

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 101206

PERMIT ISSUED

This is to certify that Joseph How House, LLC (Ben)/TBDhas permission to Addition of a 3rd floor exterior deckAT 30 PLEASANT ST
 CP 040 B009001 OCT 29 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is laid-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. N. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

 [Signature] 10/28/10
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1206	Issue Date:	CBL: 040 B009001
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Location of Construction: 30 PLEASANT ST	Owner Name: Joseph How House, LLC (Ben Ray)	Owner Address: 30 Pleasant Street	Phone: 8076949
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial	Zone: B-3

Fast Use: Mixed use - first floor offices & one residential unit on 2nd floor & one residential unit on third floor (Connected w/ permit# 100965 & #10-0983)	Proposed Use: Mixed use - Addition of a 3rd floor exterior roof deck	Permit Fee: \$120.00	Cost of Work: \$10,000.00	CEO District: 1
Proposed Project Description: Addition of a 3rd floor exterior roof deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION Use Group: B/R-3 Type: 3B IBL-2003 Signature: JMB 10/28/10	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 09/29/2010	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>OK w/ conditions Date: 9/30/10 JMB</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: 10/4/10 D. Andrews</p>
	<p style="text-align: center;">PERMIT ISSUED</p> <p style="text-align: center;">OCT 29 2010</p> <p style="text-align: center;">City of Portland</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1206	Date Applied For: 09/29/2010	CBI: 040 B009001
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Location of Construction: 30 PLEASANT ST	Owner Name: Joseph How House, LLC (Ben Ray)	Owner Address: 30 Pleasant Street	Phone: () 807-6949
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Mixed use - Addition of a 3rd floor exterior roof deck	Proposed Project Description: Addition of a 3rd floor exterior roof deck
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Dept: Historic Note:	Status: Approved with Conditions	Reviewer: Deborah Andrews	Approval Date: 10/04/2010	Ok to Issue: <input checked="" type="checkbox"/>
1) * Approved with understanding that a matching roof deck will be constructed at 32 Pleasant Street, maintaining symmetrical treatment at rear.				
Dept: Zoning Note: Being built on existing footprint.	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 09/30/2010	Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain as offices on the first floor with two residential condominiums above (one on second floor and one on third floor) with the issuance of permit #10-0983 and subsequent issuances of a certificates of occupancy. Any change of use shall require a separate permit application for review and approval.				
2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.				
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting the work.				
Dept: Building Note:	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date:	Ok to Issue: <input type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.				
Dept: Fire Note:	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 10/06/2010	Ok to Issue: <input checked="" type="checkbox"/>
1) All construction shall comply with City Code Chapter 10.				
2) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.				

Comments: 10/4/2010-eg: received from historic as of 10-04-10. /gg 10/28/2010-jmb: Spoke with Matt P. @ MM, I questioned the 36" guards on the deck. After speaking with the ICC it can be 36" as there are only 2 dwelling units in this mixed use building. Ok to issue

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

Framing inspection prior to close in of deck

Final inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

9 25 20 10

Presented from Muller Architects

80 Stevens St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 190

Building (1) _____ Plumbing (15) _____ Electrical (22) _____ Site Plan (12) _____

Other _____

CEL: 40-B-9

Check #: 2417 Total Collected \$: 190

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by: Feb

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 30 PLEASANT STREET - ROOF DECK			
Total Square Footage of Proposed Structure 286 SQ. FT.		Square Footage of Lot N/A	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 040 B009 001	Owner: JOSEPH HOW HOUSE LLC 30 PLEASANT STREET PORTLAND, MAINE 04101	Telephone: 207.807.6949	
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL ST. - SUITE 205 PORTLAND, ME 04101 P: 207.774.9057 - F: 207.773.3851		Cost Of Work: \$ <u>10,000.00</u> Fee: \$ <u>120.00</u> C of O Fee: \$ <u>N/A</u>
Current Specific use: <u>RESIDENTIAL ROOF DECK</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>RESIDENTIAL ROOF DECK</u> Project description: ADDITION OF A 3RD FLOOR EXTERIOR ROOF DECK. REFERENCE BUILDING PERMIT #100965 (ADDMENDMENT TO REFERENCE PERMIT)			
Contractor's name, address & telephone: TBD			
Who should we contact when the permit is ready: <u>HEN RAY</u> Mailing address: HEN RAY Phone: <u>207.807.6949</u> 30 PLEASANT STREET PORTLAND, MAINE 04101			

