

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

**BUILDING INSPECTION
 PERMIT**

Permit Number: 081056

This is to certify that TREEHOUSE LLC/TBD
 has permission to Neighborhood Pub - general remodel - new 1/3 new bar at 2nd level new kitchen, bar, toilets upgraded
 AT 45 DANFORTH ST 040 B032001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is rendered in it. PERMITS NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Crea Cass

Health Dept.

Appeal Board

Other

Department Name

PERMIT ISSUED
SEP 24 2008
CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

[Signature]
 Director - Building & Inspection Services

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1056	Issue Date:	CBL: 040 B032001
-----------------------	-------------	---------------------

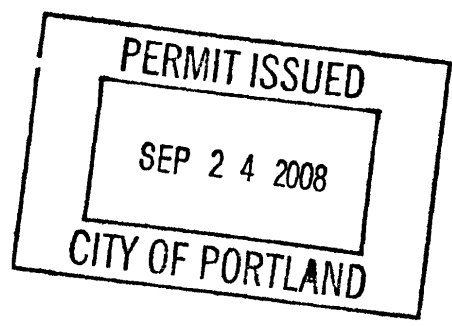
Location of Construction: 45 DANFORTH ST	Owner Name: TREEHOUSE LLC	Owner Address: PO BOX 491	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Commercial Vacant Pub	Proposed Use: Commercial - Neighborhood Pub - general remodel - 1/2 new roof 1/3 new floor at 2nd level new kitchen, bar, toilets upgraded per ADA, upgrade fire escape	Permit Fee: \$970.00	Cost of Work: \$95,000.00	CEO District: 1
Proposed Project Description: Neighborhood Pub - general remodel - 1/2 new roof 1/3 new floor at 2nd level new kitchen, bar, toilets upgraded per ADA, upgrade fire escape <i>ADDING EGRESS & WALK-IN COOLER</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>A-2</i> Type: <i>SB</i> <i>IBC 2003</i>	

Signature: <i>Leroy Cross</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: Idobson	Date Applied For: 08/22/2008	Zoning Approval
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Exemption</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/26/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	---	---	---



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1056	Date Applied For: 08/22/2008	CBL: 040 B032001
------------------------------	--	----------------------------

Location of Construction: 45 DANFORTH ST	Owner Name: TREEHOUSE LLC	Owner Address: PO BOX 491	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Neighborhood Pub - general remodel - 1/2 new roof 1/3 new floor at 2nd level new kitchen, bar, toilets upgraded per ADA, upgrade fire escape	Proposed Project Description: Neighborhood Pub - general remodel - 1/2 new roof 1/3 new floor at 2nd level new kitchen, bar, toilets upgraded per ADA, upgrade fire escape
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/26/2008

Note:**Ok to Issue:**

- 1) The applicant shall check with the City Clerk's office for compliance with all licensing regulations.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 09/24/2008

Note:**Ok to Issue:**

- 1) As discussed, the structural analysis and corrective recommendations conducted by the engineer of the right wall must be submitted to this office for review.
- 2) As discussed, separate permits are required for all hood systems.
- 3) This permit is approved under IBC Sec. 3403.4, Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails must comply with new codes to the fullest extent possible
- 4) This permit approves construction only. Food, alcohol or entertainment in this space requires licensing approvals from the City Clerk.
- 5) The basement is NOT approved as habitable space.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 09/02/2008

Note:**Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 3) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 4) The sprinkler system shall be installed in accordance with NFPA 13.
- 5) Application requires State Fire Marshal approval.

Comments:

8/26/2008-mes: Do not issue permit without Planning signing off on site plan or site plan exemption.

Location of Construction: 45 DANFORTH ST	Owner Name: TREEHOUSE LLC	Owner Address: PO BOX 491	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	
9/11/2008-lmd: Received statement of special inspections, put paper work in with the permit.			
9/19/2008-tmm: went over items w/design professional - will submit info /tmm			

Use A.2

- Stamp Structural Plan - OK
Construction type - 3A - Type is SB -
Stair B - Need 7" Rise - went over w/Mark
42" Half walls - if a guard - OK under 3403.4
Stair A - Can it be 11" T + 7" Rise? - OK corrected
* Sheet A-1 note see struct. PE Dwg's to repair and - Condition
Need ~~at~~ equip layout behind bar - OK
Need floor drains in baths, kitchen, bars - OK
* Need separate hood permit
Need 42" Guard on stairs - OK
Walk In cooler - outside - OK - relocated
* Separate Permits for hoods
Please show birds eye framing detail of decks
w/ sumptube locations - OK
Need framing detail of opening for stair
+ 1st flr. - OK

Covered -

761-9500
Mark

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

SEP 24 2008

SUPERSEDES ALL
PRIOR DATED PLANS

Schedule Inspection

Add

Find

Print Permit

Print C of O

Print Insp

Invoicing

Taxes Due

Close

Prmt

Text93

6152

Constr Type

New

Num1

81056

Permit Nbr 08-1056 Location of Construction 45 DANFORTH ST Appl. Date 08/22/2008
Status Hold Permit Type Alterations - Commercial Issue Date
CBL 040 B032001 District Nbr 1 Estimated Cost \$95,000.00 Date Closed

Comment Date	Comment	Add	Delete	Save	Print
09/19/2008	went over items w/design professional - will submit info /tmm				
	Name tmm		Follow Up Date		Completed <input type="checkbox"/>
09/11/2008	Received statement of special inspections, put paper work in with the permit.				
	Name lmd		Follow Up Date		Completed <input type="checkbox"/>
08/26/2008	Do not issue permit without Planning signing off on site plan or site plan exemption.				
	Name mes		Follow Up Date		Completed <input type="checkbox"/>

CreatedBy Idobson CreateDate 08/25/2008 ModBy tmm ModDate 09/19/2008
Time 8:30 AM Time 10:12 AM



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 45 Danforth St Portland		
Total Square Footage of Proposed Structure/Area ± 3383 SF		Square Footage of Lot ± 2993 SF
Tax Assessor's Chart, Block & Lot Chart# 40 Block# B Lot# 32 back 22245 page 284	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Billy O'Brien Address 1544 Congress St City, State & Zip Portland ME 04102	Telephone: 207 838-6072
Lessee/DBA (If Applicable) The Tree Cafe	Owner (if different from Applicant) Name TRSEHOUSE LLC Address 70 Center St 3rd Floor City, State & Zip Portland ME 04101	Cost Of Work: \$ 95,000.- C of O Fee: \$ 0 Total Fee: \$ 970.-
Current legal use (i.e. single family) <u>vacant</u> If vacant, what was the previous use? <u>neighborhood pub</u> Proposed Specific use: <u>neighborhood pub</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: General Remodel, 1/2 new roof, 1/3 new floor at 2nd level, new kitchen and bar, toilets upgraded per ADA, code complaint upgraded fire escape stairs (2), etc.		
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip: _____ Telephone: _____ Who should we contact when the permit is ready: Billy O'Brien Telephone: 207 838-6072 Mailing address: 1544 Congress St. Portland ME 04102		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: William O'Brien Date: 8/22/08

This is not a permit; you may not commence ANY work until the permit is issued.



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout. **BY OTHERS**
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review **BY OTHERS**
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003 **NR**
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17"
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

AUG 22 2011

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required) **NR**
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher. **NR**

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

AUG 22



Accessibility Building Code Certificate

Designer:

ALPHA architects

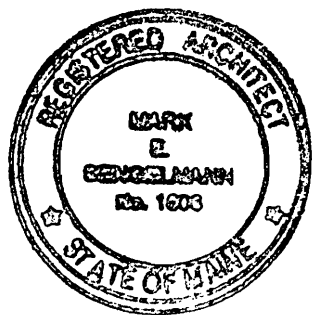
Address of Project:

45 Danforth St, Portland

Nature of Project:

The Tree Cafe,
- neighborhood pub → neighborhood
pub remodel

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature:

Mark Engelmann

Title:

Principal

Firm:

ALPHA architects

Address:

17 Chestnut St
Portland ME 04101

Phone:

207-761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 8-22-08

From: ALPHA architects

These plans and / or specifications covering construction work on:

The Tree Cafe, 45 Danforth St Portland
neighborhood pub → neighborhood pub remodel

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: Mark Gengelmann

Title: Principal

Firm: ALPHA architects

Address: 17 Chestnut St

Suite 201 Portland 04101

Phone: 207 761-9500

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

Architect Designer:

Mark Sengelmann dba Alpha Architects

Date:

8-22-08

Project Name:

The Tree Cafe

Address of Construction:

45 Danforth St Portland

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (s) 3A

Type of Construction WOOD FRAME

Does the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) —

Does the Structure have a fire alarm System? NR Geotechnical/Soils report required? (See Section 1802.2) NR

Structural Design Calculations

TO FOLLOW Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>NA</u>	

Wind loads (1603.1.4, 1609)

<u>NA</u>	Design option utilized (1609.1.1, 1609.6)
	Basic wind speed (1809.3)
	Building category and wind importance Factor, I_w table 1604.5, 1609.5
	Wind exposure category (1609.4)
	Internal pressure coefficient (ASCE 7)
	Component and cladding pressures (1609.1.1, 1609.6.2.2)
	Main force wind pressures (7603.1.1, 1609.6.2.1)

Seismic design data (1603.1.5, 1614-1623)

	Design option utilized (1614.1)
	Seismic use group ("Category")
	Spectral response coefficients, S_D s & S_{DI} (1615.1)
	Site class (1615.1.5)

NA

	Live load reduction
	Roof live loads (1603.1.2, 1607.11)
	Roof snow loads (1603.7.3, 1608)
	Ground snow load, P_g (1608.2)
	If $P_g > 10$ psf, flat-roof snow load P_f
	If $P_g > 10$ psf, snow exposure factor, C_e
	If $P_g > 10$ psf, snow load importance factor, I_s
	Roof thermal factor, C_t (1608.4)
	Sloped roof snowload, P_s (1608.4)
	Seismic design category (1616.3)
	Basic seismic force resisting system (1617.6.2)
	Response modification coefficient, R and deflection amplification factor, C_d (1617.6.2)
	Analysis procedure (1616.6, 1617.5)
	Design base shear (1617.4, 1617.5.1)
	Flood loads (1803.1.6, 1612)
	Flood Hazard area (1612.3)
	Elevation of structure
	Other loads
	Concentrated loads (1607.4)
	Partition loads (1607.5)
	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

040 B - 032

Statement of Special Inspections

Project: *The Tree Cafe*
Location: *45 Danforth Street, Portland, ME*
Owner: *Billy O'Brien, 1544 Congress Street, Portland, ME 207 838-6072*
Design Professional in Responsible Charge: *David J. Tetreault, P.E.*

SEP 10 2008

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

X Structural Mechanical/Electrical/Plumbing
Architectural Other: _____

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *Monthly*

or per attached schedule.

Prepared by:

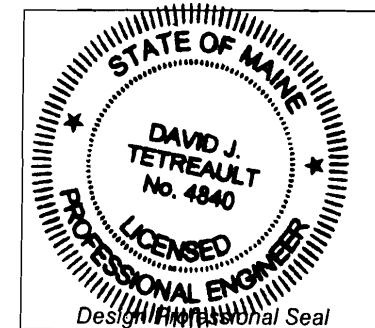
David J. Tetreault, P.E.

(type or print name)

David J. Tetreault
Signature

08/22/08

Date



Owner's Authorization:

Building Official's Acceptance:

Signature

Date

Signature

Date

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- X Structural Steel
- X Wood Construction

Special Inspection Agencies	Firm	Address, Telephone
1. Special Inspection Coordinator	<i>Structural Design Consulting, Inc.</i>	<i>22 Oakmont Drive Old Orchard Beach, ME 04064-4121 207-934-8038</i>
2. Inspector/Testing Agency		
3 Testing Agency		
4 Testing Agency		
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category

Quality Assurance Plan Required (Y/N) *N*

Description of seismic force resisting system and designated seismic systems:

No revisions to the lateral force resisting system will be made as part of this renovation project.

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)

Wind Exposure Category

Quality Assurance Plan Required (Y/N) *N*

Description of wind force resisting system:

No revisions to the lateral force resisting system will be made as part of this renovation project.

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

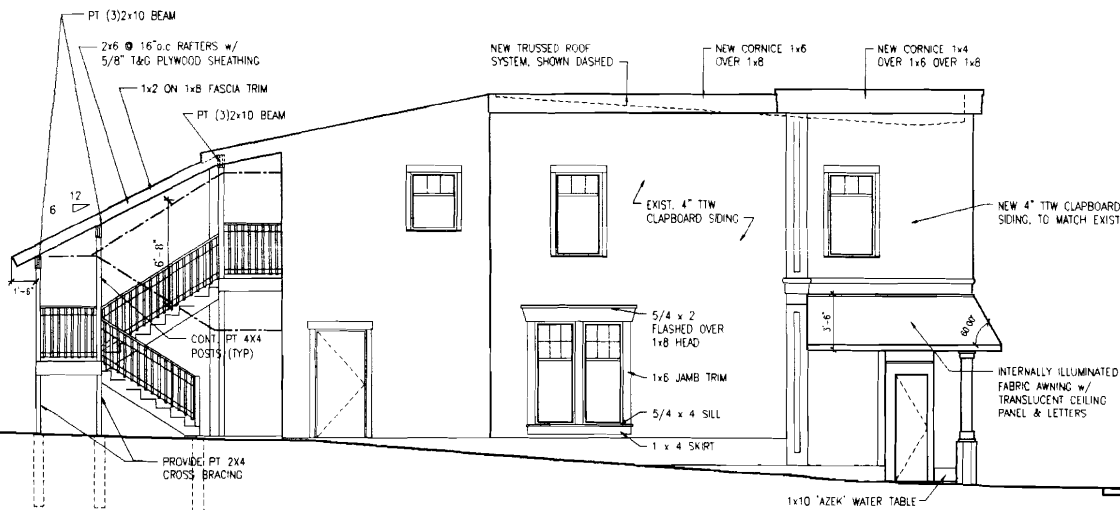
Other

Structural Steel

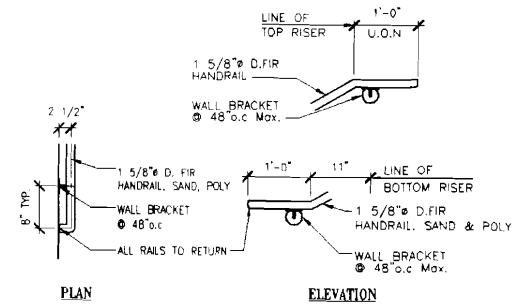
Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures Fabricator Exempt	N		Fabricator must be member of the American Institute of Steel Construction (AISC), be certified in Category I of the AISC quality Certification Program, or be a member of the Structural Steel Fabricators of New England (SSFNE).
2. Material Certification	Y	I	<i>Review certified mill test reports and identification markings on HSS shapes, high-strength bolts, nuts and welding electrodes</i>
3. Open Web Steel Joists	N		
4. Bolting	Y	I	<i>Inspect installation and tightening of high-strength bolts. Verify that splines have separated from tension control bolts. Verify proper tightening sequence.</i>
5. Welding	N		
6. Shear Connectors	N		
7. Structural Details	Y	I	<i>Inspect steel construction for compliance with structural drawings, including bracing, member configuration and connection details.</i>
8. Metal Deck	N	I	
9. Other:	N		

Wood Construction

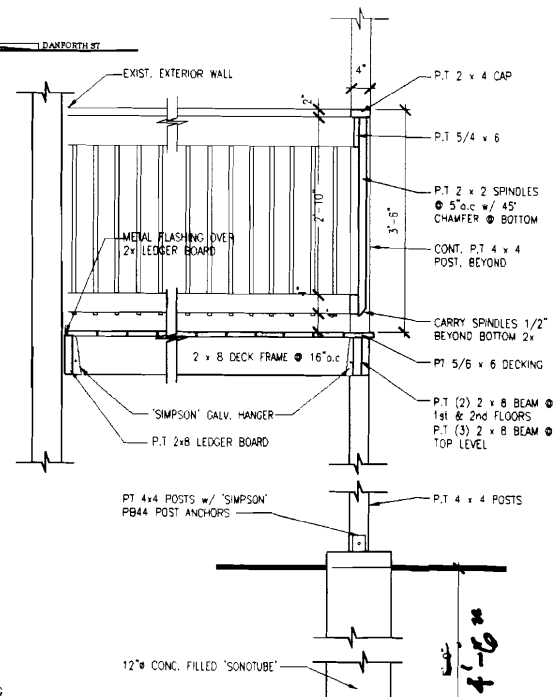
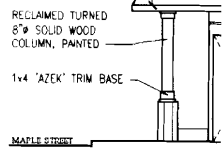
Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	N		
2. Material Grading	Y	I	<i>Verify material grading marks.</i>
3. Connections	Y	I	<i>Verify that connections and fastenings comply with Contract Documents</i>
4. Framing and Details	Y	I	<i>Verify conformance with Contract Documents</i>
5. Diaphragms and Shearwalls	N		
6. Prefabricated Wood Trusses	Y		<i>Verify that prefabricated wood trusses are installed and braced in accordance with Contract Documents and shop drawings.</i>



