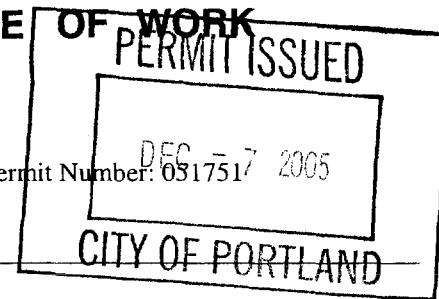


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT



Please Read
Application And
Notes, If Any,
Attached

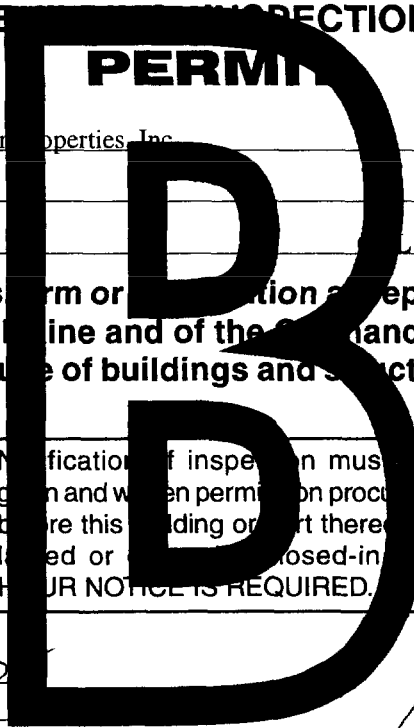
This is to certify that TREEHOUSE LLC /Cooper Properties, Inc

has permission to repair floor joists

AT 45 DANFORTH ST

040 B032001

provided that the person or persons in firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or proposed-in-4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Cass 12-6-05

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Ally C. [Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1751	Issue Date: DEC - 7 2005	CBL: 040 B032001
-----------------------	-----------------------------	---------------------

Location of Construction: 45 DANFORTH ST	Owner Name: TREEHOUSE LLC	Owner Address: 70 CENTER ST 3RD FLOOR	Phone:
Business Name:	Contractor Name: Cooper Properties, Inc.	Contractor Address: P.O. Box 491 Portland	Phone: 505 505 010
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past use: Commercial restaurant & bar	Proposed USE: Commercial - Banquet/meeting facilities/ club - to repair floor joists	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 1
Proposed Project Description: repair floor joists		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied to NFPA 101	INSPECTION: Use Group: REPAIR ONLY SB NO INTERIOR USE 12/6/05 Signature: [Signature]	
		Signature: Greg Cass	Signature: [Signature]	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: ldobson	Date Applied For: 12/02/2005	Zoning Approval		
------------------------------------	--	------------------------	--	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not <u>started</u> within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: [Signature] 12/6/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
---	---	---	--

CERTIFICATION

I hereby certify that I **am** the owner of record of the **named** property, or that the proposed work is **authorized by** the owner of record and that I have been authorized **by** the owner to **make** this application as **his** authorized agent **and** I agree to conform **to all** applicable **laws of** this jurisdiction. In addition, if a permit for **work** described in the application is issued, I **certify** that the **code official's** authorized representative shall have the authority to enter all areas covered **by** such permit **at** any reasonable hour to enforce **the** provision of the **code(s)** applicable **to** such **permit**.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/17/06

Completed.

A. Rowe

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1751	Date Applied For: 12/02/2005	CBL: 040 B032001
------------------------------	--	----------------------------

Location of Construction: 45 DANFORTH ST	Owner Name: TREEHOUSE LLC	Owner Address: 70 CENTER ST 3RD FLOOR	Phone:
Business Name:	Contractor Name: Cooper Properties, Inc.	Contractor Address: P.O. Box 491 Portland	Phone (207) 450-5010
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Banquet/meeting facilities/ club - to repair floor joists	Proposed Project Description: repair floor joists
--	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/06/2005

Note: **Ok to Issue:**

- 1) Separate permits are required for any other structural or tenet fit up activities.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:** 12/06/2005

Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 12/06/2005

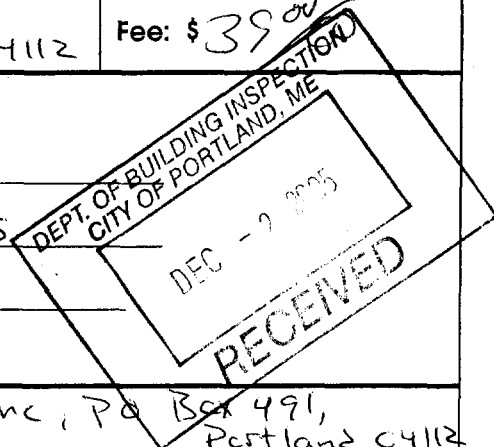
Note: **Ok to Issue:**

- 1) Work requires entire building to comply with NFPA 101

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>45 Danforth ST</u>		
Total Square Footage of Proposed Structure <u>Approx 3200 sq</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>40</u> Block# <u>B</u> Lot# <u>32</u>	Owner: <u>Treehouse, LLC</u>	Telephone: <u>207-450-5010</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>207-450-5010</u> <u>Treehouse, LLC</u> <u>PO Box 491</u> <u>Portland, ME 04112</u>	Cost Of Work: <u>\$ 2,000</u> Fee: <u>\$ 39⁰⁰</u>
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>Club</u>		
Approximately how long has it been vacant: <u>9 months</u>		
Proposed use: <u>Repair Floor Joist</u>		
Project description:		
Contractor's name, address & telephone: <u>Cooper Properties, Inc, PO Box 491,</u> <u>207-450-5010</u> <u>Portland 04112</u>		
Who should we contact when the permit is ready: <u>Joseph Cooper Same as Above</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-450-5010		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>12/3/05</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- ~~Framing/Rough Plumbing/Electrical~~: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

12/12/05
Date
12 Dec 05

Signature of Inspections Official

Date

CEL: 0403032 Building Permit #: 051751

Location of Construction: 45 Danforth St		Owner: Mary Ann Brown		Phone: 767-5449	
Owner Address: 45 Danforth St- Ptld ME 04101		Lessee/Buyer's Name:		Phone:	
Contractor Name: owner		Address:		Phone:	
Past Use: bar		Proposed Use: bar & 1 dwlg unit & intr renvtns		COST OF WORK: \$ 1400	
				PERMIT FEE: \$ 25	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	
				INSPECTION: Use Group: Type:	
Proposed Project Description: Change of Use - w interior renovations		Signature: <i>[Signature]</i>		Signature:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: Approved <input type="checkbox"/>			
		Approved with Conditions: <input type="checkbox"/>			
		Denied <input type="checkbox"/>			
		Signature:		Date:	

Permit No: 970372

PERMIT ISSUED

Permit Issued:
APR 29 1997

CITY OF PORTLAND

Zone: *B-3* CBL: 040-B-032

Zoning Approval:
use ok - No PA req'd

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

ok 9/125/97

Permit Taken By: *L Chase* Date Applied For: 4/23/97

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
 - Building permits do not include plumbing, septic or electrical work.
 - Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..
- interior only
any exterior work will
require separate review*

**PERMIT ISSUED
WITH REQUIREMENTS**

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 4/29/97

K. Salbotas
D. Andrews

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

[Signature]

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT 2

A. Row

From: Penny Littell
To: Marge Schmuckal
Date: 12/2/2005 9:59:49 AM
Subject: Setback Measurements

Marge: take a look at the attached and let me know what you think.



22 Oakmont Drive
Old Orchard Beach, ME 04064-4121
Phone: (207)934-8038
Fax: (207)934-8039

FIELD NOTES

JOB NAME: **45 Danforth Street**
JOB NO.: **05013**
DATE OF VISIT: **May 10, 2005**
CLIENT: **Cooper Properties**
OBSERVERS: **David Tetreault, SDC**

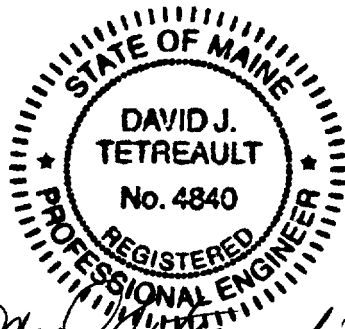
The direction of first floor framing reinforcing was revised at the request of the Contractor. The existing floor joists were found to be too severely deteriorated and were removed. . Rotating the framing 90" was found to be structurally acceptable and was preferable due to support conditions.

