

PERMIT ISSUED

NOV - 5 2010

City of Portland

Form # P-04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

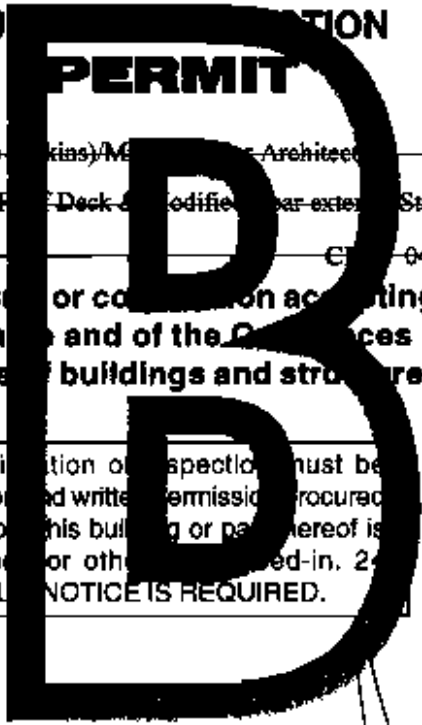
Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

Permit Number: 101260

This is to certify that 32 Pleasant Street, LLC (Dave Perkins) Mechanical Architects
has permission to Addition of 3rd floor exterior Deck & modified rear exterior Stairs
AT 32 PLEASANT ST City ID 040 B008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. CAPT. R. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature] 11/5/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1260	Issue Date:	CBL: 040 B008001
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Location of Construction: 32 PLEASANT ST	Owner Name: 32 Pleasant Street, LLC (Dave Perki)	Owner Address: 32 Pleasant Street	Phone: 871-7159
Business Name:	Contractor Name: Mark Mueller Architects	Contractor Address: 100 Commercial St. Suite 205 Portland	Phone: 2077749057
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial	Zone: B-3

Past Use: Commercial Roof Deck	Proposed Use: Commercial Roof Deck - Addition of 3rd floor exterior Roof Deck & Modified Rear exterior Stairs	Permit Fee: \$150.00	Cost of Work: \$13,000.00	CEO District: I
Proposed Project Description: Addition of 3rd floor exterior Roof Deck & Modified Rear exterior Stairs		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: B Type 3/B IBC-2003 Signature: JMB 11/17/10	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 10/07/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK OK w/ conditions Date: 10/24/10 ACM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation YU <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 10/27/10
	PERMIT ISSUED NOV - 5 2010 City of Portland	D. Andrews	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1260	Date Applied For: 10/07/2010	CBL: 040 B008001
Owner Name: 32 Pleasant Street, LLC (Dave Perki)	Owner Address: 32 Pleasant Street	Phone: () 871-7159
Contractor Name: Mark Mueller Architects	Contractor Address: 100 Commercial St, Suite 205 Portland	Phone: (207) 774-9057
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial

Proposed Use: Commercial Roof Deck - Addition of 3rd floor exterior Roof Deck & Modified Rear exterior Stairs	Proposed Project Description: Addition of 3rd floor exterior Roof Deck & Modified Rear exterior Stairs
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Dept: Historic Status: Pending Reviewer: Deborah Andrews Approval Date: 10/27/2010
 Note: Ok to Issue:

1) * All construction and architectural details to be consistent with plans and details approved by Historic Preservation Board on 9/15/2010.

Dept: Zoning Status: Approved with Conditions Reviewer: Ann Machado Approval Date: 10/26/2010
 Note: Ok to Issue:

1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
 3) This property shall remain commercial offices only. Any change of use shall require a separate permit application for review and approval.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Boudre Approval Date: 11/05/2010
 Note: Ok to Issue:

1) The guardrail system shall meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gaureau Approval Date: 11/02/2010
 Note: Ok to Issue:

1) All construction shall comply with City Code Chapter 10.

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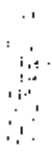
Comments:

10/14/2010-amachado: Spoke to Mark Mueller. Need right, title & interest for new owner. Need right, title & interest for new owner. Need right, title & interest for new owner. 30 Pleasant Street owner because part of rear stairs is on their property.
 10/18/2010-amachado: Received deed for new owner. Left vein for Dave Perkin. Still need permission from 30 Pleasant St for stairs.
 10/26/2010-amachado: Received email from Ben Ray, Joseph How House, LLC giving permission for work to be done on the rear stairs of both 30 & 32 Pleasant Street.
 10/27/2010-eg: received from historic as of 10/27/10. /eg
 11/5/2010-jmb: Spoke to Matt P. If new sound/frost protection is being installed for the rear entry, he will let me know.

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City of Portland

NOV - 5 2010



11/17/2010-jmb: Received email confirming same tube frost protection			
Location of Construction:	32 PLEASANT ST	Owner Name:	32 Pleasant Street, LLC (Dave Perki)
Business Name:		Contractor Name:	Mark Mueller Architects
Lessee/Buyer's Name		Phone:	
Permit Type:	Additions - Commercial	Contractor Address:	100 Commercial St Suite 205 Portland
Phone:	(207) 774-9057	Owner Address:	32 Pleasant Street
Phone:	() 871-7159	Phone:	

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: baildioginspections@portlandmaie.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

NOV - 5 2010

City of Portland



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

10-13 2010

Received from Mueller Arch

Location of Work 30 Pleasant St

Cost of Construction \$ _____ Building Fee _____

Permit Fee \$ _____ Site Fee _____

Certificate of Occupancy Fee: _____

Total: 150

Building (B) _____ Plumbing (P) _____ Electrical (E) _____ Site Plan (SP) _____

Other _____

CBL: 40-B-8

Check # 2463 Total Collected \$ 150

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 32 PLEASANT STREET - ROOF DECK & REAR STAIR AT EXT.			
Total Square Footage of Proposed Structure 286 SQ. FT.		Square Footage of Lot N/A	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 040 B008 001	Owner: 32 PLEASANT STREET LLC 30 MILK STREET PORTLAND, MAINE 04112	Telephone: 207.871.7159	
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL ST. - SUITE 205 PORTLAND, ME 04101 P: 207.774.9057 - F: 207.773.3851	Cost Of Work: \$ <u>13,000.00</u> Fee: \$ <u>150.00</u> C of O Fee: \$ <u>N/A</u>	
Current Specific use: <u>BUSINESS ROOF DECK</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>BUSINESS ROOF DECK</u> Project description: ADDITION OF A 3RD FLOOR EXTERIOR ROOF DECK & MODIFIED REAR EXTERIOR STAIR. STRUCTURAL DRAWINGS ATTACHED SHOW 30 PLEASANT STREET....32 PLEASANT STRUCTURE IS TO MATCH. REFERENCE BUILDING PERMIT #10-1062 (ADDMMENDMENT TO REFERENCE PERMIT)			
Contractor's name, address & telephone: TBD			
Who should we contact when the permit is ready: <u>DAVE PERKINS</u> Mailing address: DAVE PERKINS Phone: <u>207.871.7159</u> 30 MILK STREET PORTLAND, MAINE 04112			

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: SEPTEMBER 29, 2010
--	---------------------------------

This is not a permit; you may not commence ANY work until the permit is issued.

Jeanie Bourke - 32 Pleasant Street

From: "Matt Provencal" <matt@muellerarchitects.com>
To: <jmb@portlandmaine.gov>
Date: 11/16/2010 4:57 PM
Subject: 32 Pleasant Street

Jeanie,

I apologize for this issue taking so long.

The rear deck at 30-32 Pleasant Street will have new Sono tubes for structure at grade level.

If you have any further questions please let me know.

Thank you,

Matt Provencal
Architectural Designer



Mark Mueller Architects
100 Commercial Street
Suite 205
Portland, Maine 04101
matt@muellerarchitects.com
Tele: 207.774.9057
Fax: 207.773.3851

RECEIVED

NOV 17 2010

Dept. of Building Inspections
City of Portland Maine

RECEIVED

NOV 17 2010

Dept. of Building Inspections
City of Portland Maine

Ann Machado - Joseph How House - 30 Pleasant Street

From: Ben Ray <benray1@hotmail.com>
To: <amachado@portlandmaine.gov>
Date: 10/26/2010 11:50 AM
Subject: Joseph How House - 30 Pleasant Street

Hi Anne,

I received a call today asking me to email you. I am the sole member of the Joseph How House, LLC (located at 30-32 Pleasant Street in Portland) and grant David Perkins permission to work on the rear steps and deck work at said Pleasant Street property. Please let me know if you need anything more from me.

Very Best, Ben

Ben Ray
207-807-6949

RECEIVED

OCT 26 2010

Dept. of Building Inspections
City of Portland Maine

PERKINS OLSON, P.A.
ATTORNEYS AT LAW

30 Milk Street
P.O. Box 449
Portland, Maine 04112-0449

(207) 871-7159
FAX (207) 871-0521
<http://www.perkinsolson.com>

David J. Perkins
E-mail: dperkins@perkinsolson.com

October 14, 2010

Anne Machado
City of Portland
Zoning Administration
389 Congress Street
Portland, ME 04101

RECEIVED

OCT 18 2010

Dept. of Building Inspections
City of Portland Maine


RE: 30 and 32 Pleasant Street

Dear Anne:

I enclose a deed from Malone to my LLC called 32 Pleasant Street, LLC. I am providing this to show that the title to the property is in 32 Pleasant Street, LLC.

I also provide authorization to Ali Malone and her LLC, Joseph How House, LLC, to build a back porch on the 30 Pleasant Street side. Please let me know if you need anything else.

Yours sincerely,



David J. Perkins

DJP/bm
Enclosures
cc: Mark Mueller
Ali Malone

WARRANTY DEED

MAINE REAL ESTATE TAX PAID

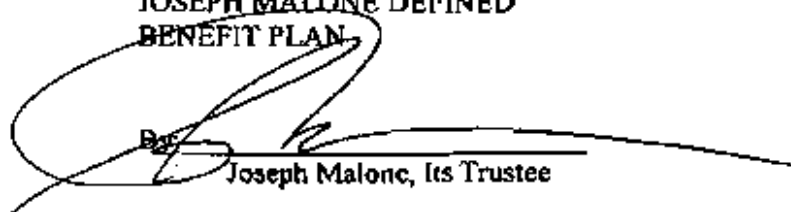
KNOW ALL MEN BY THESE PRESENTS THAT, JOSEPH MALONE, as TRUSTEE OF THE JOSEPH MALONE DEFINED BENEFIT PLAN, a trust formed under the laws of the State of Maine with a business address at Five Moulton Street, Portland, Maine 04101 (the "Grantor") in consideration of One Dollar (\$1.00) and other good and valuable considerations paid by 32 PLEASANT STREET, LLC, a Maine limited liability company with a place of business at 32 Pleasant Street, Portland, Maine (the "Grantee") the receipt whereof Grantor hereby acknowledges, does hereby give, grant, bargain, sell and convey unto the said Grantee, its successors and assigns forever, the property located at 32 Pleasant Street, City of Portland, County of Cumberland, State of Maine, as more particularly described in Exhibit A attached hereto.

TO HAVE AND TO HOLD the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Grantee, its successors and assigns, to their own use and behoof forever.

AND said Grantor does covenant with the said Grantee, its successors and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances; that Grantor has good right to sell and convey the same to the said Grantee to hold as aforesaid, and that Grantor and his successors shall and will WARRANT AND DEFEND the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons.

IN WITNESS WHEREOF, the said JOSEPH MALONE as TRUSTEE OF THE JOSEPH MALONE DEFINED BENEFIT PLAN has executed this instrument this 14th day of September, 2010.

JOSEPH MALONE DEFINED
BENEFIT PLAN


By _____
Joseph Malone, Its Trustee

RECEIVED

OCT 18 2010

Dept. of Building Inspections
City of Portland Maine

STATE OF MAINE
CUMBERLAND ss.

September 14, 2010

Then personally appeared the above-named Joseph Malone, in his capacity as Trustee of the Joseph Malone Defined Benefit Plan, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of the Joseph Malone Defined Benefit Plan.

Before me,

Roseanne J. Norton
Notary Public/Attorney at Law

ROSEANNE J. NORTON
Notary Public, Maine
My Commission Expires October 4, 2011

SEAL

EXHIBIT A - LEGAL DESCRIPTION

A certain lot or parcel of land situated on the southerly side of Pleasant Street, so called, in the City of Portland, County of Cumberland, State of Maine and being more particularly bounded and described as follows:

Beginning at a point being set 3/8 inch drill hole, on the southerly sidewalk of Pleasant Street, said point of being opposite the corner of the parson wall of the duplex dwelling;

Thence S 71°38'05" E along said center of the parson wall, and an extension thereof, sixty-five and forty-one hundredths (65.41) feet to a set 3/8 inch rebar with aluminum cap stamped "SMART RLS 1314" on the northerly line of land now or formerly owned by Robert F. Leonard and Rodney L. Talbot and described in a deed dated April 13, 1978 and recorded in the Cumberland County Registry of Deeds in Book 4158, Page 165;

Thence S 67° 05' 29" W along line of said Leonard and Talbot, twenty-three and ninety hundredths (23.90) feet to a set 3/8 inch rebar with aluminum cap stamped "SMART RLS 1314" at an angle in the easterly line of land now or formerly owned by Herbert B. Schwartz and described in a deed recorded in the Cumberland County Registry of Deeds in Book 3178, Page 153;

Thence N 38° 57' 00" W along lands of said Schwartz, forty-eight and seventy-five hundredths (68.75) feet to a found 3/8 inch iron pipe on the southerly side of Pleasant Street;

Thence N 68° 00' 00" E along the southerly sidewalk of Pleasant Street, forty-four and twenty-six hundredths (44.26) feet to the point of beginning;

Containing 2237 square feet, more or less.

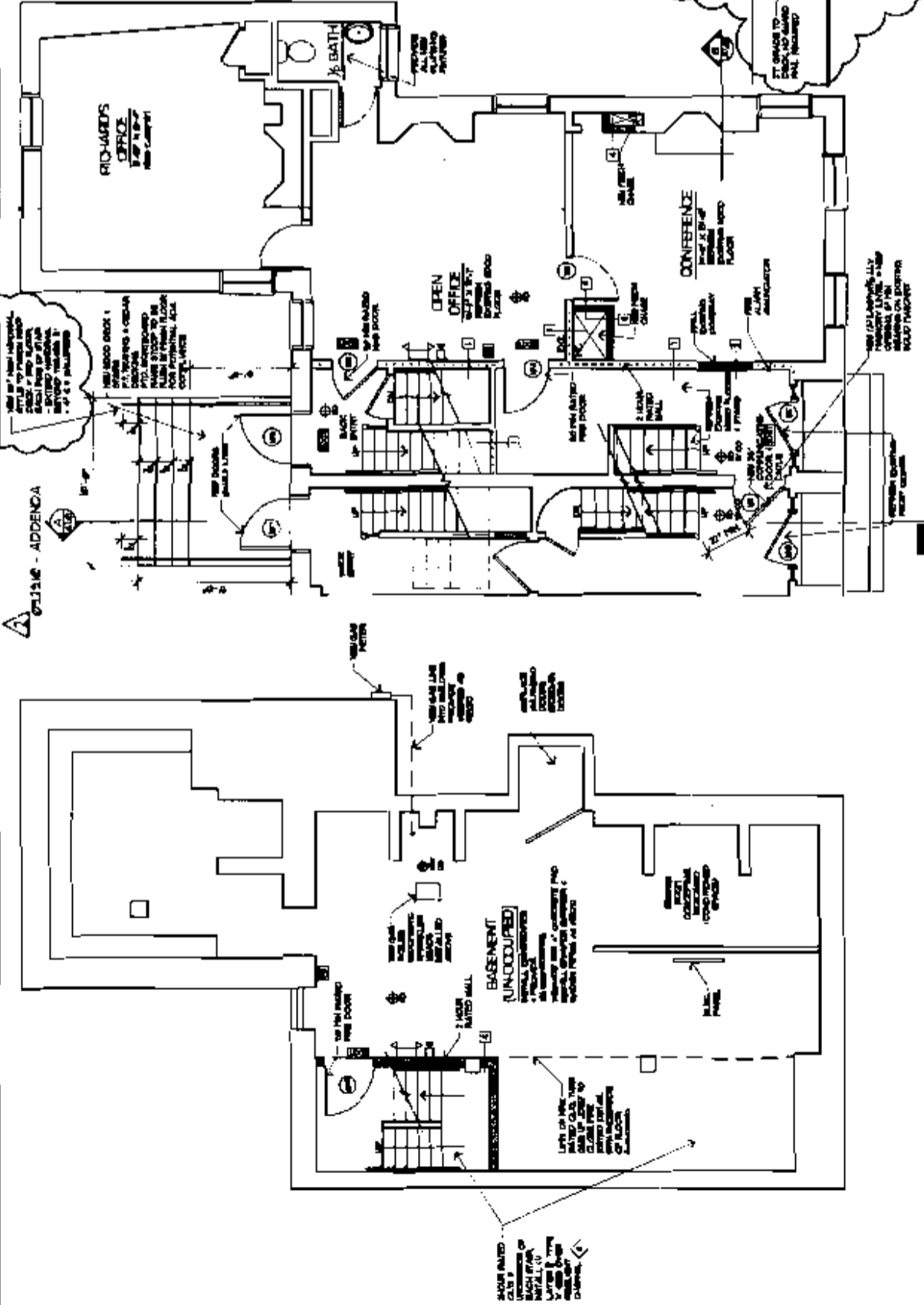
The basis of bearing for this description is the southerly sidewalk of Pleasant Street. Said bearing is N 68° W as shown in a deed dated May 31, 1980 to Mary O'Donnell, formerly Mary Curran, recorded in said Registry in Book 568, Page 462.

This description is based from a Standard Boundary Survey for Paul Stevens, dated August 3, 1988 by Stevens, Morton, Rice and Thompson.

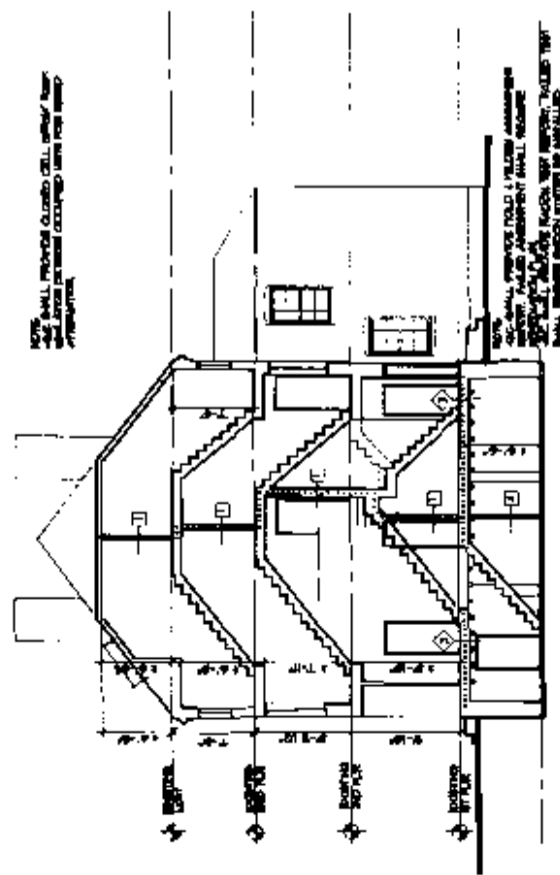
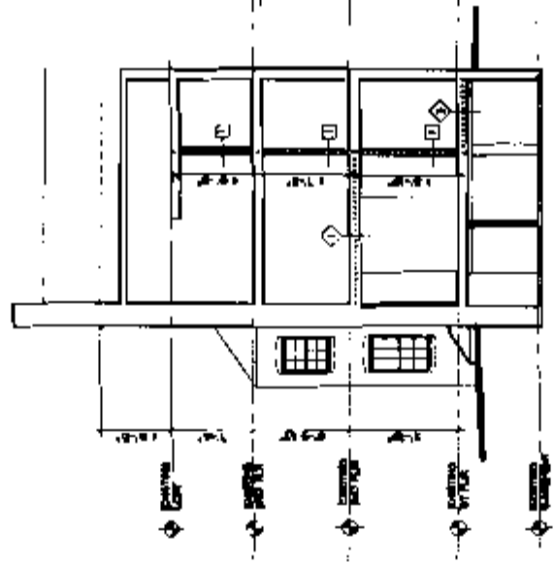
AND

This conveyance is made subject to and with the benefit of an easement granted by Doris J. Stevens by deed recorded in said Registry in Book 8456, Page 152 as follows: a certain easement for an electrical service, including conduit and a so-called "disconnect switch", in the basement and foundation area of the real property now or formerly of Doris J. Stevens located at 30 Pleasant Street adjacent to the Premises (the "Adjacent Property") for the benefit of the Premises only, such easement to be for the express use, maintenance and repair of the electrical system within the Adjacent Property which serves the Premises, as it is currently used and as it may be upgraded within the existing conduit, from time to time; together with an easement to maintain and service a certain electrical meter on the northeasterly side of the building currently located upon the Adjacent Property; together with an easement to install, maintain and service a certain disconnect switch on the exterior of the northeasterly side of the building located upon the Adjacent Property; subject to a reserved easement to enter upon that portion of the Adjacent Property described above, for the express purposes of installing, maintaining and repairing the electrical system on the Adjacent Property which serves or will serve the Premises, at all times; together with an easement to enter the building upon the Adjacent Property for the express purposes of upgrading, maintaining or repairing the electrical system on the Adjacent Property which serves the Premises as follows: (1) at any time in the case of an emergency if electrical service to the Premises has been interrupted, or (2) for upgrading or non-emergency maintenance and repair, upon reasonable written notice (of at least forty-eight (48) hours) delivered to Doris J. Stevens at the above address, or to such other address as Doris J. Stevens, or her heirs and assigns may designate in writing.

Received
 Recorder's Office of Deeds
 Sep 15, 2010 03:40:59P
 Cumberland County
 Pamela E. Loyer



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" (654 SF)



GENERAL NOTES:

1. REFER TO ALL DRAWINGS FOR DIMENSIONS AND NOTES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT'S REQUIREMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT'S REQUIREMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

CONTRACT NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
2. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
4. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT'S REQUIREMENTS.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

WALL LEGEND:

- EXISTING WALL
- NEW WALL
- FIRE RATED WALL
- BOARDS SHALL TO BE REMOVED

LIFE SAFETY LEGEND:

- EXIT
- STAIR
- STAIR W/ RAMP
- STAIR W/ PLATFORM
- STAIR W/ PLATFORM AND RAMP
- STAIR W/ PLATFORM AND RAMP AND ESCAPE ROUTE
- STAIR W/ PLATFORM AND RAMP AND ESCAPE ROUTE AND STAIR W/ PLATFORM
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PROPOSED PLANS, BUILDING SECTIONS & CODE REVIEW DATA

IFC 2006 CODE DATA

NFA 2006 CODE DATA

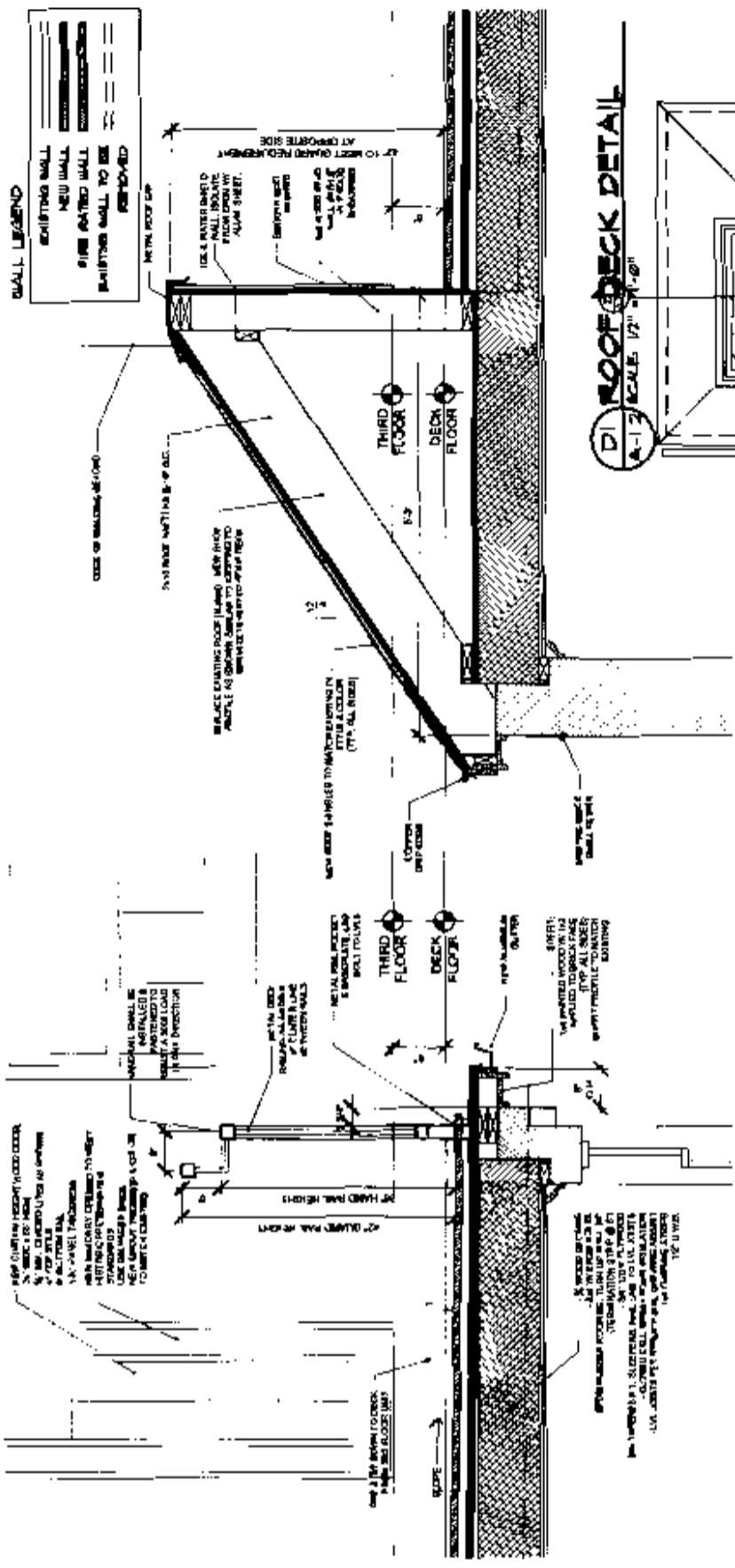
ZONING INFORMATION

BUILDING INFORMATION

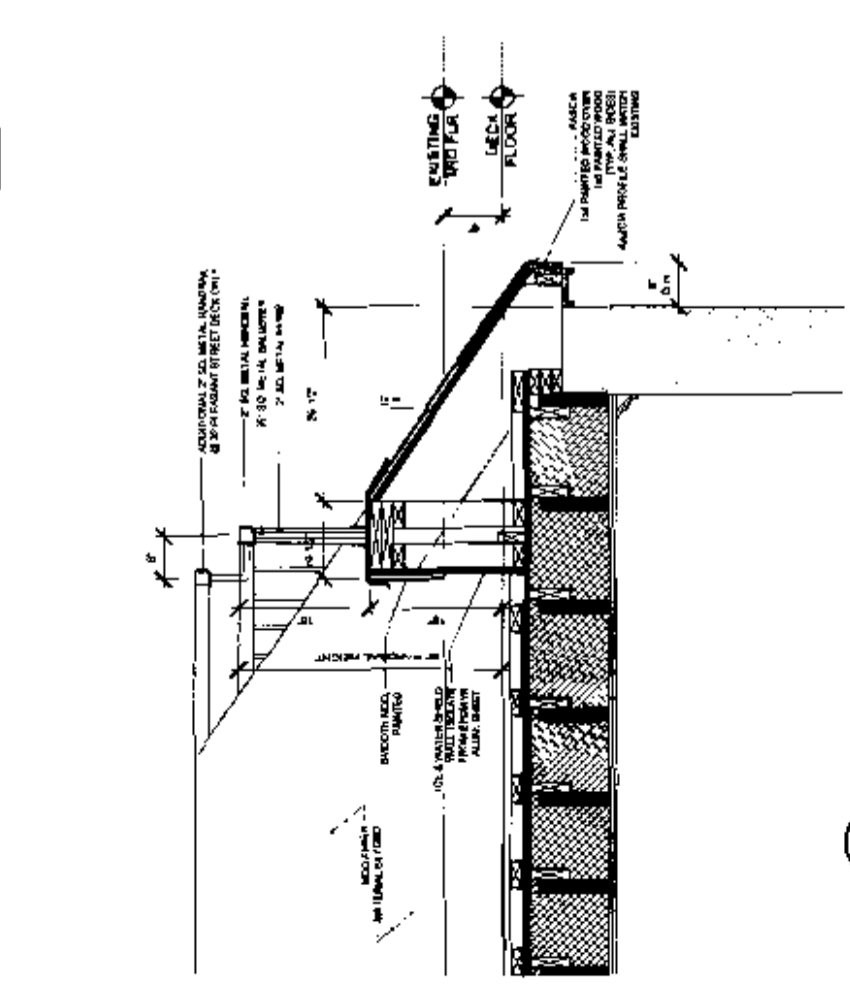
MARK MUELLER ARCHITECTS
AIA

1000 Commercial Street
Suite 200
Portland, Maine 04101
Phone: 857 774 9877
Fax: 857 773 3871
www.markmuellearchitects.com

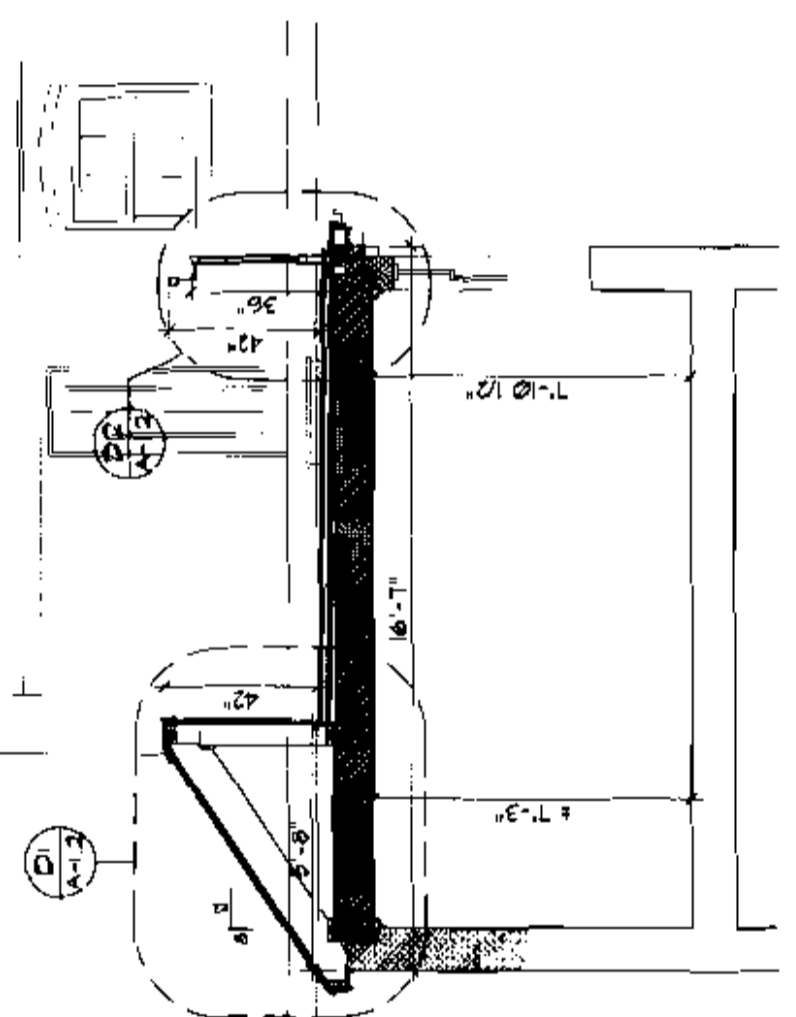
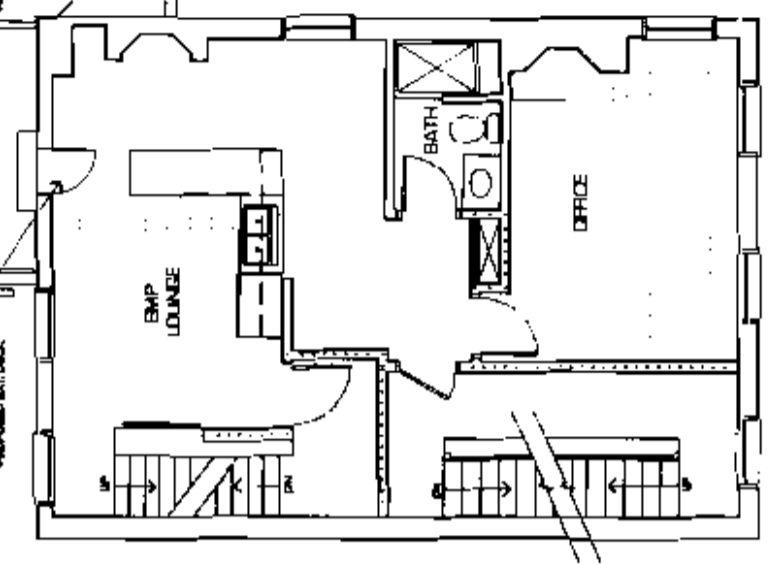
HOW HOUSE
32 PLEASANT STREET
PORTLAND, MAINE 04101



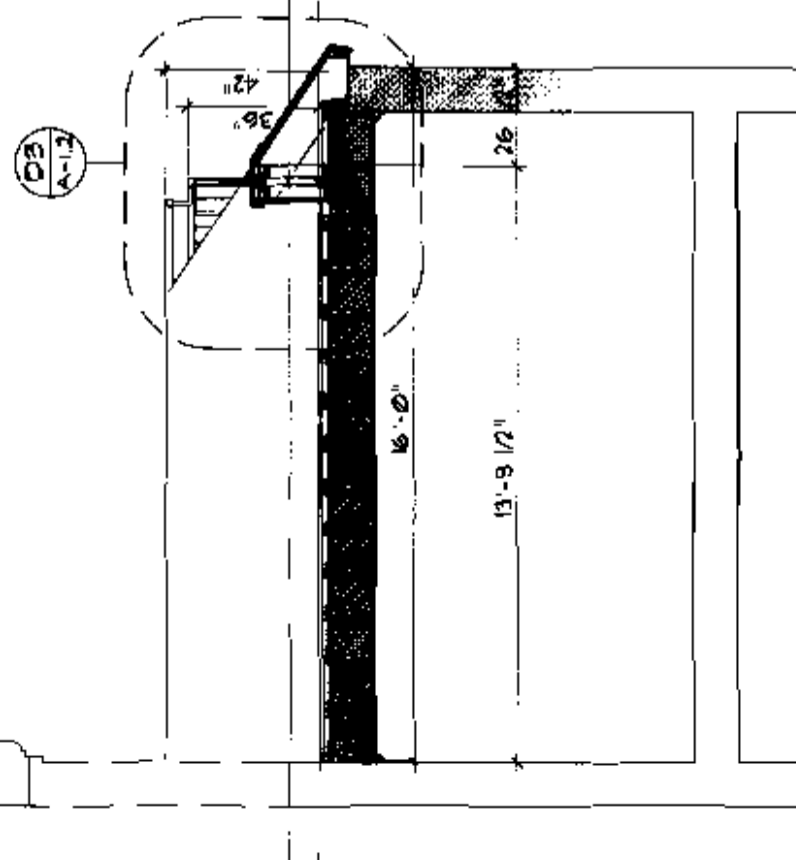
D2 ROOF DECK DETAIL
 SCALE: 1/2" = 1'-0"



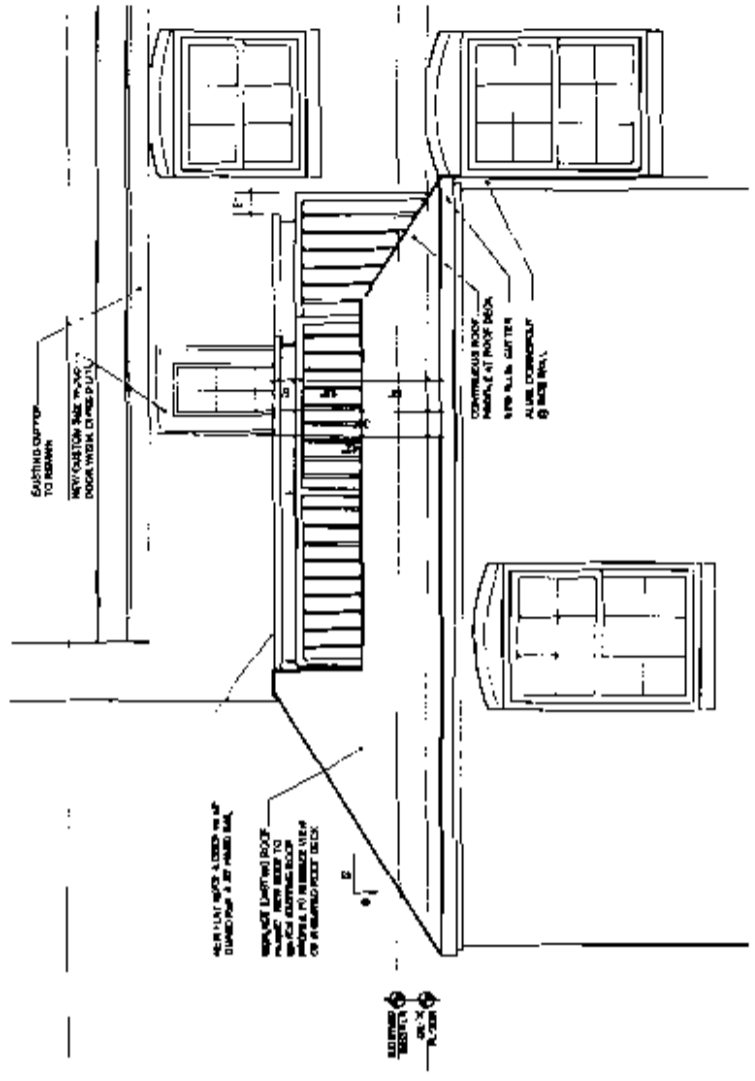
D4 ROOF DECK DETAIL
 SCALE: 1/2" = 1'-0"



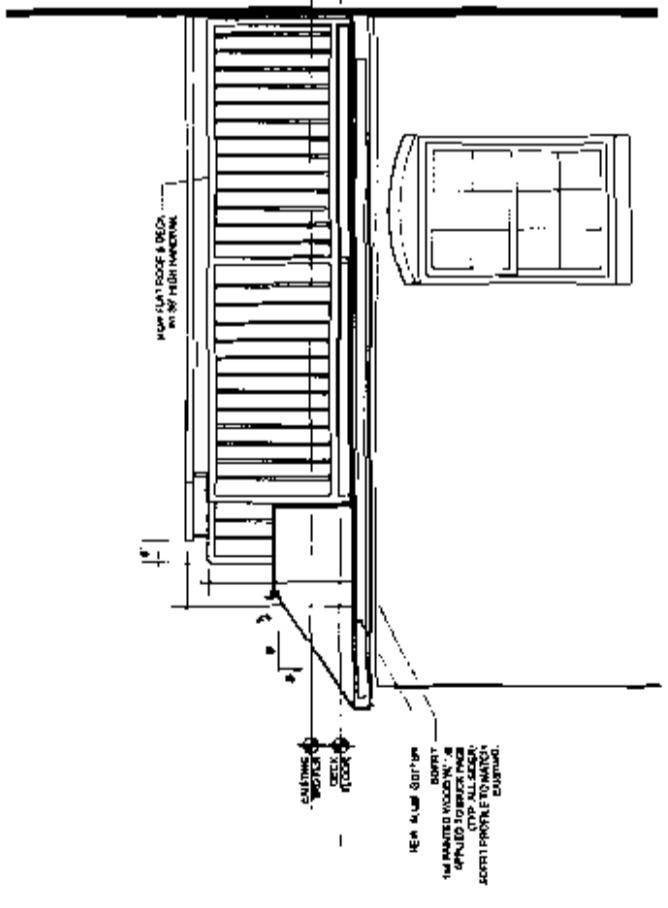
C BUILDING SECTION
 SCALE: 1/2" = 1'-0"



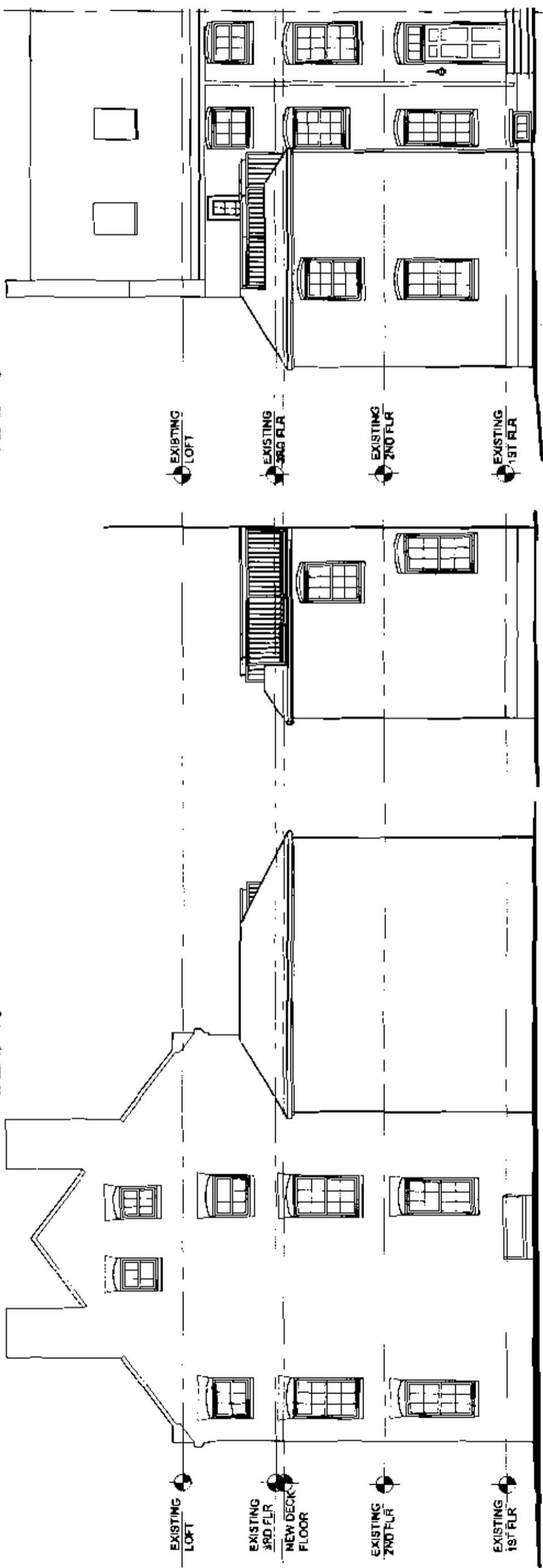
P BUILDING SECTION
 SCALE: 1/2" = 1'-0"



ENLARGED REAR ELEV.
 SCALE: 1/2" = 1'-0"



ENLARGED RIGHT ELEV.
 SCALE: 1/2" = 1'-0"



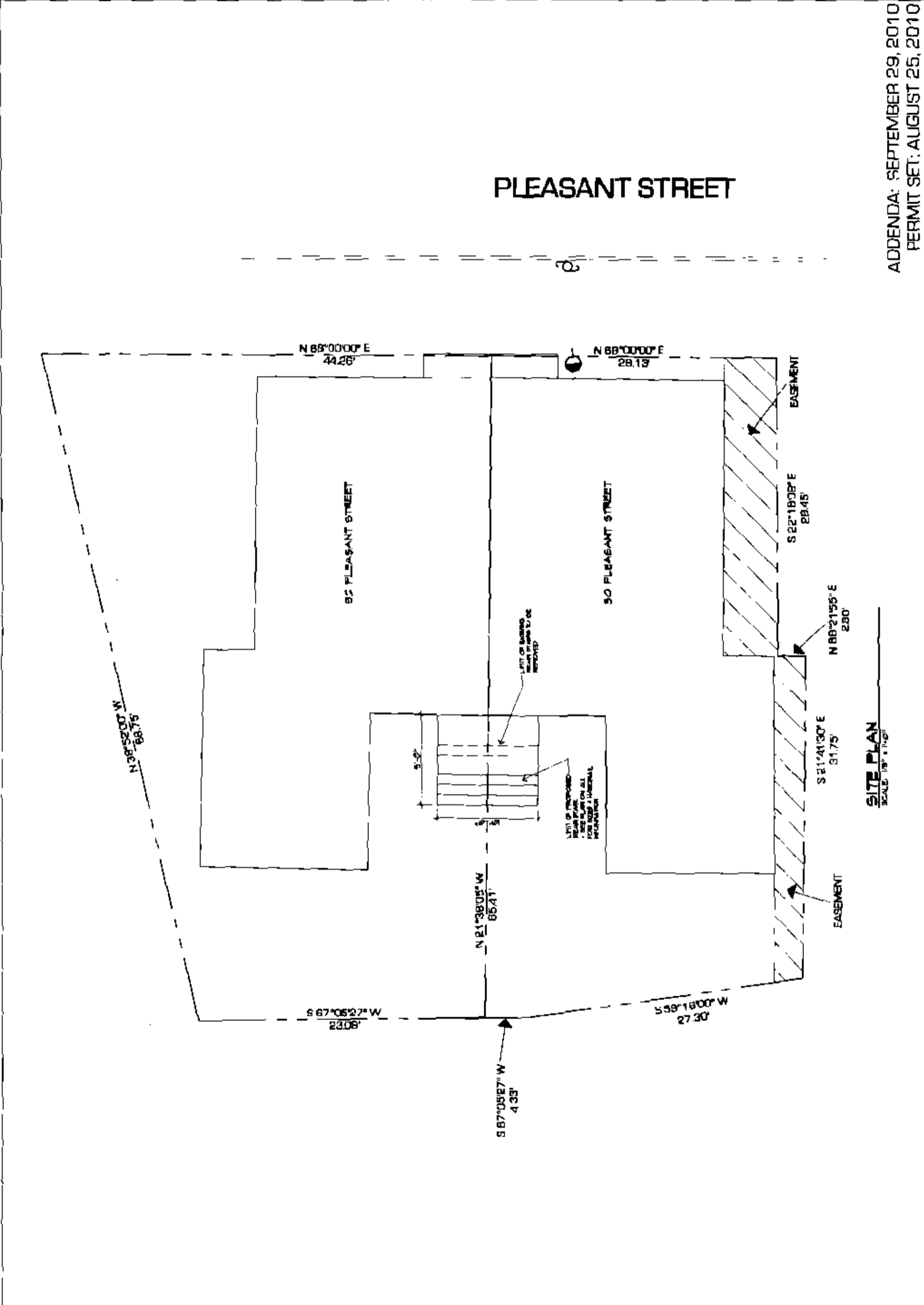
REAR ELEVATION
 SCALE: 1/4" = 1'-0"

RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

ADDENDA: SEPTEMBER 29, 2010
 PERMIT SET: AUGUST 25, 2010

ADDENDA: SEPTEMBER 29, 2010
 PERMIT SET: AUGUST 25, 2010



SITE PLAN
 SCALE: 1/8" = 1'-0"



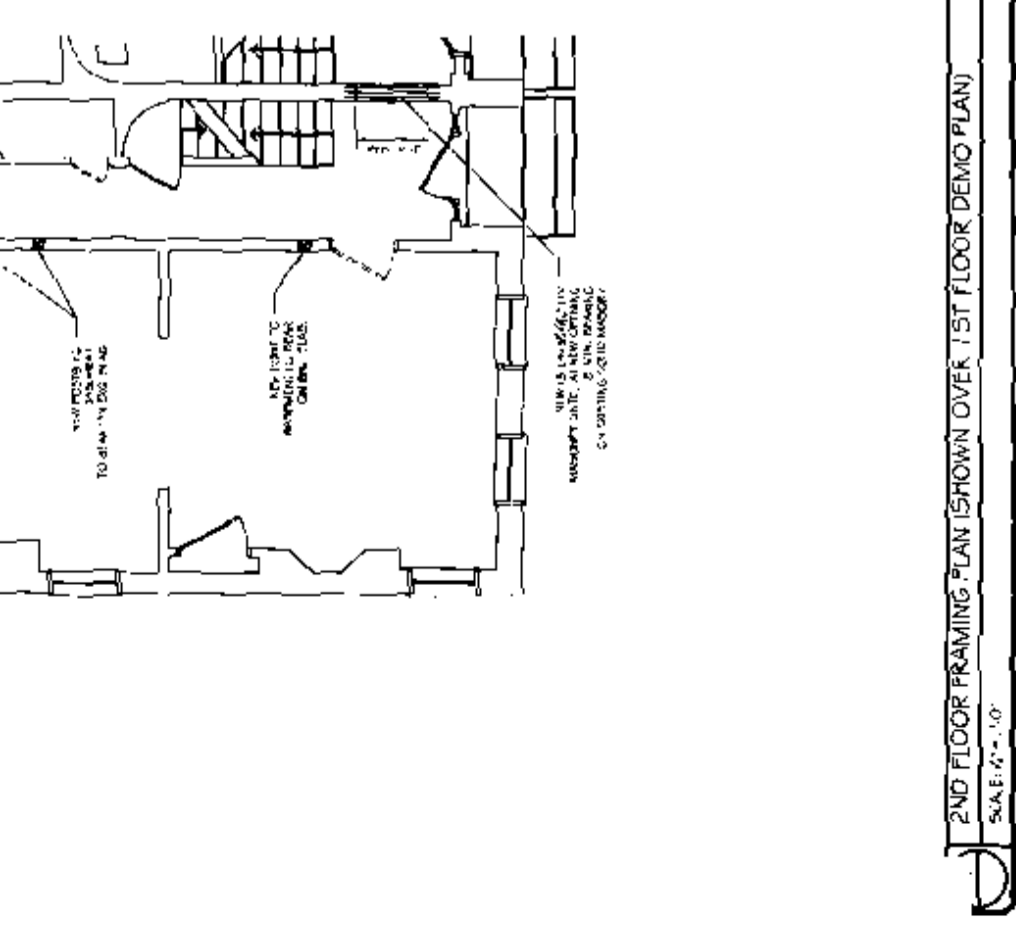
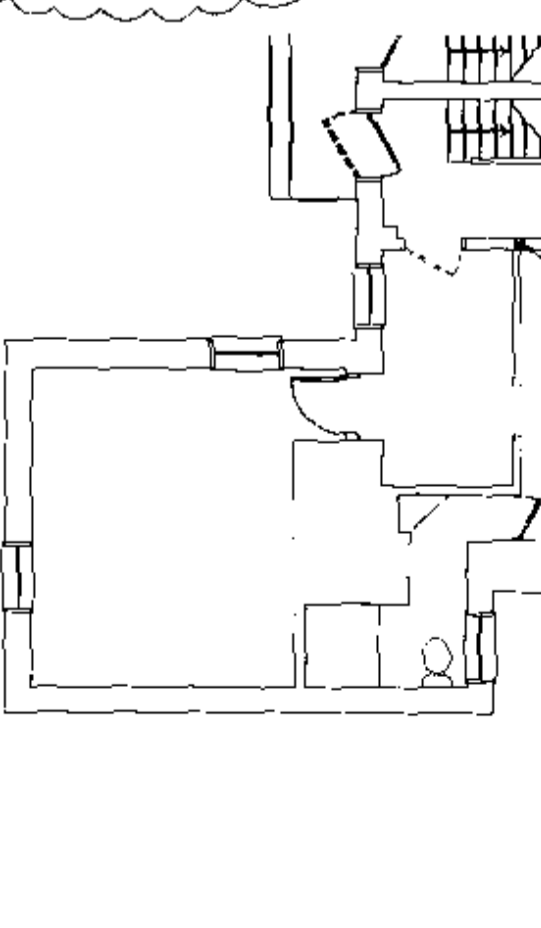
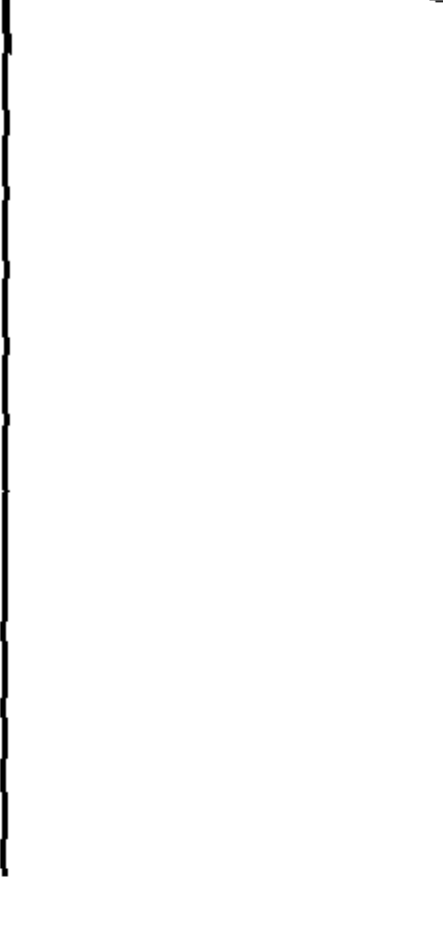
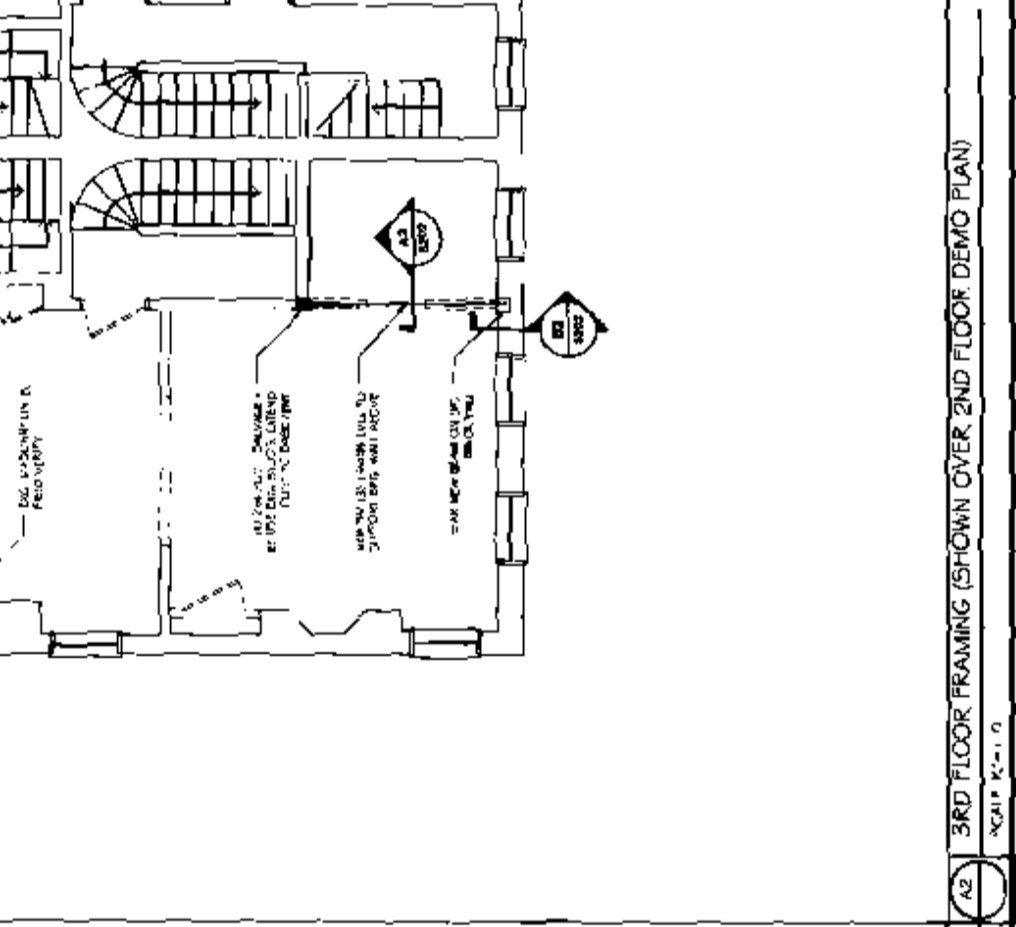
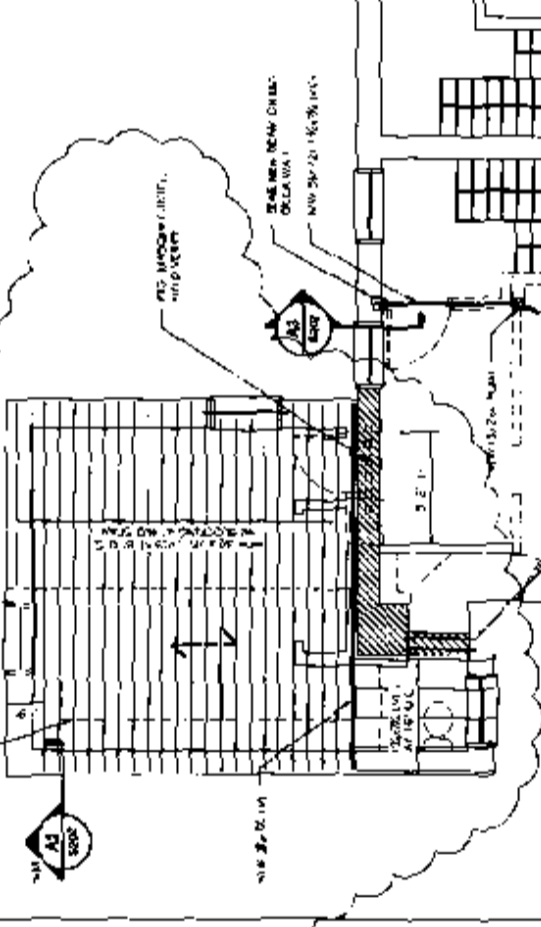
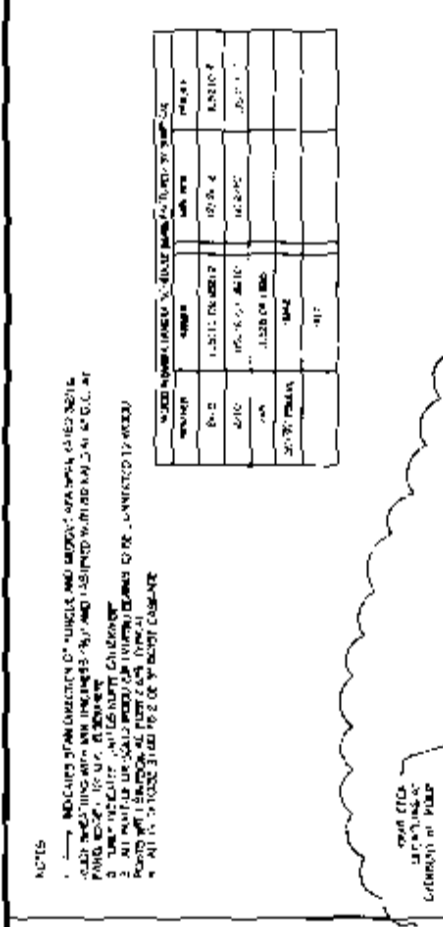
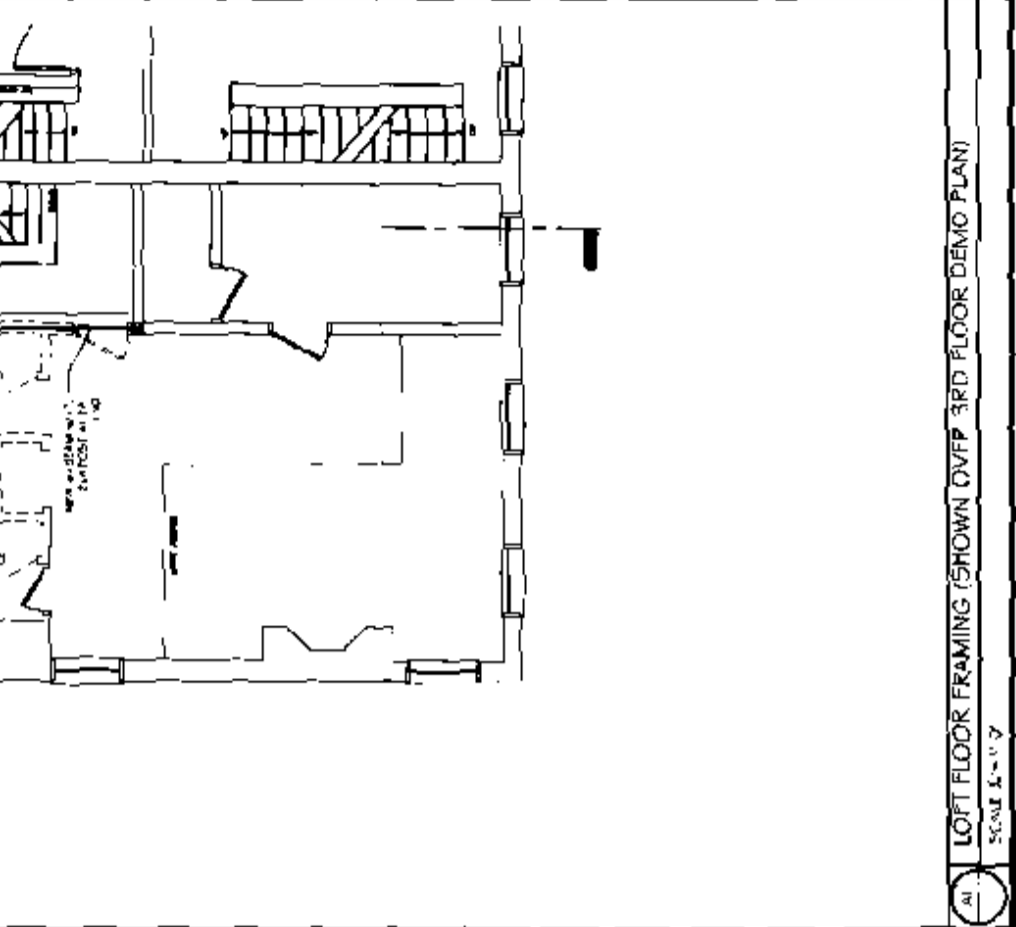
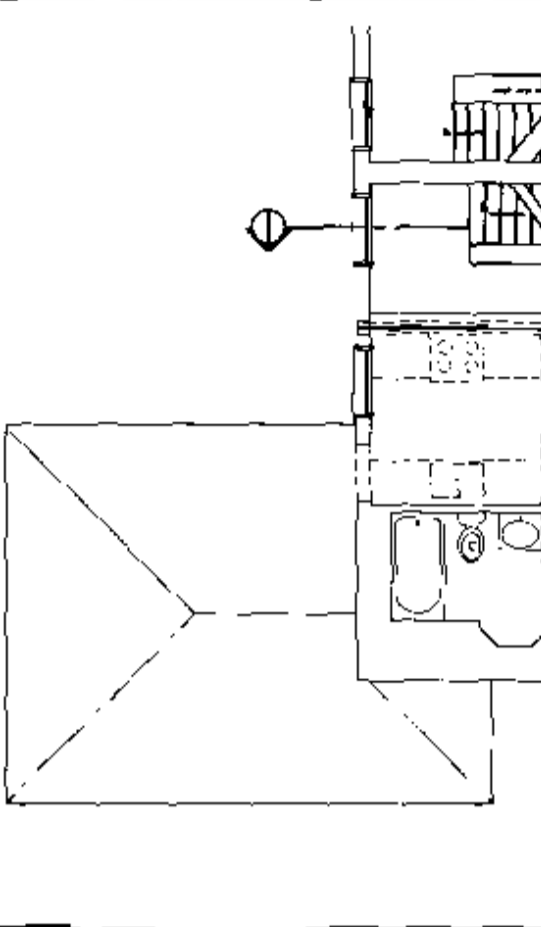
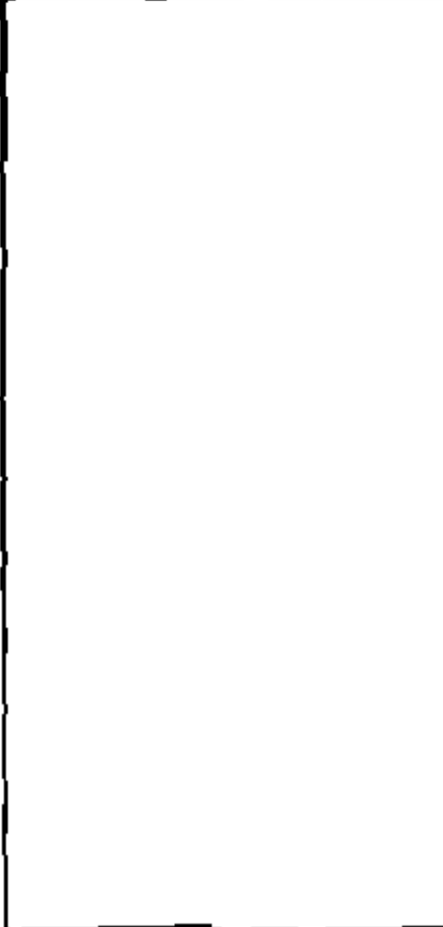
ASSOCIATED DESIGN PARTNERS INC.
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 Fax: (207) 875-1785
 E-Mail: add@designpartnersinc.com

FOR MARK MUELLER ARCHITECTS
 30 Pleasant Street
 Portland, ME 04106

PROJECT: **30 PLEASANT STREET**
 PORTLAND, ME
 FOR MARK MUELLER ARCHITECTS
 SHEET TITLE: **FLOOR FRAMING PLANS**
 ISSUED FOR PERMITTING

REVISIONS	
N.	DESCRIPTION

DATE: 8-25-10
 SCALE: AS SHOWN
 DESIGNER: AM
 DRAWN BY: JAC
 FILE # 10175-001.DWG
 PROJECT NUMBER
10175
 SHEET NO.
\$201



- NOTES**
1. MODIFICATIONS TO THESE AND OTHER DRAWINGS, APPROVED BY THE ARCHITECT, SHALL BE SHOWN ON THE DRAWING BY A CHANGED LINE OR A CIRCLE WITH THE NUMBER OF THE REVISION.
 2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2006 MAINE BUILDING CODE.
 3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2006 MAINE MECHANICAL CODE.
 4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2006 MAINE ELECTRICAL CODE.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITTING	8/25/10	JAC
2			
3			
4			
5			
6			
7			
8			
9			
10			

A1 LOFT FLOOR FRAMING (SHOWN OVER 3RD FLOOR DEMO PLAN)
 SCALE: 1/8" = 1'-0"

A2 3RD FLOOR FRAMING (SHOWN OVER 2ND FLOOR DEMO PLAN)
 SCALE: 1/8" = 1'-0"

A3 2ND FLOOR FRAMING PLAN (SHOWN OVER 1ST FLOOR DEMO PLAN)
 SCALE: 1/8" = 1'-0"