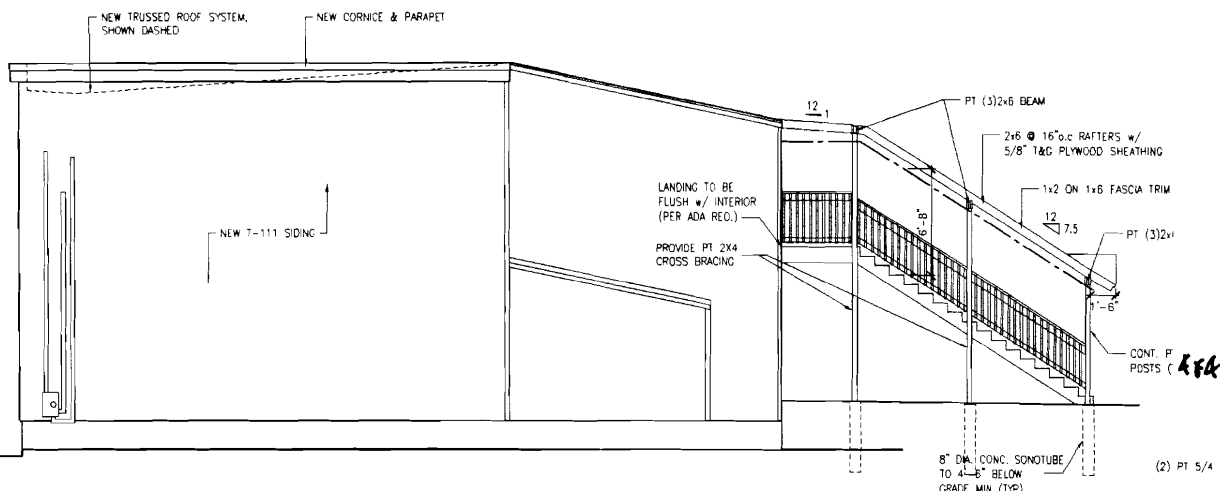
EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



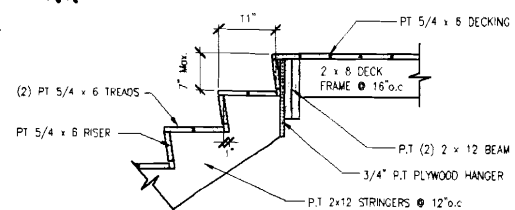
TYP. STAIR RAILING DETAIL
SCALE: 3/4" = 1'-0"



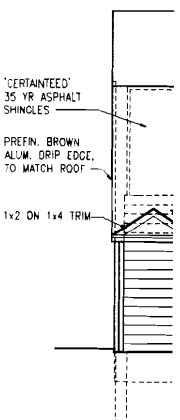
TYP. RAILING DETAIL
SCALE: 3/4" = 1'-0"

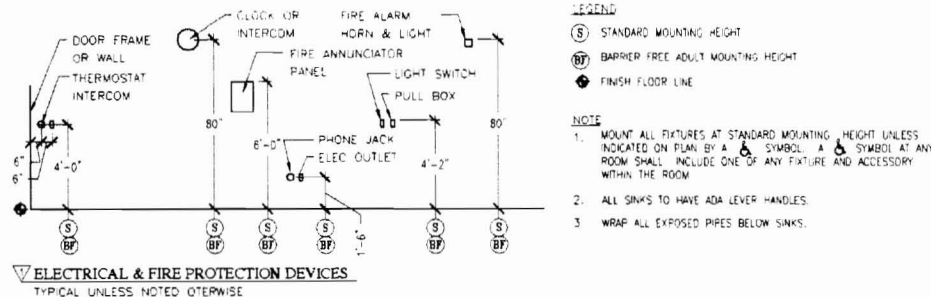
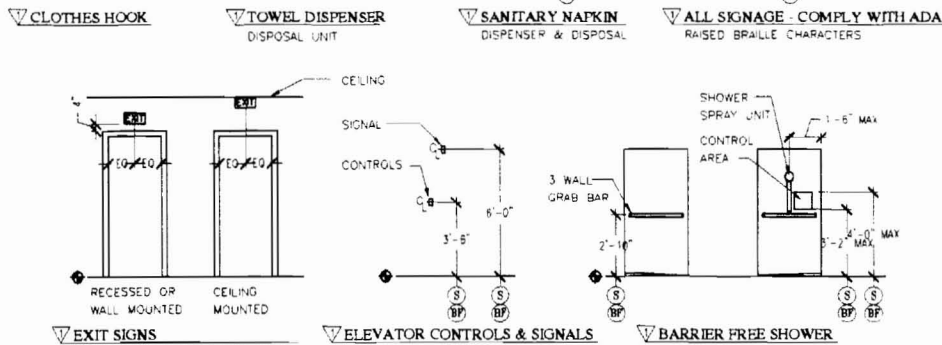
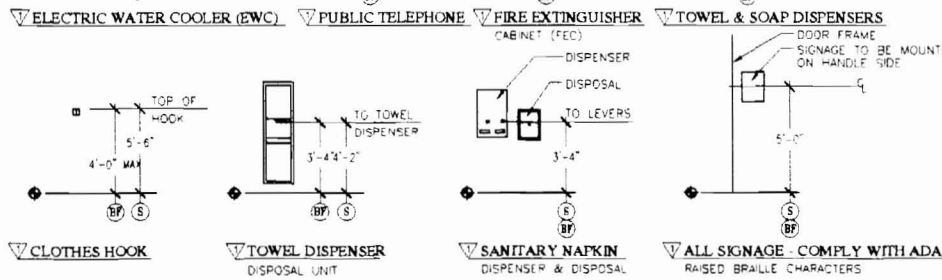
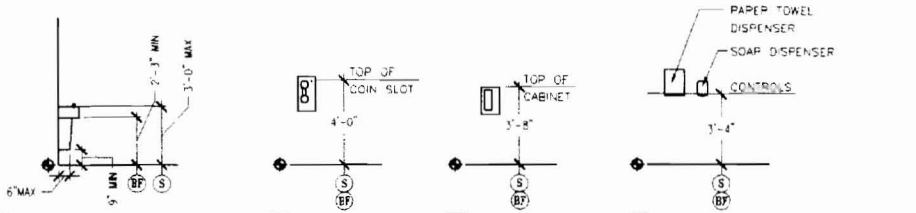
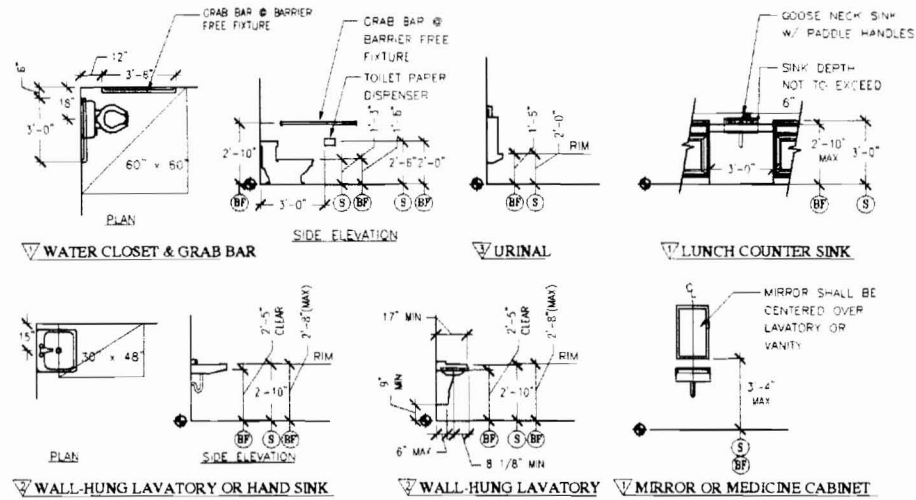


EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



TYP. STAIR NOSING DETAIL
SCALE: 3/4" = 1'-0"





TYP BARRIER FREE REQUIREMENTS

GENERAL NOTES:

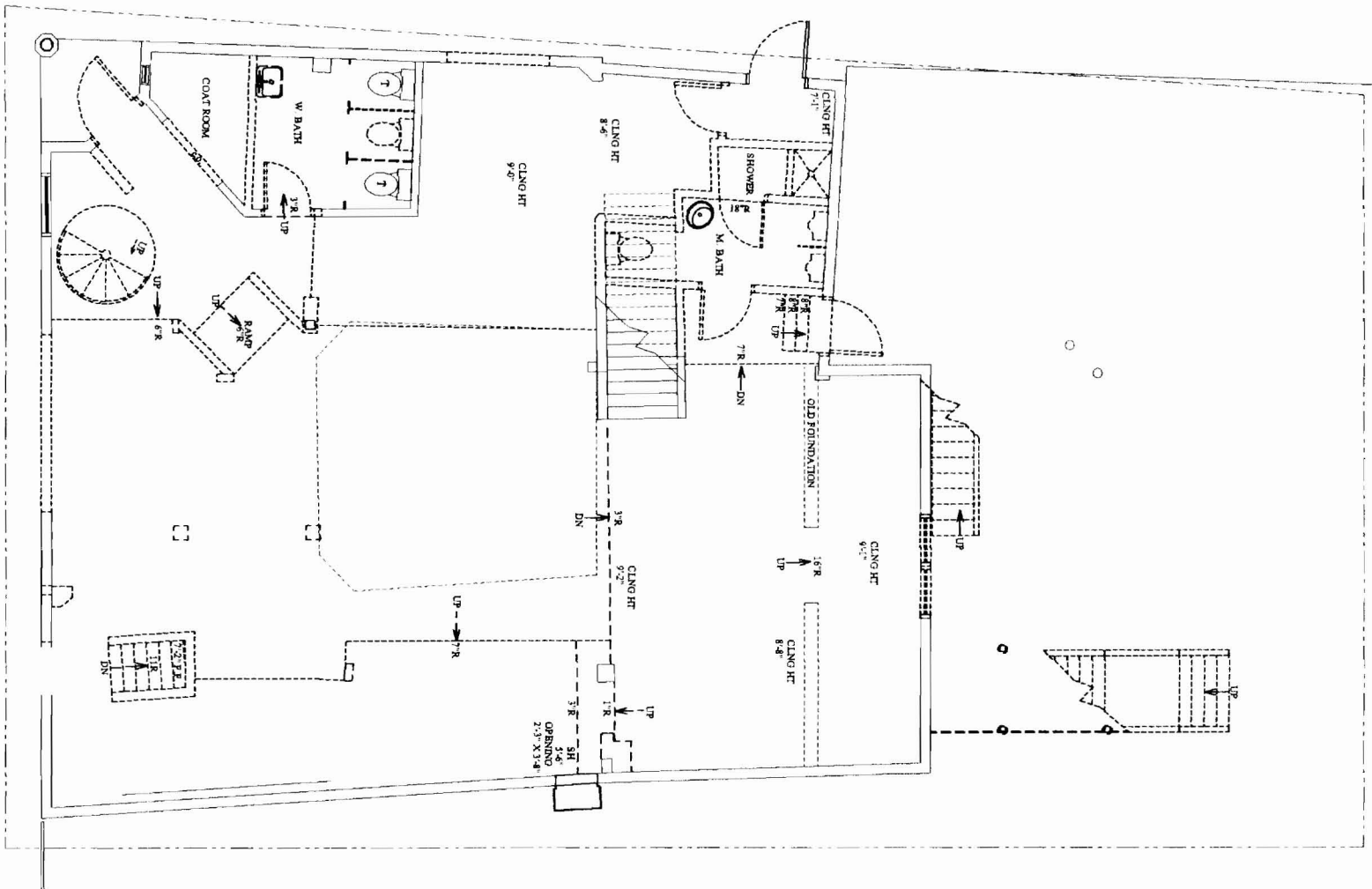
1. ALL MATERIALS, COMPONENTS AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. ALL WORK SHALL BE COMPLETED TO INDUSTRY STANDARDS IN A PROFESSIONAL WORKMAN LIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PER-MITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK. (STATE FIRE MARSHAL PERMIT BY OWNER.)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND/OR RECYCLE ANY NON-CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
9. ALL DOOR HARDWARE TO HAVE ADA LEVER HANDLES UNLESS OTHERWISE NOTED.
10. MAINTAIN A SAFE CLEAR PATH FREE FROM DUST AND DEBRIS BETWEEN OCCUPIED AREAS AND THE MEANS OF EGRESS. PROVIDE DUST PARTITIONS AS SPECIFIED OR IF NOT SPECIFIED, AS DIRECTED BY THE ARCHITECT TO PROVIDE THIS ACCESS. REVIEW LOCATION AND SEQUENCING OF DUST PARTITIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. EXISTING WALLS MAY BE SEALED TO UNDERSIDE OF SLAB ABOVE IN LIEU OF CONSTRUCTING NEW DUST PARTITIONS WHERE APPLICABLE.
11. FIELD VERIFY ALL FLOOR LEVEL HEIGHTS PRIOR TO THE START OF CONSTRUCTION. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
12. GUARANTEE ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. PROVIDE MEANS FURNISH AND INSTALL.
14. PROVIDE 1/4" DIA. PIPE GRAB HANDRAIL. GRIND SMOOTH ALL WELDS AND PAINT W/ RUST PROOF ALKYLID PRIMER AND 2 COATS ALKYLID PAINT.
15. THE ARCHITECT RESERVES THE RIGHT TO CONDUCT DISCOVERY/ DEMOLITION TO PROPERLY DETERMINE THE EXISTING MATERIALS/ SUBSTRATES/ FIRE RATINGS AND/ OR HAZARDOUS MATERIALS AND TO MODIFY THE DRAWINGS ACCORDINGLY TO MEET STATE AND LOCAL CODES.
16. REUSE EXIT SIGNS IF ILLUMINATED IF NOT PROVIDE NEW.
17. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THEIR CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE ASSURED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FOR ALL COSTS.
18. CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
19. ALL SIGNAGE TO CONFORM WITH ADA INCLUDING RAISED BRAILLE CHARACTERS IN ALL PUBLIC AREAS.

RENOVATION GENERAL NOTES:

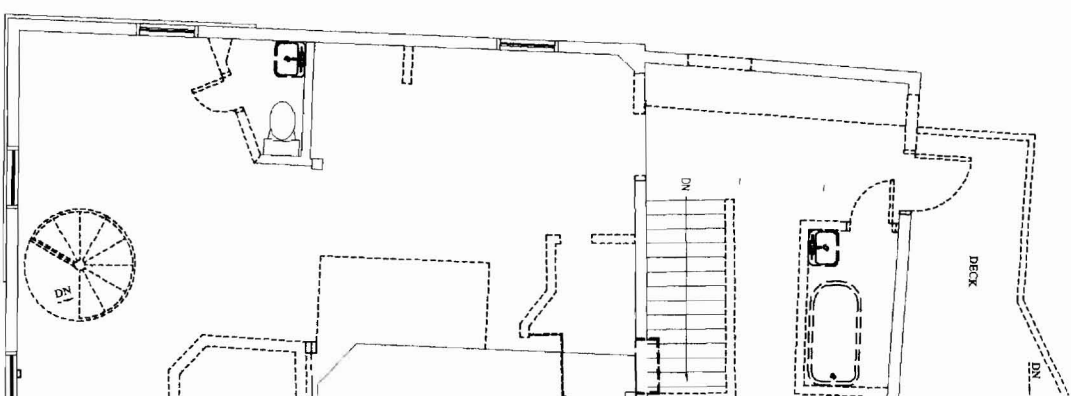
1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS. CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (W/ EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC.) TO MATCH EXISTING ADJACENT SURFACE. PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTINUOUS.
6. IF SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND/OR REMOVAL. ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY WITH THE TOWN OF ABBINGTON CONCURRENTLY WITH THIS PROJECT. THE CONTRACTOR SHALL CO-ORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. PROVIDE CODE COMPLIANT, PAINTABLE (WHERE EXPOSED), FIRE SEALANT AT ALL RATED WALL PERIMETERS AND WALL/ FLOOR PENETRATIONS.