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

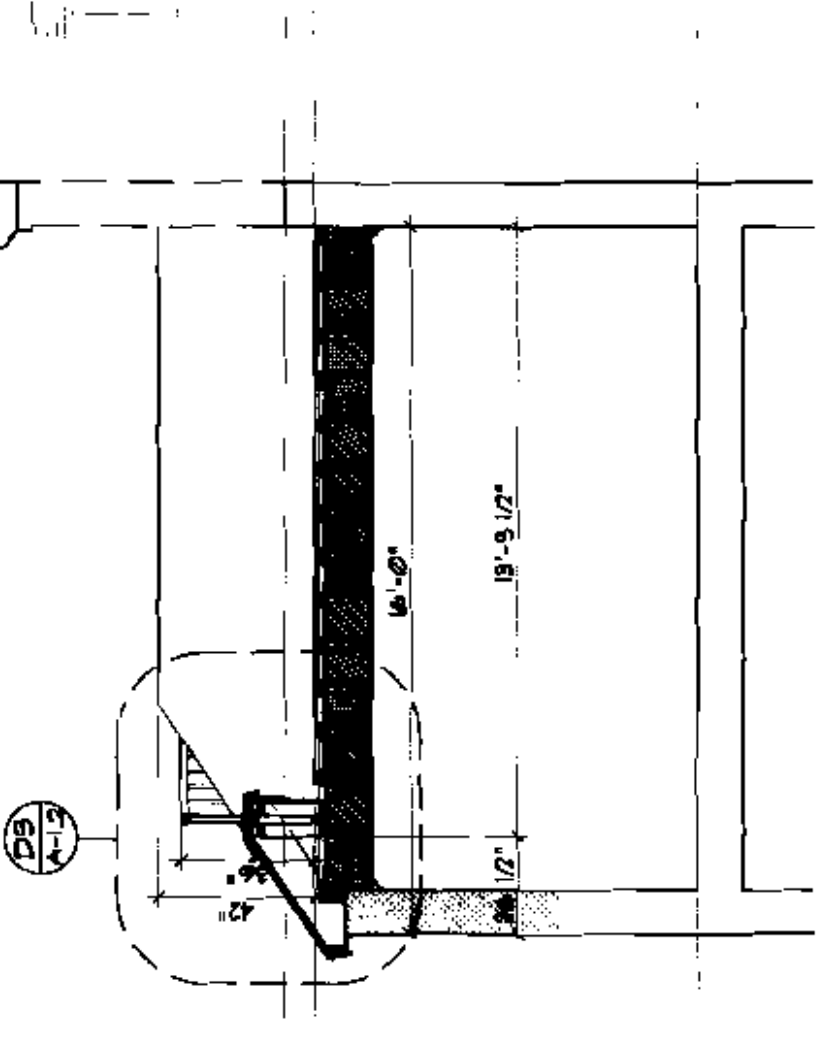
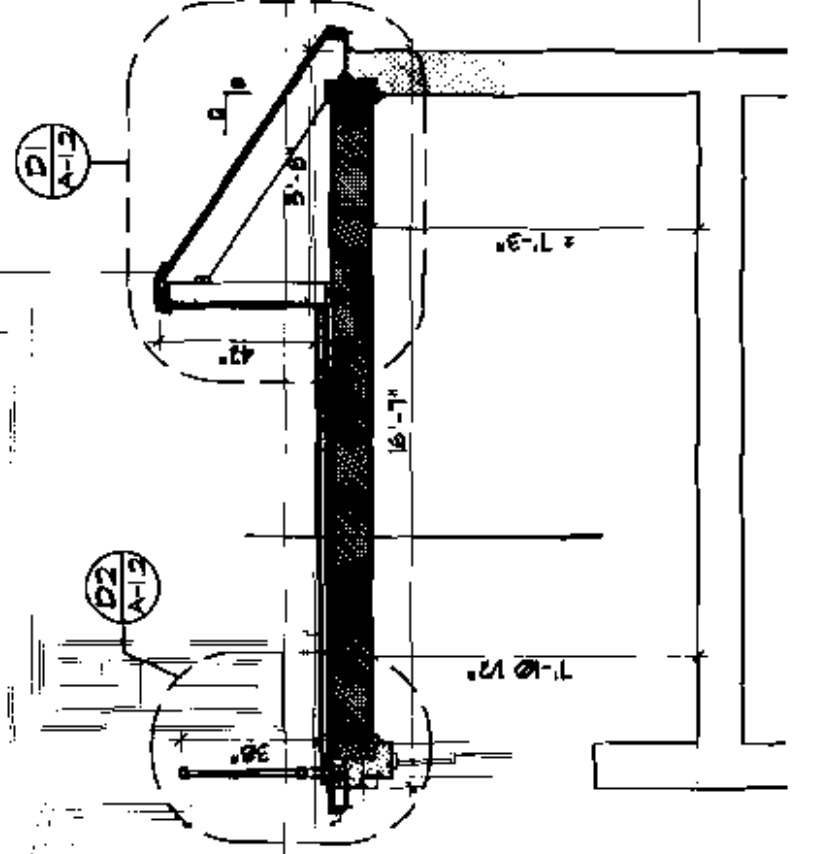