The footing and new 5'A" x 5'A" post were properly installed.

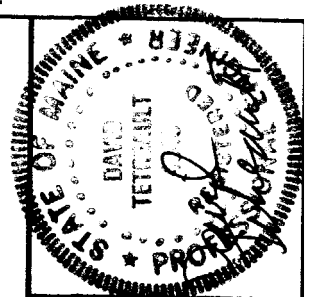
Floorjoists were installed and all joist hangers were properly fastened.

Ledger joists were installed and properly anchored.

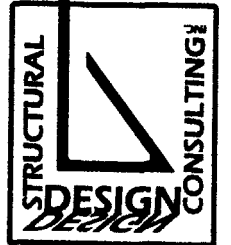
All work was found to be acceptable.



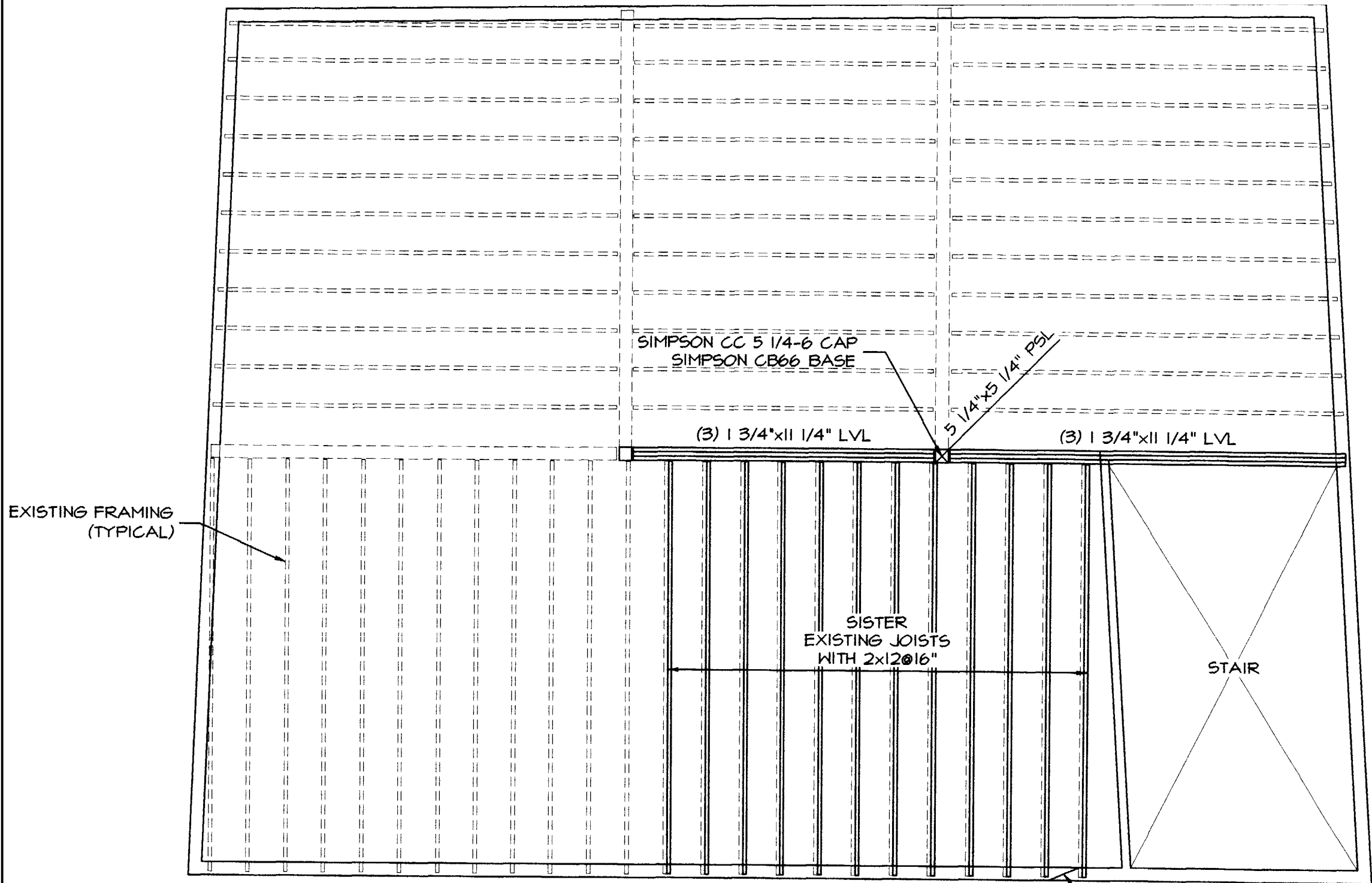
SIGNATURE: *David J. Tetreault*



SSK-1



WHITE DOG
45 DANFORTH STREET
PORTLAND, ME



EXISTING FRAMING
(TYPICAL)

SIMPSON CC 5 1/4-6 CAP