ABBREVIATIONS:

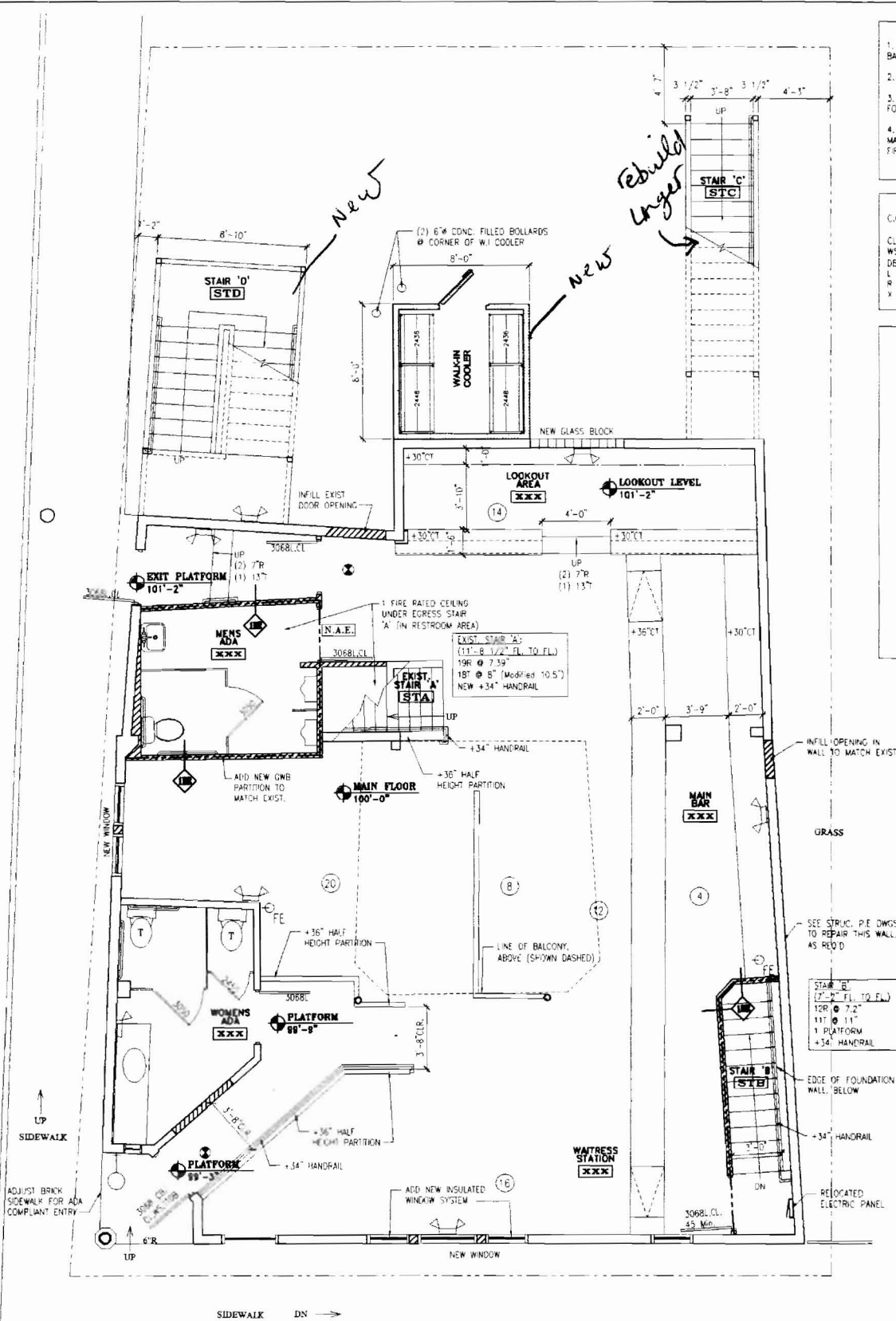
&	AND	HORIZ	HORIZONTAL
∅	ANGLE	HP	HOUPL
AT	AT	INSUL	INSULATION
BF	ABOVE FINISH FLOOR	LAM	LAMINATED
CL	CENTER LINE	MFG	MANUFACTURE
CAB	CABINET	MTL	METAL
CLO	CEILING	N	NORTH
CLR	CLEAR	NAT	NATURAL
CMU	CONC MASONRY UNIT	NC	NOT IN CONTRACT
CNT	COUNTER	# of NO	NUMBER
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	PERP	PERPENDICULAR
CONT	CONTINUOUS	PLAS	PLASTER
CP	CORNER	PT	PRESSURE TREATED
CPY	CARPET	PTD	PAINTED
DA	DIAMETER	R	RISER
DR	DOOR	RO	ROUGH OPENING
E	EAST	SAT	SUSPENDED ACOUSTICAL TILE
ELEC	ELECTRIC	SM	SIMILAR
ELEV	ELEVATION OR ELEVATOR	SS	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
E, EXIST, EXTC	EXISTING	STL	STEEL
FLR	FLOOR	TEL	TELEPHONE
GA	GAUGE	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VF	VERIFY IN FIELD
GWB / GYP BD	GYP/SUM BOARD	WD	WOOD
H	HIGH	WC	WATER COOLEF
HM	HOLLOW METAL	W/	WITH



DEMOLITION
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



MAPLE STREET



- NOTES:**
1. ALL EMERGENCY LIGHTS MUST BE POWERED BY BATTERY BACK-UP OR GENERATOR PER NFPA 101.
 2. HVAC PER NFPA 90A
 3. EMERGENCY LIGHTS TO AVERAGE 1 FOOTCANDLE AND 1 FOOTCANDLE MINIMUM.
 4. ALL FIRE WALL PENETRATIONS TO BE COMPLETELY SEALED TO MAINTAIN A 1 HR. RATING. - ALL DUCTWORK WHICH PENETRATES A FIRE WALL SHALL HAVE A 1 HR. DAMPER.

- ABBREVIATIONS:**
- C.O. = CASER OPENING w/ 1x3 FLAT CASING
 - CL = DOOR CLOSER
 - WS = WEATHER STRIPPING SYSTEM
 - DBIT = DEAD BOLT (THUMB TURN)
 - L = ADA LEVER
 - R = RELOCATED
 - X = EXISTING TO REMAIN

- FIRE PROTECTION LEGEND**
- FE FIRE EXTINGUISHER 10# ABC
 - EXIT LIGHT
 - STROBE ONLY WITH CANDELLA RATING AS NOTED
 - HORN STROBE WITH CANDELLA RATING AS NOTED
 - DUAL EMERGENCY LIGHT
 - SINGLE EMERGENCY LIGHT
 - SMOKE DETECTOR (CEILING)
 - HEAT DETECTOR (CEILING)
 - COMBINATION LIGHT/EXHAUST FAN
 - FIRE ALARM MASTER CONTROL PANEL
 - PULL STATION
 - EXTERIOR EGRESS LIGHT
 - N.A.E. NOT AN EXIT SIGN W/ RAISED BRILLE
 - V.A.P. VAN ACCESSIBLE