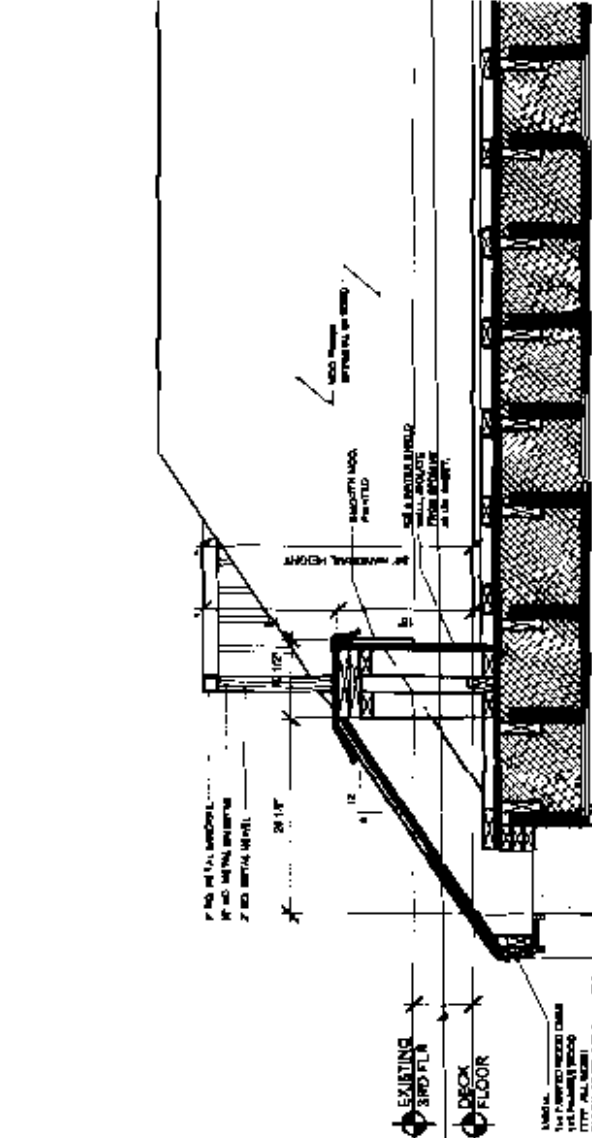
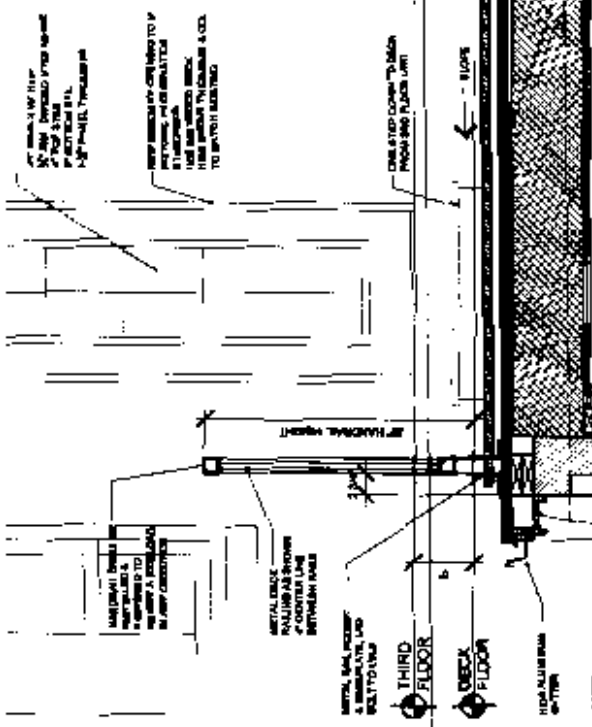