SIMPSON CB66 BASE

(3) 1 3/4"x11 1/4" LVL

5 1/4"x5 1/4" PSL

(3) 1 3/4"x11 1/4" LVL

SISTER
EXISTING JOISTS
WITH 2x12 @ 16"

STAIR

1ST FLOOR FRAMING REPAIR PLAN
1/4"=1'-0"

REPLACE SILL WITH
(2) PRESSURE TREATED 2x6
ANCHOR TO EXISTING FOUNDATION
WITH 3/4" THREADED RODS IN
6" DEEP HOLES FILLED WITH
EPOXY SPACED AT 4'-0"

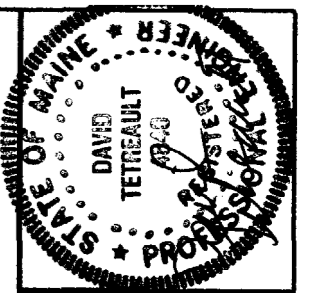
GENERAL NOTES:

BUILDING CODE IBC/2003
LIVE LOAD 100 PSF
DEAD LOAD 25 PSF

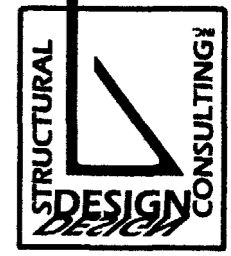
FOUNDATION NOTES:

NEW COLUMN FOOTING
2'-6"x2'-6"x1'-0"
(4) #5 BOTTOM BOTH WAYS
f'c = 400 PSI @ 28 DAYS

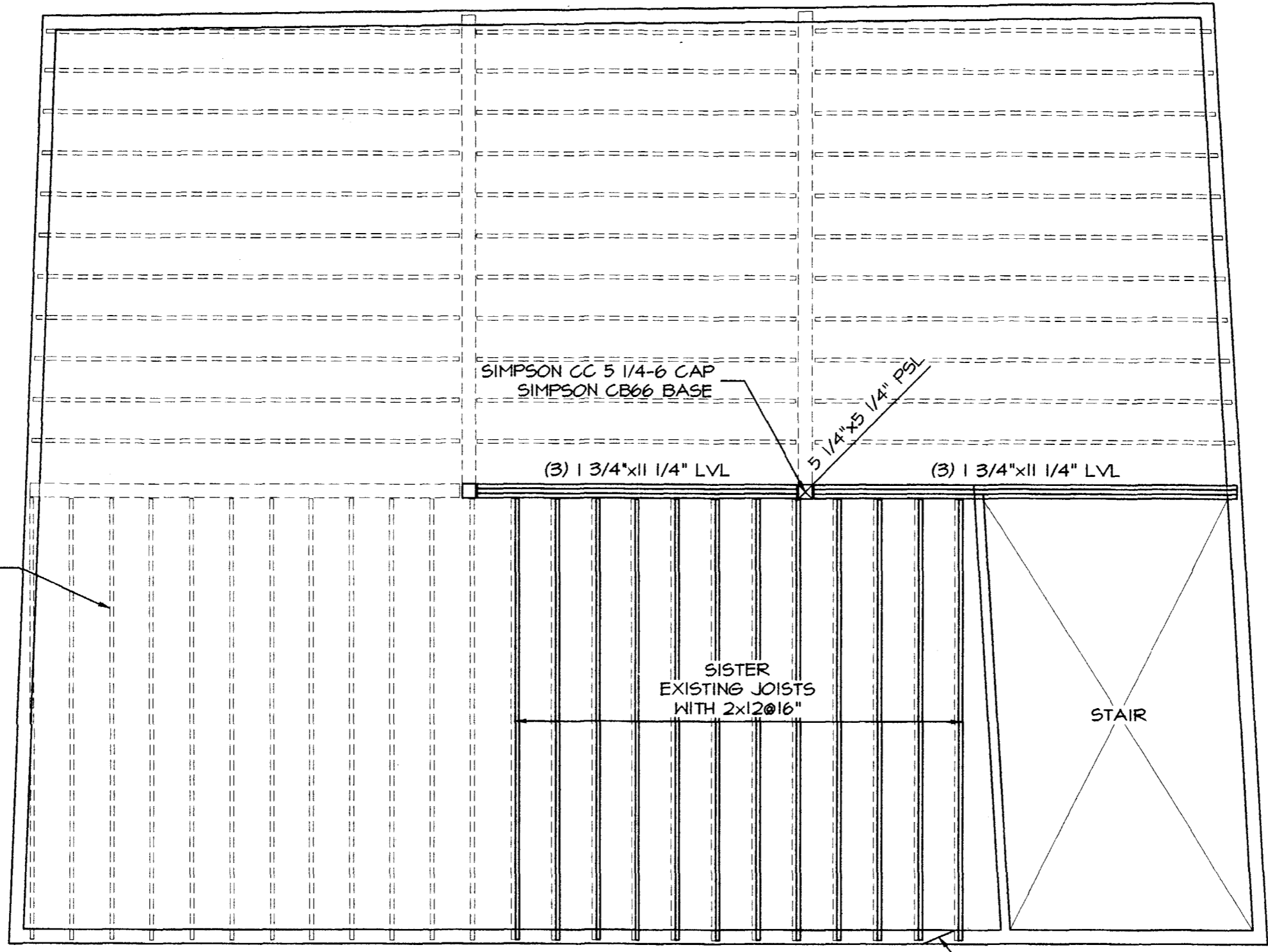
revision number	
date	11/30/06



SSK-1



WHITE DOG
45 DANFORTH STREET
PORTLAND, ME



EXISTING FRAMING
(TYPICAL)

SIMPSON CC 5 1/4-6 CAP
SIMPSON CB66 BASE

(3) 3/4"x11 1/4" LVL

5 1/4"x5 1/4" PSL

(3) 3/4"x11 1/4" LVL

SISTER
EXISTING JOISTS
WITH 2x12@16"

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1ST FLOOR FRAMING REPAIR PLAN
1/4"=1'-0"

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ANCHOR TO EXISTING FOUNDATION
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6" DEEP HOLES FILLED WITH
EPOXY SPACED AT 4'-0"

GENERAL NOTES:

BUILDING CODE IBC/2003
LIVE LOAD 100 PSF
DEAD LOAD 25 PSF

FOUNDATION NOTES:

NEW COLUMN FOOTING
2'-6"x2'-6"x1'-0"
(4) #5 BOTTOM BOTH WAYS
f'c = 400 PSI @ 28 DAYS

revision
number

date
11/30/06



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ____ Plumbing (I5) ____ Electrical (I2) ____ Site Plan (U2) ____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy