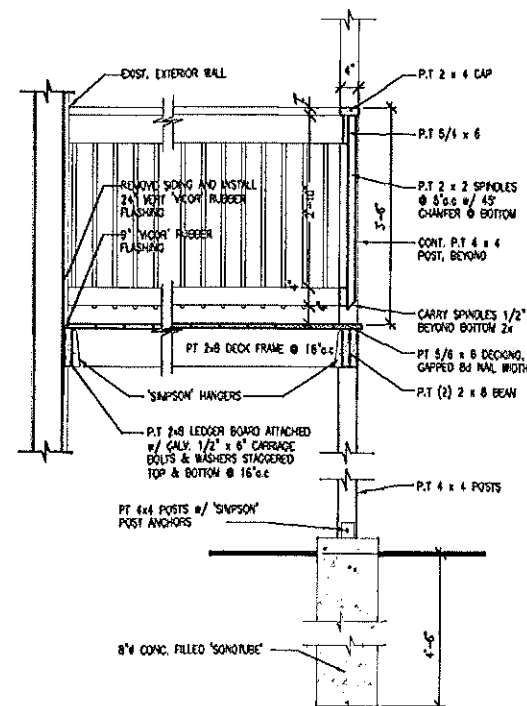
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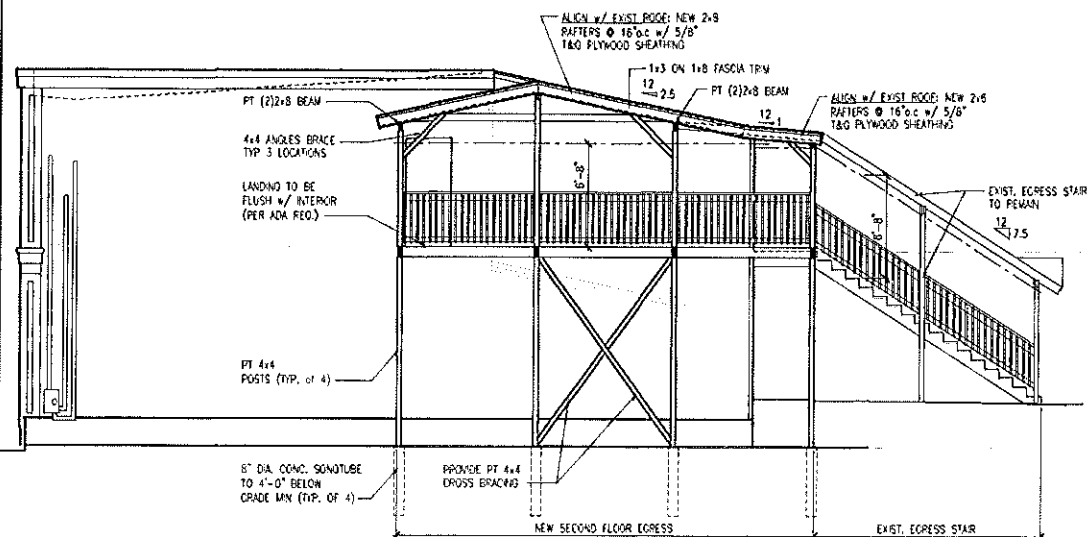
MAPLE STREET ELEVATION
 SCALE: 3/16" = 1'-0"



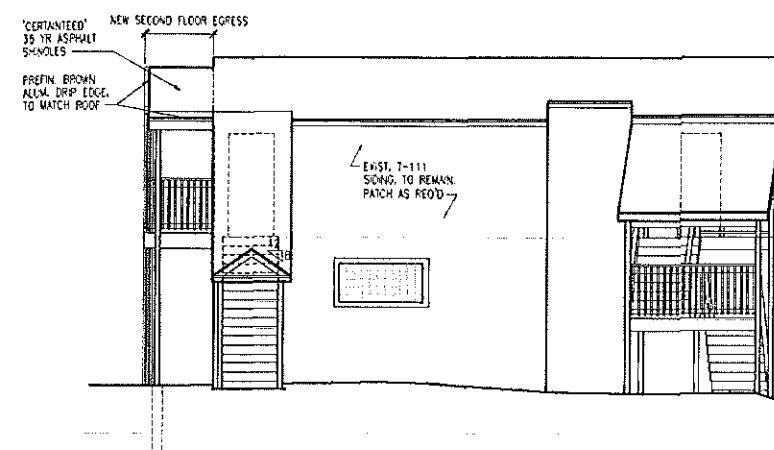
DANFORTH STREET ELEVATION
 SCALE: 3/16" = 1'-0"



TYP. RAILING DETAIL
 SCALE: 3/4" = 1'-0"



RIGHT SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



REAR ELEVATION
 SCALE: 3/16" = 1'-0"

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DECK
 SECTION &
 DETAILS
A3.1