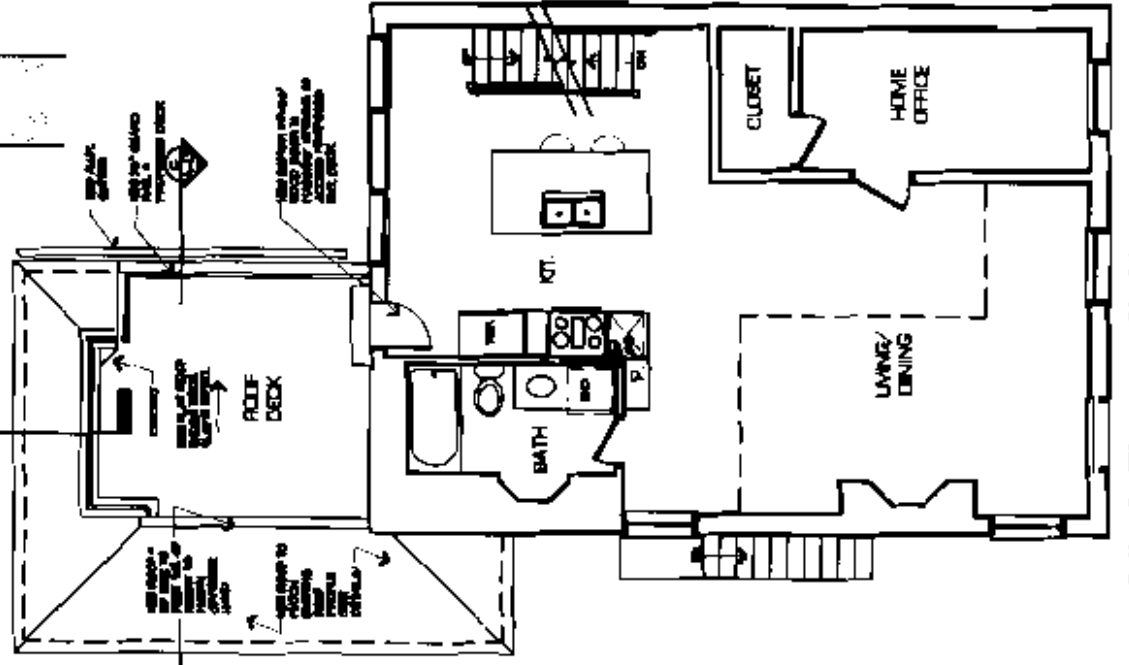
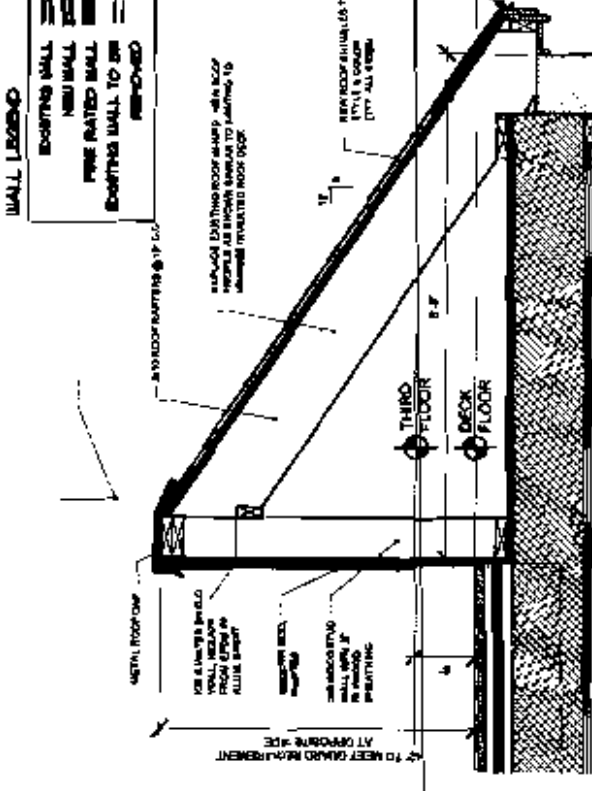
Signature of applicant:  Date: **SEPTEMBER 28, 2010**

This is not a permit; you may not commence ANY work until the permit is issued.

THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 ADDENDA: SEPTEMBER 28, 2010
 PERMIT SET: AUGUST 06, 2010

WALL LEGEND

	EXISTING WALL
	NEW WALL
	FIRE RATED WALL
	EXISTING WALL TO BE REMOVED



C BUILDING SECTION
 SCALE: 1/8" = 1'-0"

P BUILDING SECTION
 SCALE: 1/8" = 1'-0"



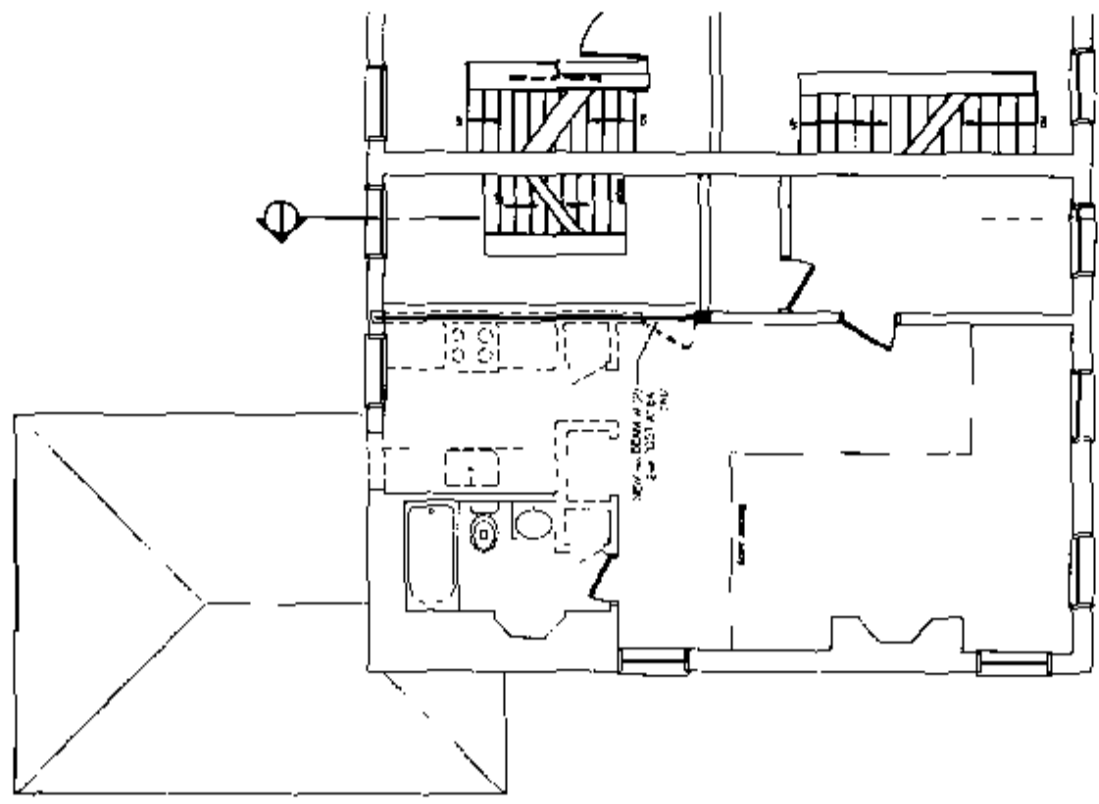
ASSOCIATED DESIGN PARTNERS INC.
 80 Lexington Road
 Portland, Maine 04105
 Office: (207) 876-1751
 Fax: (207) 876-1750
 info@adpartners.com

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PROJECT: 30 PLEASANT STREET
PORTLAND, ME
FOR MARK MUELLER ARCHITECTS
SHEET TITLE: FLOOR FRAMING PLANS
ISSUED FOR PERMITTING

No.	BY	DATE	DESCRIPTION

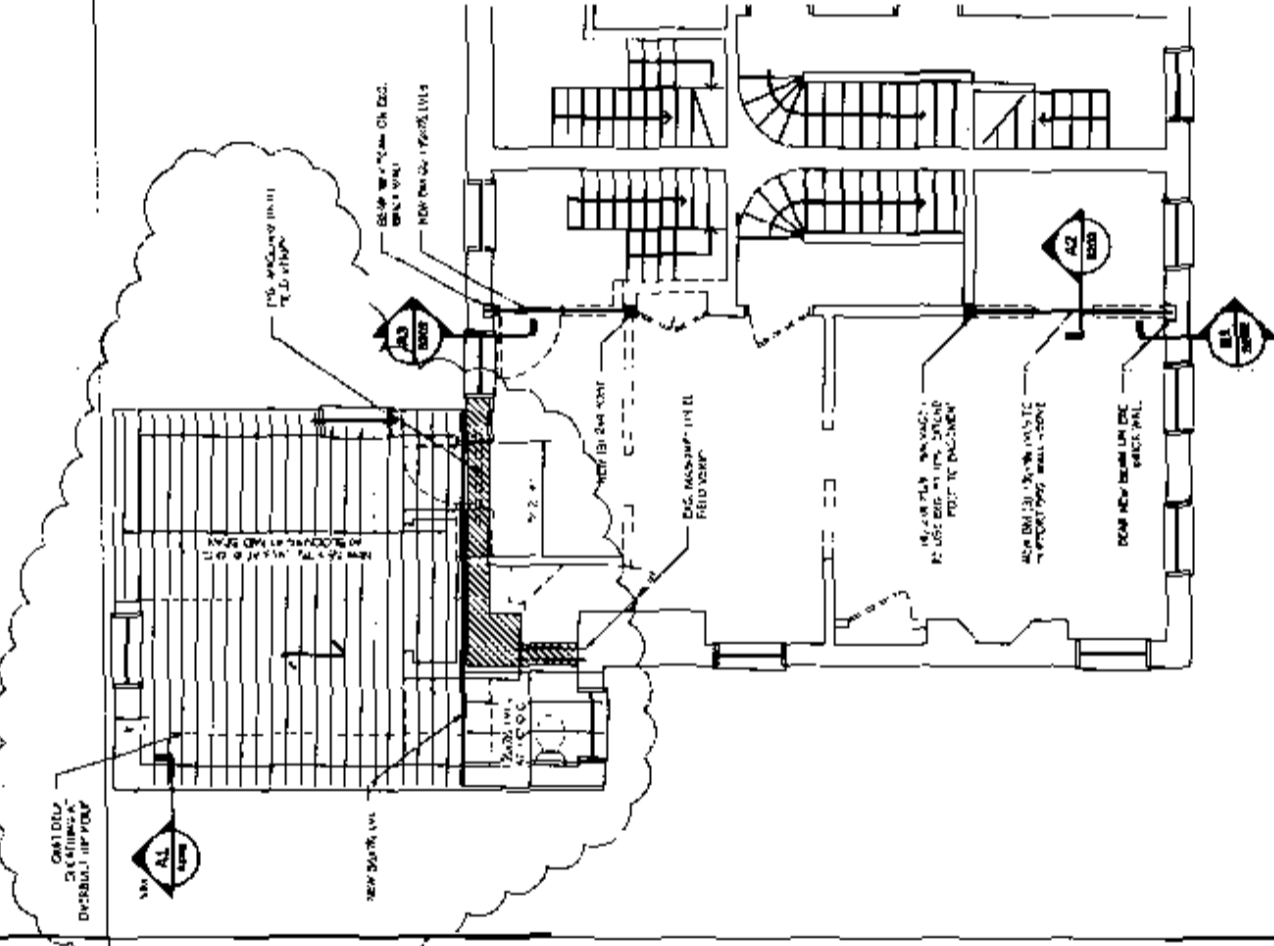
DATE: 5-25-19
 SCALE: AS NOTED
 DESIGN BY: ASH
 CHECKED BY: POC
 PROJECT NUMBER: 10175
 SHEET NO: S201



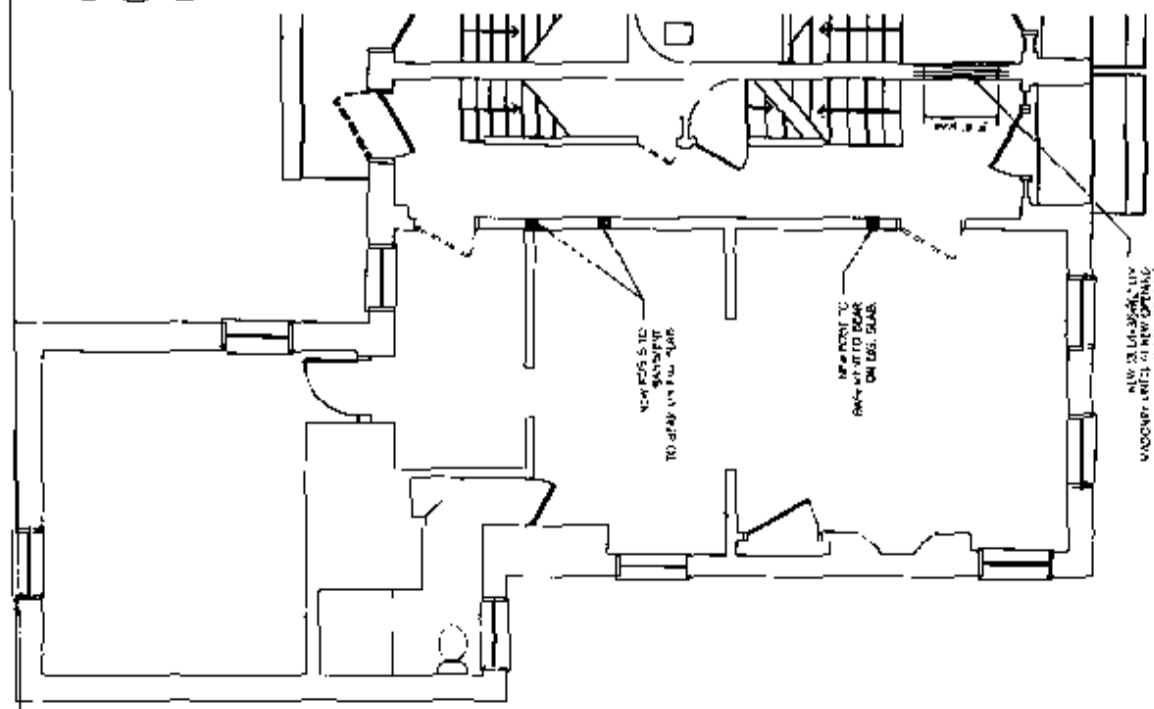
A1 LOFT FLOOR FRAMING (SHOWN OVER 3RD FLOOR DEMO PLAN)
 SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE	BY
1	REVISION		
2			
3			
4			
5			
6			
7			
8			
9			
10			

NOTES:
 1. INDICATED DIMENSIONS OF FLOOR AND CEILING ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



A2 3RD FLOOR FRAMING (SHOWN OVER 2ND FLOOR DEMO PLAN)
 SCALE: 1/4" = 1'-0"



A3 2ND FLOOR FRAMING PLAN (SHOWN OVER 1ST FLOOR DEMO PLAN)
 SCALE: 1/4" = 1'-0"

Close-In:

11-16-10

DWM + JGR Deck Framing ~~OK~~. Framing only needs
solid blocking @ exterior bearing walls or rim
Joist.