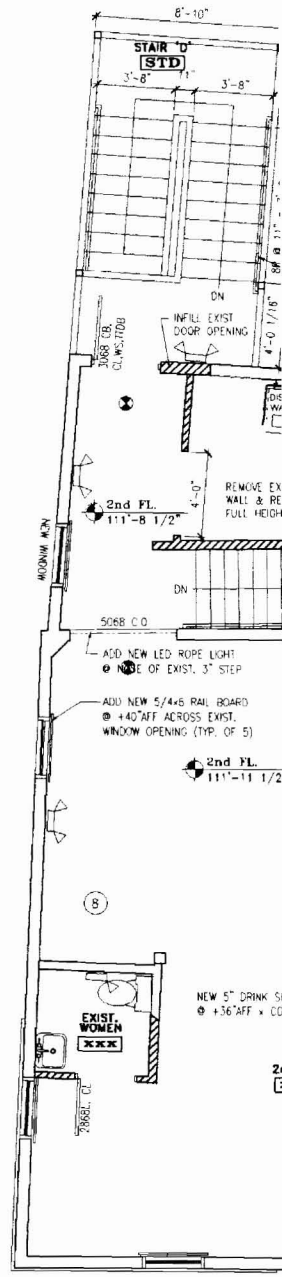
TOTAL OCCUPANCY

FIRST FLOOR	70
SECOND FLOOR	57
STAFF	10
TOTAL	137

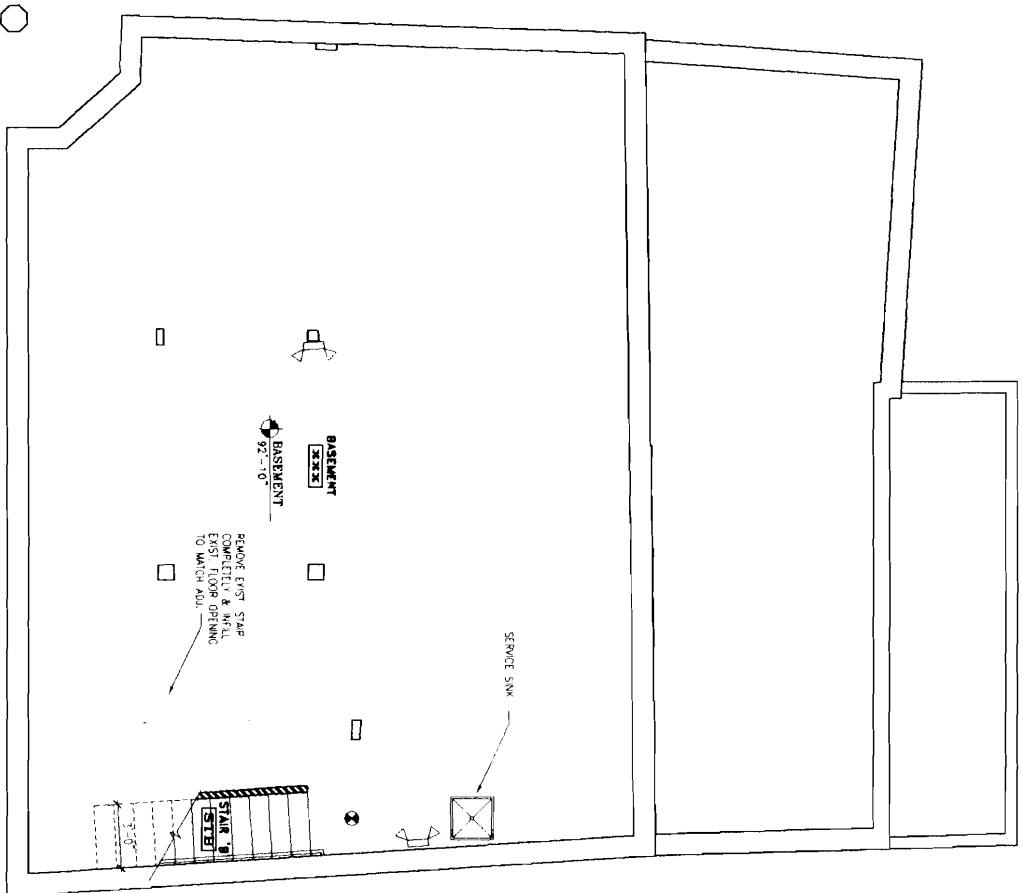
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 1,775 SF

- NOTE:**
1. ALL EXISTING DIMENSIONS ARE TO WALL FINISH & SUBJECT TO FIELD VERIFICATION.
 2. ALL NEW DIMENSIONS ARE TO FACE OF STUD.
 3. X DENOTES EXISTING TO REMAIN.

45 DANFORTH STREET

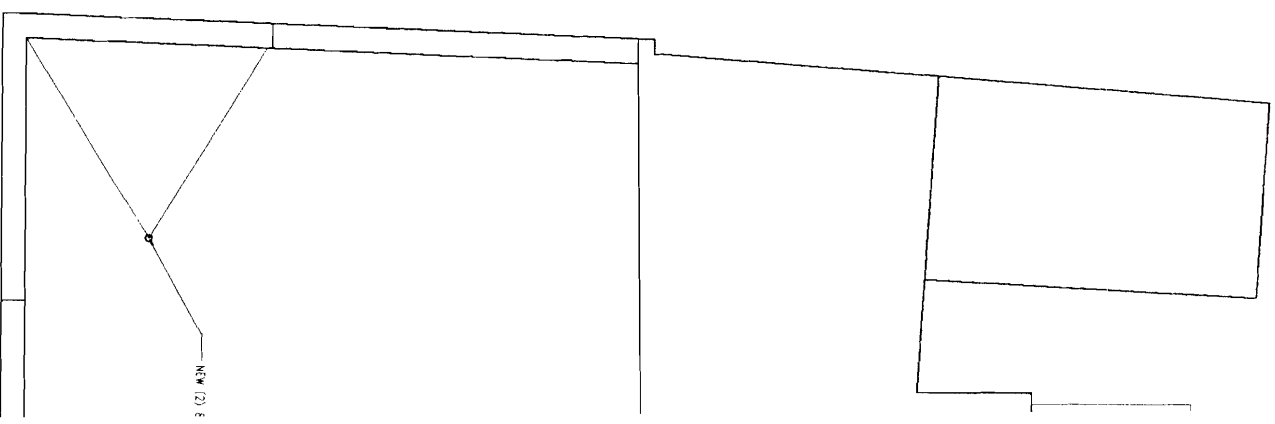


- NOTE:**
1. ALL EXISTING DIMENSIONS ARE TO WALL FINISH & SUBJECT TO FIELD VERIFICATION.
 2. ALL NEW DIMENSIONS ARE TO FACE OF STUD.
 3. X DENOTES EXISTING TO REMAIN.



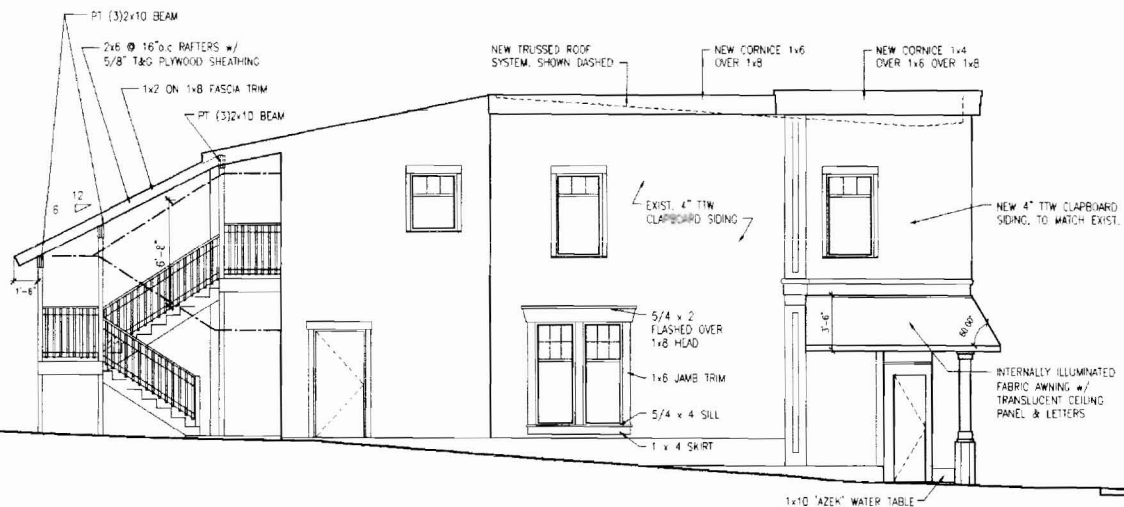
BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 1. ALL EXISTING DIMENSIONS ARE TO WALL FINISH & SUBJECT TO FIELD VERIFICATION.
 2. ALL NEW DIMENSIONS ARE TO FACE OF STUD.
 3. X DENOTES EXISTING TO REMAIN.

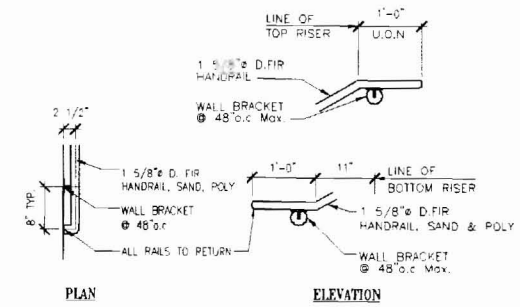


ROOM
 SCALE

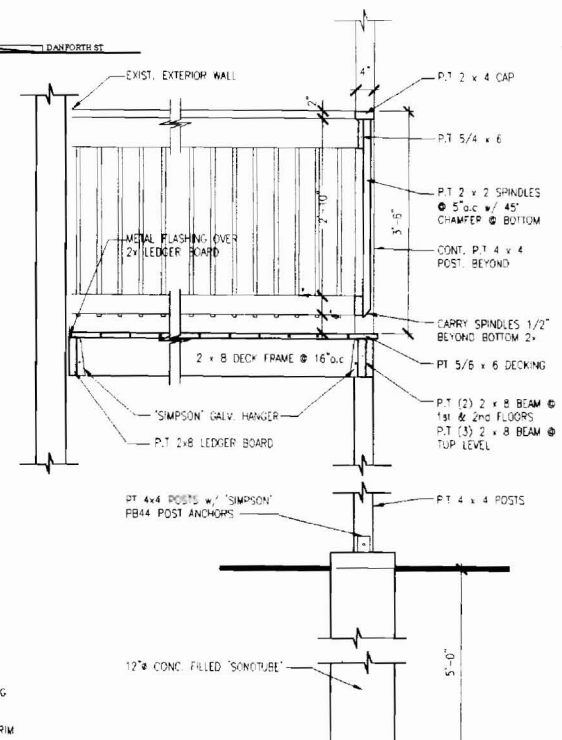
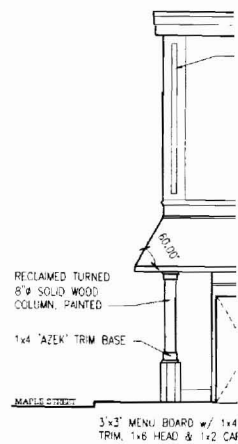
NOTE:
 1. ALL EXISTING DIMENSIONS ARE TO WALL FINISH & SUBJECT TO FIELD VERIFICATION.
 2. ALL NEW DIMENSIONS ARE TO FACE OF STUD.
 3. X DENOTES EXISTING TO REMAIN.



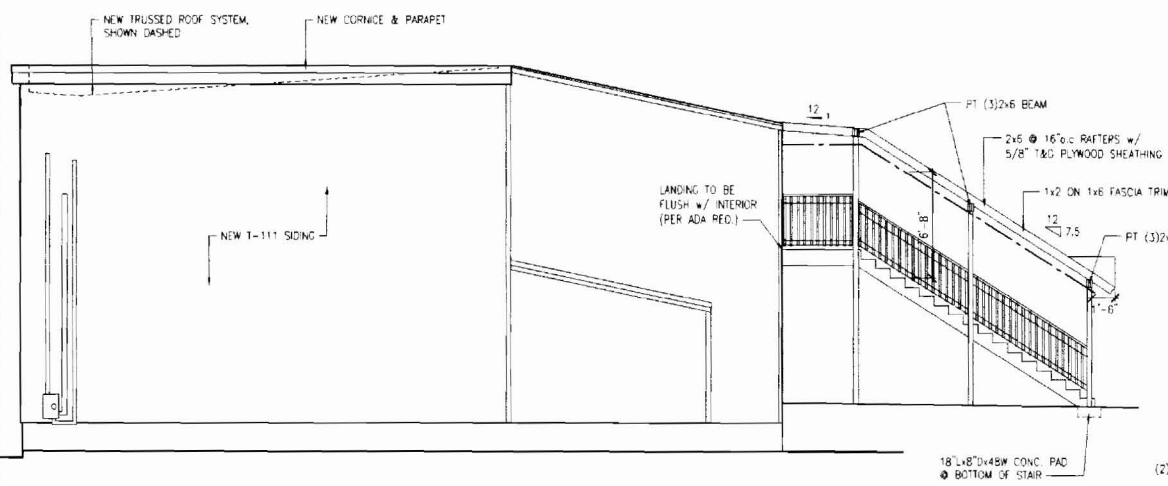
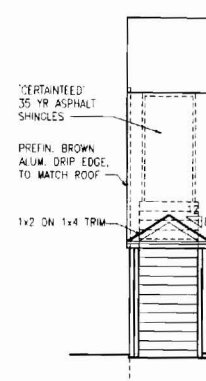
EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



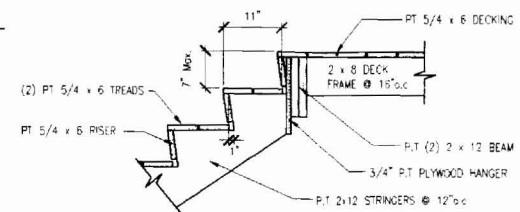
TYP. STAIR RAILING DETAIL
SCALE: 3/4" = 1'-0"



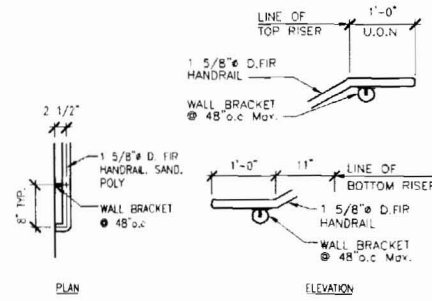
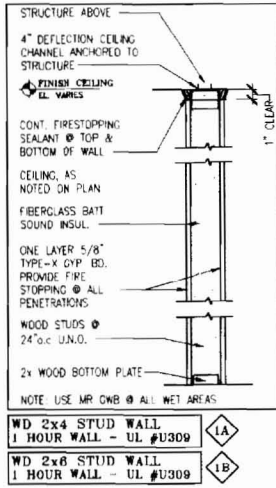
TYP. RAILING DETAIL
SCALE: 3/4" = 1'-0"



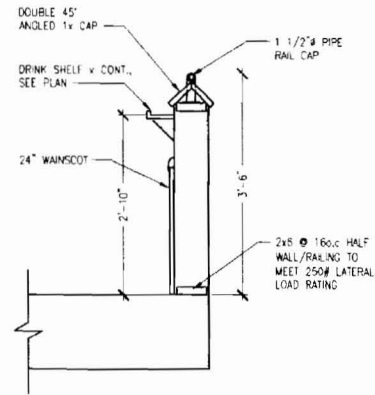
EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



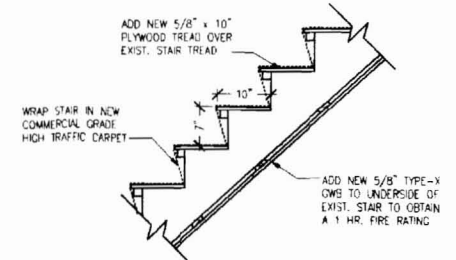
TYP. STAIR NOSING DETAIL
SCALE: 3/4" = 1'-0"



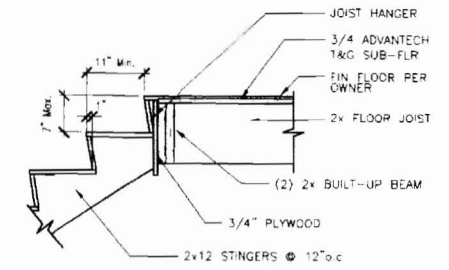
TYP. STAIR RAILING DETAIL
SCALE: 3/4" = 1'-0"



1 HALF WALL DETAIL
SCALE: 3/4" = 1'-0"

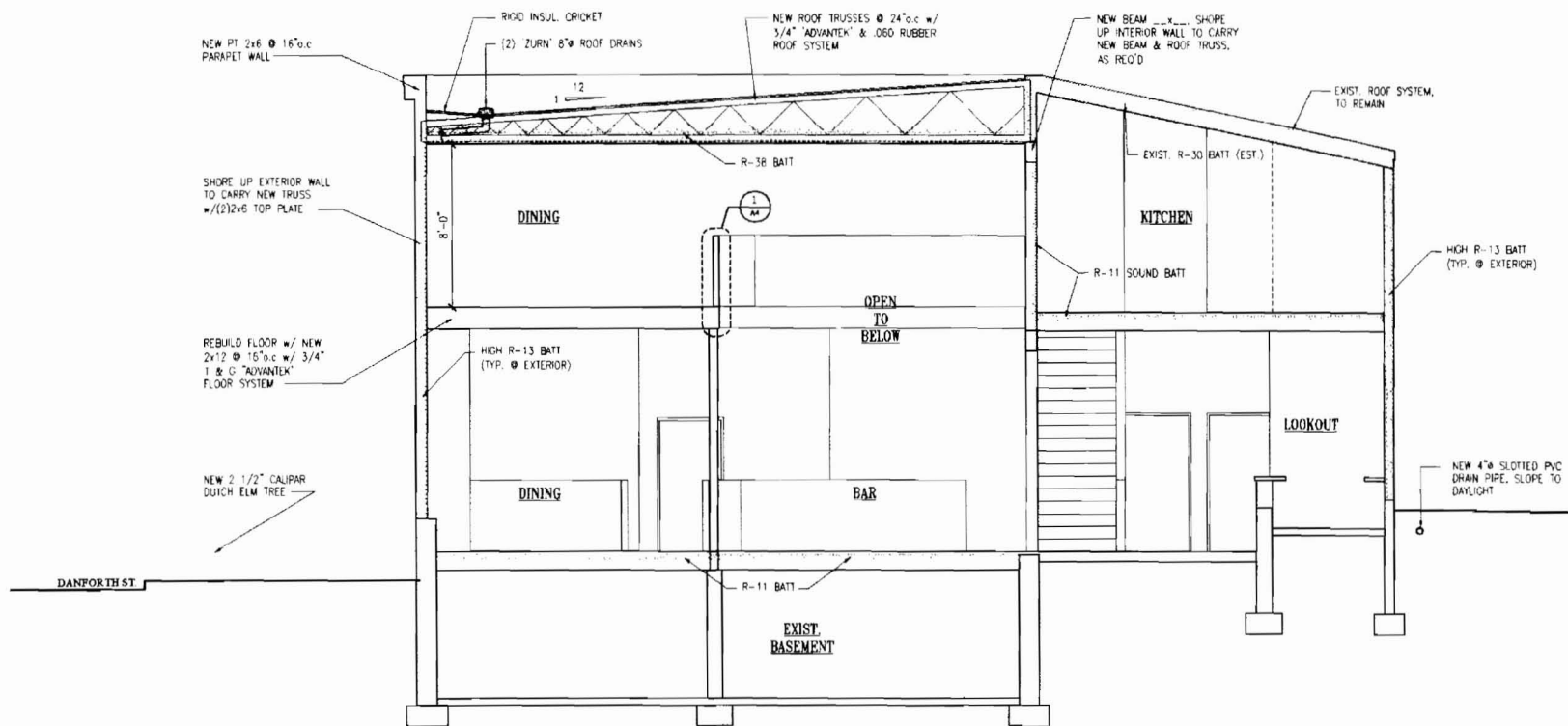


2 DETAIL @ STAIR 'A'
SCALE: 3/4" = 1'-0"

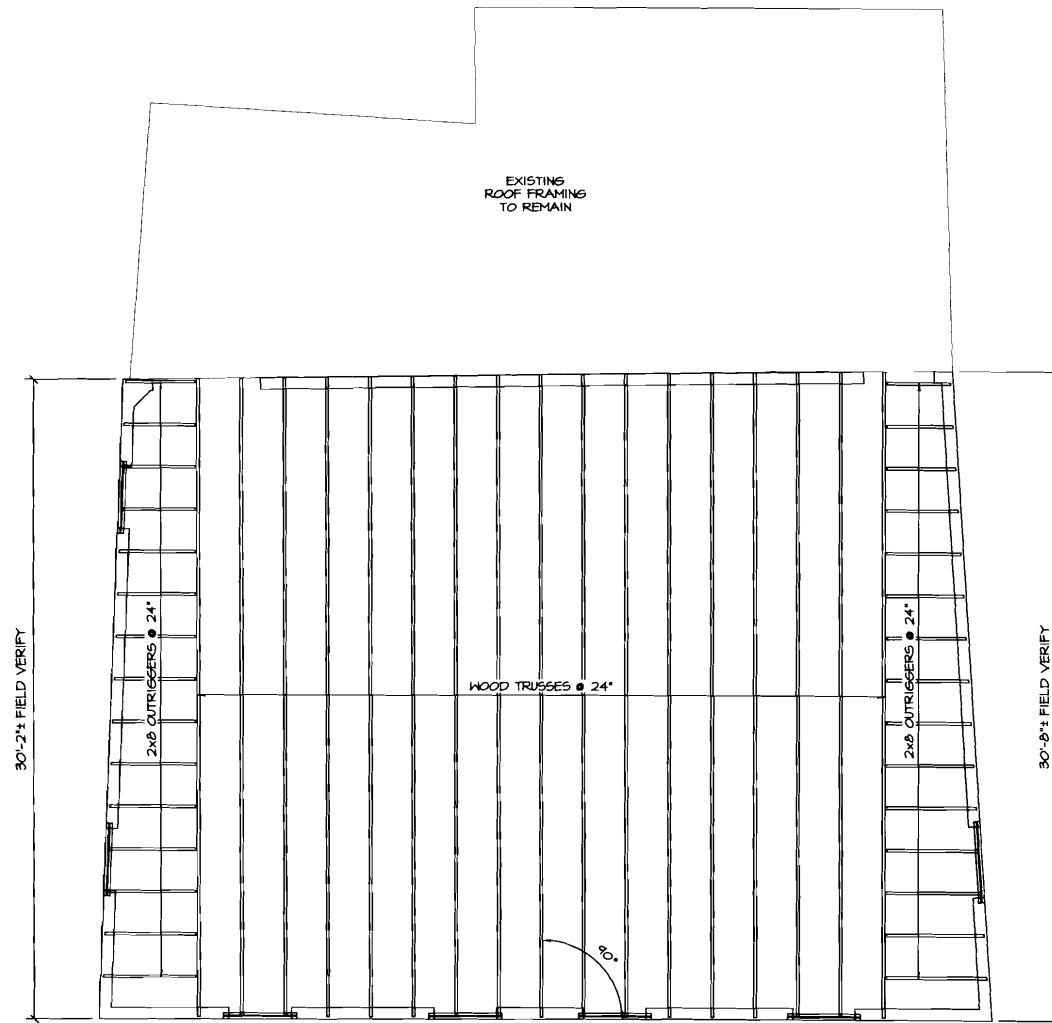


NOTE: EXTERIOR STAIRS TO BE CONSTRUCTED w/ P.T. MATERIAL.

TYP. STAIR NOSING DETAIL
SCALE: 3/4" = 1'-0"

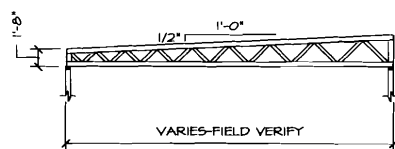


A SECTION @ NEW ROOF
AX SCALE: 1/4" = 1'-0"



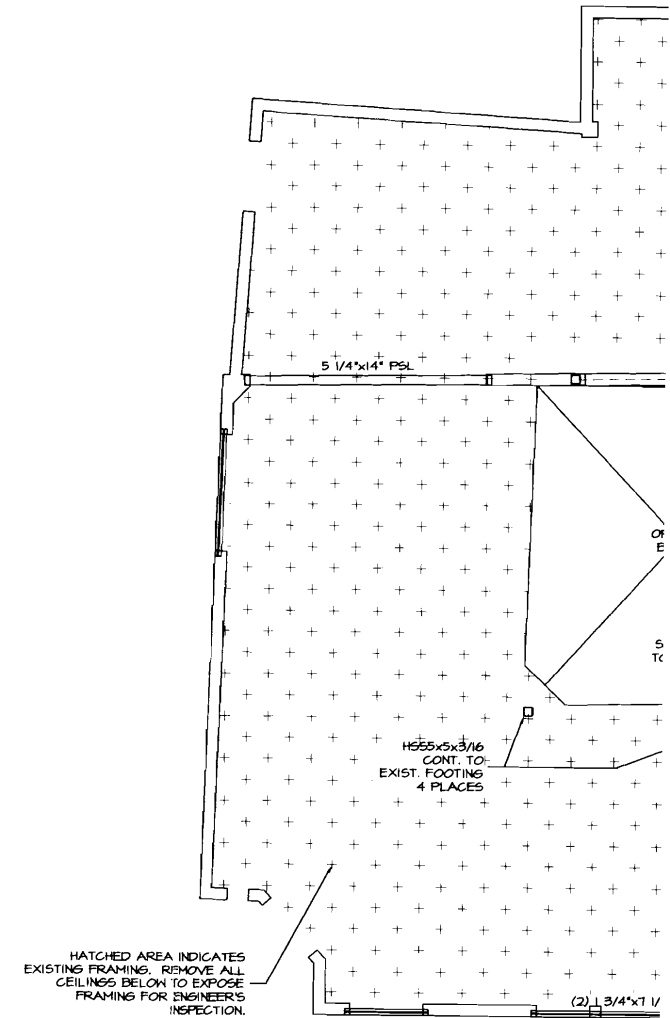
ROOF FRAMING PLAN
1/4"=1'-0"

ROOF SHEATHING IS 3/4" ADVANTECH.
ALL HEADERS ARE (2)2x8 UNLESS NOTED.



ROOF TRUSS ELEVATION
1/8"=1'-0"

LOADING CRITERIA:
TOP CHORD
DEAD LOAD = 15 PSF
SNOW LOAD = 46 PSF
BOTTOM CHORD
DEAD LOAD = 10 PSF



2ND FLOOR FRAMING PL
1/4"=1'-0"

FLOOR SHEATHING IS 3/4" ADVA
ALL HEADERS ARE (2)2x8 UNLES

GENERAL NOTES

ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE CONTRACTOR SHALL NECESSARY DIMENSIONS, ELEVATIONS AND CONDITIONS REQUIRED FOR THE FABRICATION OF THE BUILDING'S COMPONENTS PRIOR TO THE SUBMISSION OF SHOP DRAWINGS SHALL ACCURATELY REFLECT THE GENERAL CONTRACTOR'S VERIFICATION CONDITIONS.

SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS PREPARED BY THE GENERAL CONTRACTOR. REPRODUCTION OF ANY STRUCTURAL DRAWING FOR USE AS A NOT ACCEPTABLE.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORINGS, SHEET PILING, BRACING, GUYS AND/OR TIEDOWNS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR SAFETY AND HEALTH ACT.