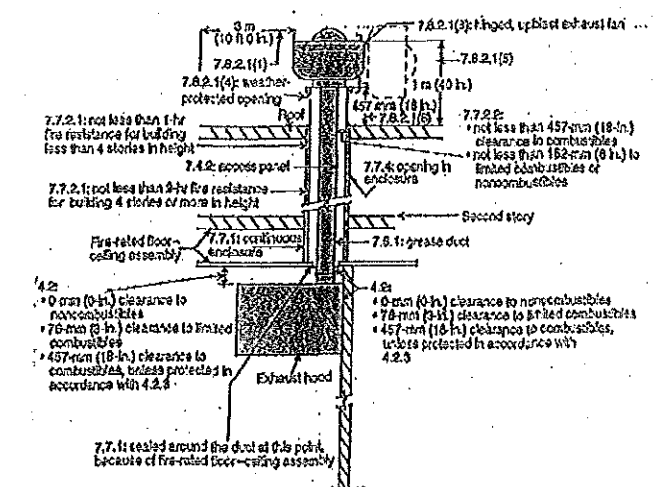
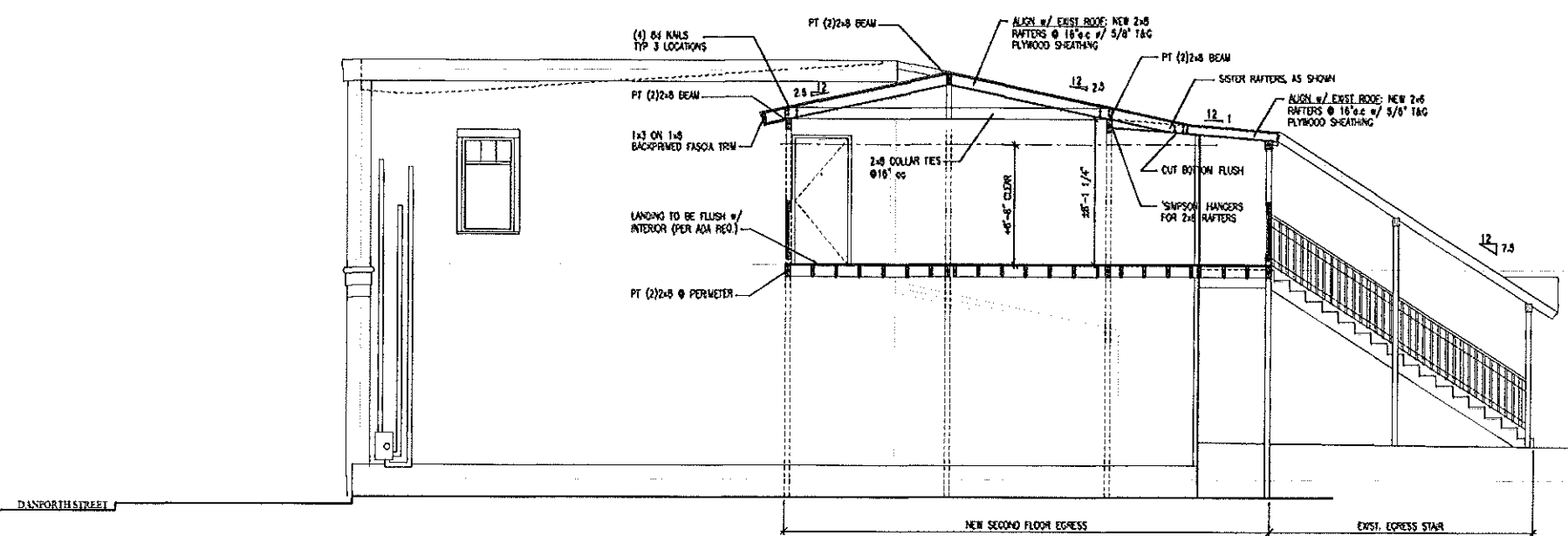


FIGURE A.4.2(a) Typical section view for building with two stories or more with fire-rated floor-ceiling assembly.

4.2* Clearance.
 4.2.1 Where enclosures are not required, hoods, grease removal devices, exhaust fans, and ducts shall have a clearance of at least 457 mm (18 in.) to combustible material, 76 mm (3 in.) to limited-combustible material, and 0 mm (0 in.) to noncombustible material.
 4.2.2 Where a hood, duct, or grease removal device is listed for clearances less than those required in 4.2.1 the listing requirements shall be permitted.
 4.2.3 Clearance Reduction.
 4.2.3.1 Where a clearance reduction system consisting of 0.33 mm (0.013 in.) (28-gauge) sheet metal spaced out 25 mm (1 in.) on noncombustible spacers is provided, there shall be a minimum of 229 mm (9 in.) clearance to combustible material.
 4.2.3.2 Where a clearance reduction system consisting of 0.69 mm (0.027 in.) (22-gauge) sheet metal on 25 mm (1 in.) mineral wool bats or ceramic fiber blanket reinforced with wire mesh or equivalent spaced out 25 mm (1 in.) on noncombustible spacers is provided, there shall be a minimum of 76 mm (3 in.) clearance to combustible material.
 4.2.3.3 Zero clearance to limited-combustible materials shall be permitted where protected by metal lath and plaster, ceramic tile, quarry tile, other noncombustible materials or assembly of noncombustible materials, or materials and products that are listed for the purpose of reducing clearance.



A SECTION @ NEW EGRESS PLATFORM
 SCALE: 1/4" = 1'-0"

08-09-12