

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 040652

This is to certify that Mccarthy Edward A & /Papi Romano Inc
has permission to 12' x 28' dormer for third floor
AT 40 Pleasant St 040 B006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
JUN 10 2004
CITY OF PORTLAND

[Handwritten Signature]
6/10/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0652	Issue Date: JUN 10 2004	CBL: 040 B006001
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Location of Construction: 40 Pleasant St	Owner Name: Mccarthy Edward A &	Owner Address: 40 Pleasant St	City of Portland	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone 2077973381	
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: B3	

Past Use: Single Family	Proposed Use: Single Family w/12' x 28' dormer for third floor	Permit Fee: \$291.00	Cost of Work: \$0.00	CEO District: 1
12' x 28' dormer for third floor		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>MA</i>	INSPECTION: Use Group <i>R-3</i> Type <i>SB</i> <i>BOCA 1999</i> Signature: <i>[Signature]</i>	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: kwd	Date Applied For: 05/24/2004	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/10/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <i>see attached</i> <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>6/10/04</i>
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PERMIT ISSUED
JUN 10 2004
CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0652	Date Applied For: 05/24/2004	CBL: 040 B006001
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Location of Construction: 40 Pleasant St	Owner Name: Mccarthy Edward A &	Owner Address: 40 Pleasant St	Phone:
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone (207) 797-3381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family w/12' x 28' dormer for third floor	Proposed Project Description: 12' x 28' dormer for third floor
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/10/2004
Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 06/10/2004
Note: **Ok to Issue:**

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>40 PLEASANT STREET PORTLAND</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>040</u> Block# <u>B</u> Lot# <u>006</u>	Owner: <u>TED & ROBIN M^{RS} CARTHY</u>	Telephone: <u>774-7788</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>TED & ROBIN M^{RS} CARTHY</u>	cost Of Work: \$ <u>30,000</u> Fee: \$ <u>291.⁰⁰</u>
Current use: <u>RESIDENTIAL - SFR</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>DOMESTIC SFR w/ 28' x 12' do mer on 3rd floor.</u>		
Project description:		
Contractor's name, address & telephone: <u>PAPI & ROMANO BLDGS., INC. P.O. Box 1079 PORTLAND, ME 04104 207-797-3381</u>		
Who should we contact when the permit is ready: <u>CONTRACTOR</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-3381</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

MAY 24 2004

Signature of applicant: <u>By: Rick Romano</u>	Date: <u>5/24/04</u>
--	----------------------

FOR: PAPI & ROMANO BLDGS. ITS PRESIDENT

This is NOT a permit, you may not commence ANY work until the permit is issued.
If You are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION COMMITTEE

Stephen Sewall, Chair
Cordelia Pitman, Vice Chair
Edward Hobler
Susan Wroth
Camillo Breggia
Robert Parker
John Turk

November 17, 2003

Robin and Ted McCarthy
40 Pleasant Street
Portland, Maine 04101

Re: Roof dormer construction – 40 Pleasant

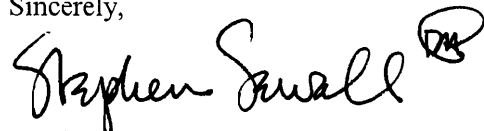
Dear Mr. and Mrs. McCarthy:

On November 5, 2003, the City of Portland's Historic Preservation Committee voted 6-0 (Hobler absent) to approve your application for a Certificate of Appropriateness for the construction of a rear roof dormer at 40 Pleasant Street. The approval was granted without conditions.

All improvements shall be carried out as shown on the submitted plans and specifications submitted for the 11/05/03 public hearing. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,



Stephen Sewall, Chairman
Historic Preservation Committee

cc: Joe Delaney
Rick Romano
Building Inspections

L & L STRUCTURAL
ENGINEERING SERVICES, INC
Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 790-5432

McCARTHY RESIDENCE 40 PLEASANT STREET, PORTLAND, MAINE

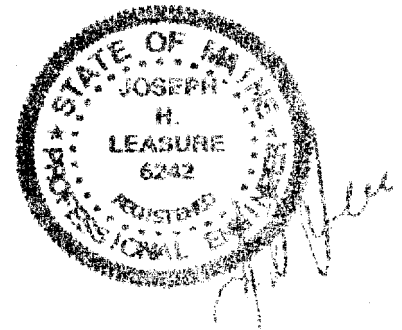
SHED DORMER ADDITION

STRUCTURAL DRAWINGS
& GENERAL NOTES

RECEIVED
MAY 24 2004

prepared by: Papi & Romano Inc.
P.O. Box 1079
Portland, Maine 04104

Submission Date: May 18, 2004
Drawings: S1 thru S6



GENERAL NOTES:

- The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, registers, sleeves, depressions, and other details not shown on structural drawings.
 3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
 4. Do not scale plans.
 5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
 6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
 7. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie downs. Such material shall remain the property of the contractor after completion of the project.
 8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads: (Ground snow load = 60 PSF)
 Roof.....42 PSF + Drift
 Floor40 PSF
3. Design wind loads are based on exposure D using 85 mph basic wind speed per BOCA.
4. Seismic design per BOCA.

designed by:	JHL	McCARTHY RESIDENCE 40 PLEASANT STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC SIX O STREET SOUTH PORTLAND, MAINE 04108
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	MAY 18, 2004	GENERAL NOTES	PHONE: (207) 762-4830 FAX: (207) 768-5472 EMAIL: LLEN@L&L.COM

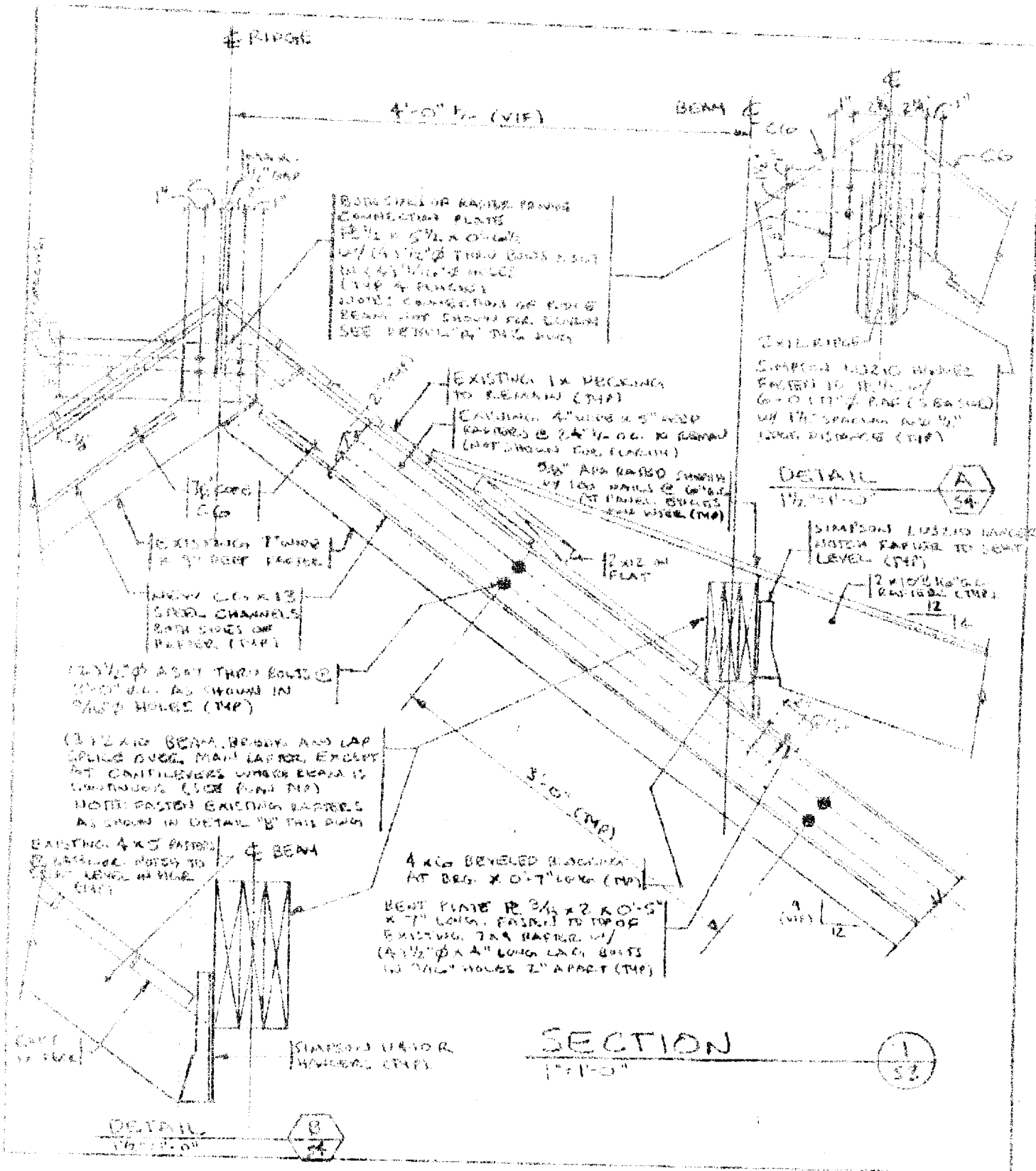
STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"-Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"Ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. Air welding shall conform to AWS D1.1-Latest edition. Welding electrodes shall be E70XX.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground, masonry or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide 1x3 lumber bridging or solid 2x blocking, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Provide Simpson H2.5 Hurricane anchors at each end of timber trusses and rafters.
7. Nailing not specified shall conform with BOCA appendix C.
8. Provide 19/32" thick APA rated sheathing on roof framing.
9. Provide 15/32" thick APA rated sheathing on exterior wall framing.
10. Provide 23/32" thick APA rated sheathing on floor framing.

Designed by:	JHL	McCARTHY RESIDENCE 40 PLEASANT STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04105
Drawn by:	JHL		
Checked by:	MFI		
Scale:	NOTED		
Date:	MAY 18, 2004	GENERAL NOTES	PHONE: (207) 767-4530 FAX: (207) 769-5432 EMAIL: L&L@L&L.COM
			32



BEAM SIZE OF RAFTER TRUSS
COMPLETING PLATE
2x12 x 5/8" x 0'-6"
W/ (A) 1/2" Ø THRU BOLT 2-3/4"
IN 2x12 W/ 2" W/ 2" W/ 2"
(TOP & BOTTOM)
NOTE: CONNECTION OF RIGID
BEAM AND SHOWN FOR DESIGN
SEE DRAWING FOR THIS

EXISTING RIGID
SIMPSON LUSZIG W/ 2x12
FRONT TO 11'-0" W/
6'-0" (TOP) RIGID (S.B. SHD)
W/ THE SPACING AND 1/2"
LONG DISTANCE (TOP)

DETAIL A
11'-0"

SIMPSON LUSZIG W/ 2x12
FRONT RIGID TO DECK
LEVEL (TOP)

2 x 10/12 W/ 2x12
12

EXISTING IN PROCESS
TO REMAIN (TOP)
EXISTING 4" W/ 2x12 W/ 2x12
RAFTERS @ 24" W/ 2x12 W/ 2x12
(NOT SHOWN FOR DESIGN)

5/8" AFD RIGID SHOWN
W/ 100 W/ 2x12 W/ 2x12
(AT PANEL BRASS
2x12 W/ 2x12)

2 x 12 W/ 2x12
FLAT

EXISTING TRUSS
2x12 W/ 2x12

NEW 2x12 x 12
STEEL CHANNELS
BOTH SIDES OF
RAFTER (TOP)

(A) 1/2" Ø AFD THRU BOLT
2-3/4" W/ 2x12 W/ 2x12
AS SHOWN IN
W/ 2x12 HOLES (TOP)

(B) 2x12 BEAM, BRASS AND LAP
SPICE BUGG MAIN LAP FOR EXCEPT
AT CANTILEVERS WHERE BRASS IS
CONTINUOUS (SEE PLAN TOP)
NOTE: FASTEN EXISTING RAFTERS
AS SHOWN IN DETAIL "B" THIS DRAW

EXISTING 4x6 RAFTER
2x12 W/ 2x12 W/ 2x12
AS SHOWN IN
W/ 2x12 HOLES (TOP)

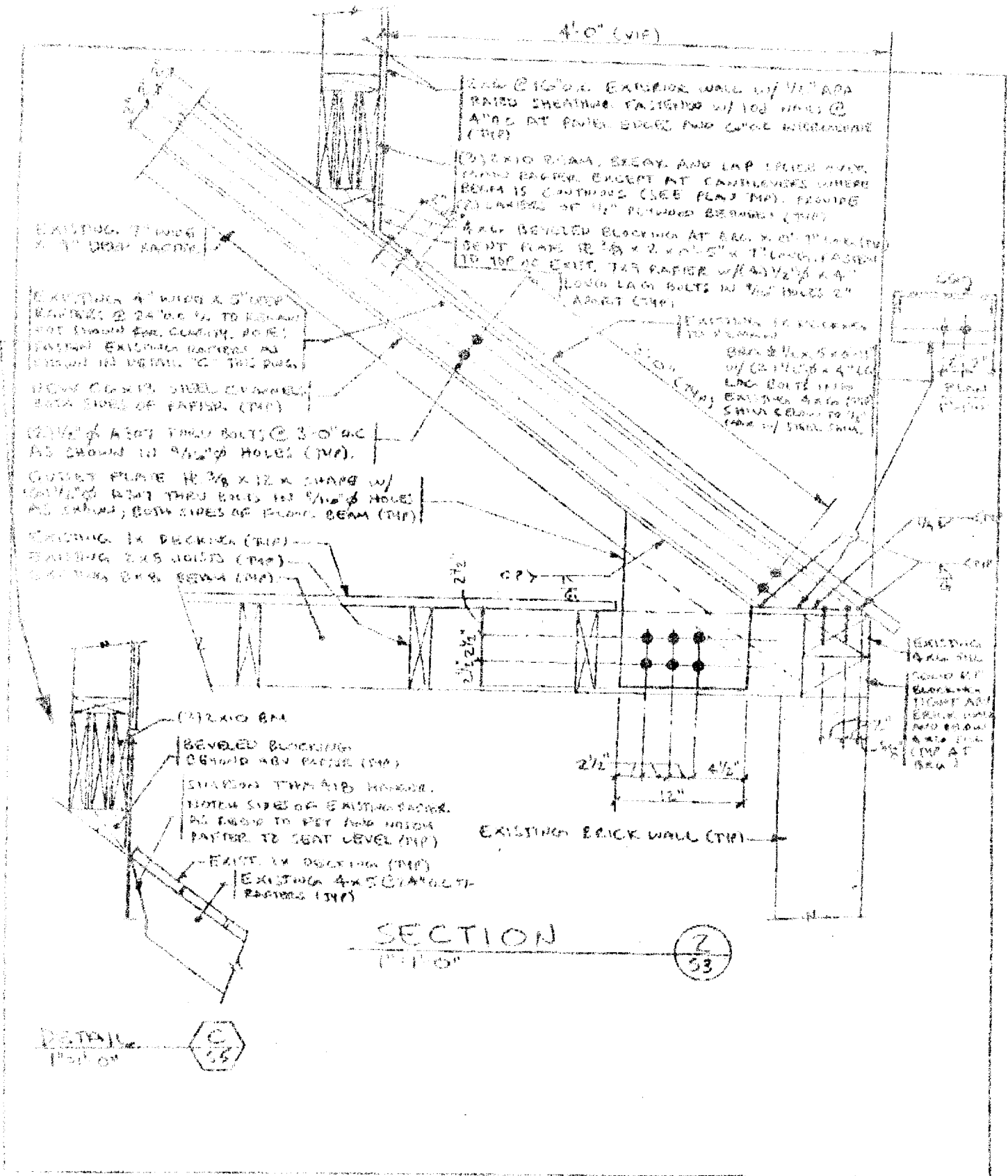
4x6 BEVELED BLOCKING
AT BRG. x 0'-7" LONG (MP)

BEAM PLATE R 3/4" x 2 x 0'-5"
x 7" LONG, FASTEN TO TOP OF
EXISTING 2x12 RAFTER W/
(A) 1/2" Ø x 2" LONG LAG BOLTS
W/ 2x12 HOLES 2" APART (TOP)

SECTION 1-1
11'-0"

DETAIL B
11'-0"

Designed by:	JHL	FACCAITHN RESIDENCE PLEASANT STREET PORTLAND, MAINE DRYER, ADDITION SECTION & DETAILS	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106 PHONE (207) 767-1830 FAX (207) 768-2632 EMAIL: L&L@L&L.COM
Drawn by:	JHL		
Checked by:	MFL		
Scale:	NOTED		
Date:	5/15/06		
			54



Designed by:	JHL
Drawn by:	JHL
Checked by:	MFL
Date:	NOTED
Scale:	AS SHOWN

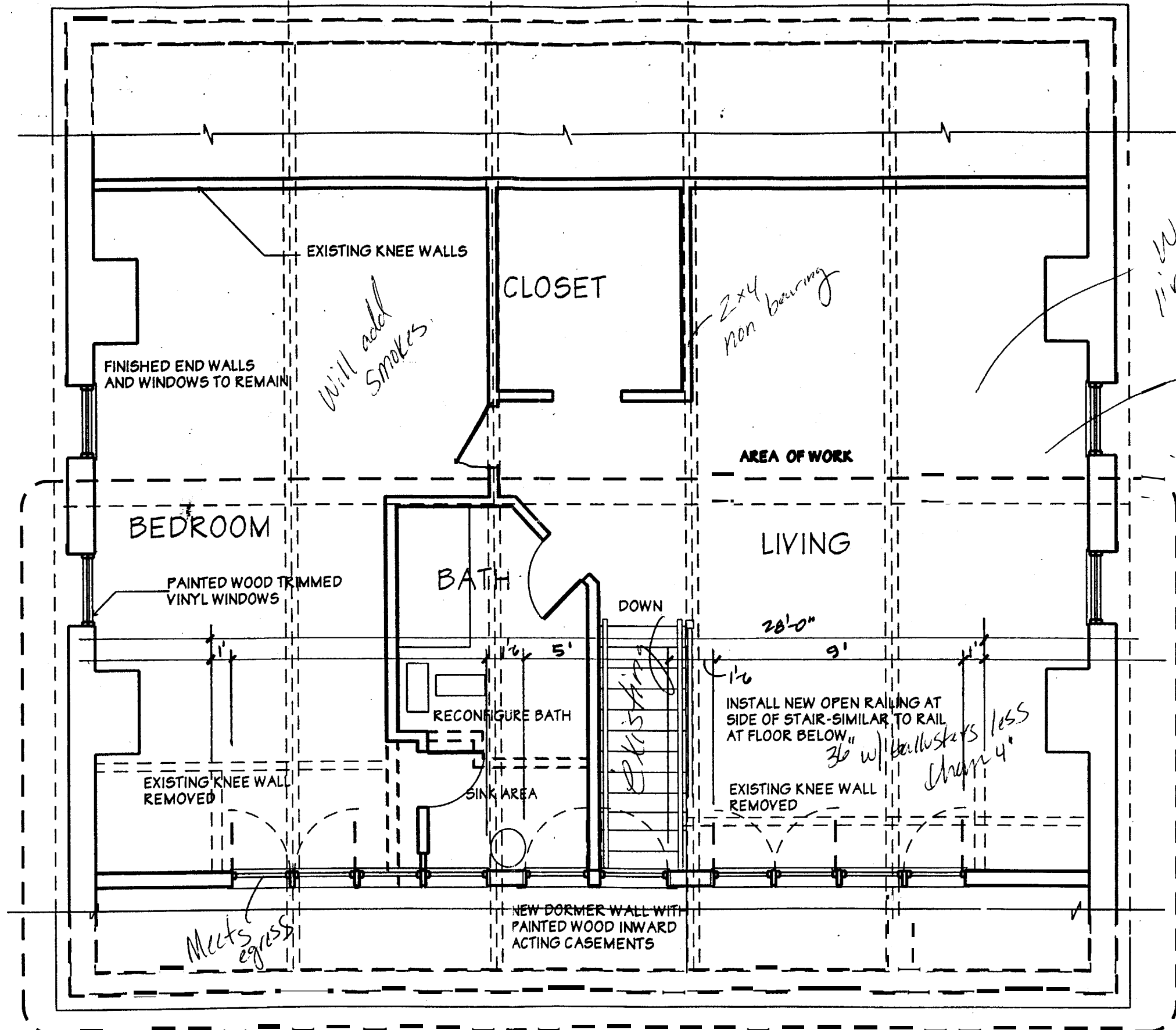
MICASTON RESIDENCE
 PLEASANT STREET
 PORTLAND, MAINE

DO NOT REMOVE OR ALTER
 ANY PART OF THIS DRAWING

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 56 D STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (707) 787-4870
 FAX: (707) 786-5432
 EMAIL: L&L@DACK.COM

5/05



EXISTING KNEE WALLS

CLOSET

FINISHED END WALLS AND WINDOWS TO REMAIN

Will add smokers

2x4 non bearing

AREA OF WORK

BEDROOM

BATH

LIVING

PAINTED WOOD TRIMMED VINYL WINDOWS

DOWN

28'-0"

RECONFIGURE BATH

INSTALL NEW OPEN RAILING AT SIDE OF STAIR-SIMILAR TO RAIL AT FLOOR BELOW
36" w/ ballusters less chamfer

EXISTING KNEE WALL REMOVED

SINK AREA

EXISTING KNEE WALL REMOVED

Meets egress

NEW DORMER WALL WITH PAINTED WOOD INWARD ACTING CASEMENTS

Was living space prior in 75% of floor area

MC CARTHY RESIDENCE
PLEASANT STREET, PORTLAND, MAINE

WHIPPLE CALLENDER ARCHITECTS

551 CONGRESS STREET
PORTLAND ME 04101
775-2696

DATE 10/30/2003

PROJECT NUMBER

SCALE 1/4" = 1'-0"

DRAWN JAD

CHECKED

REVISED

CONTENTS

FLOOR PLAN

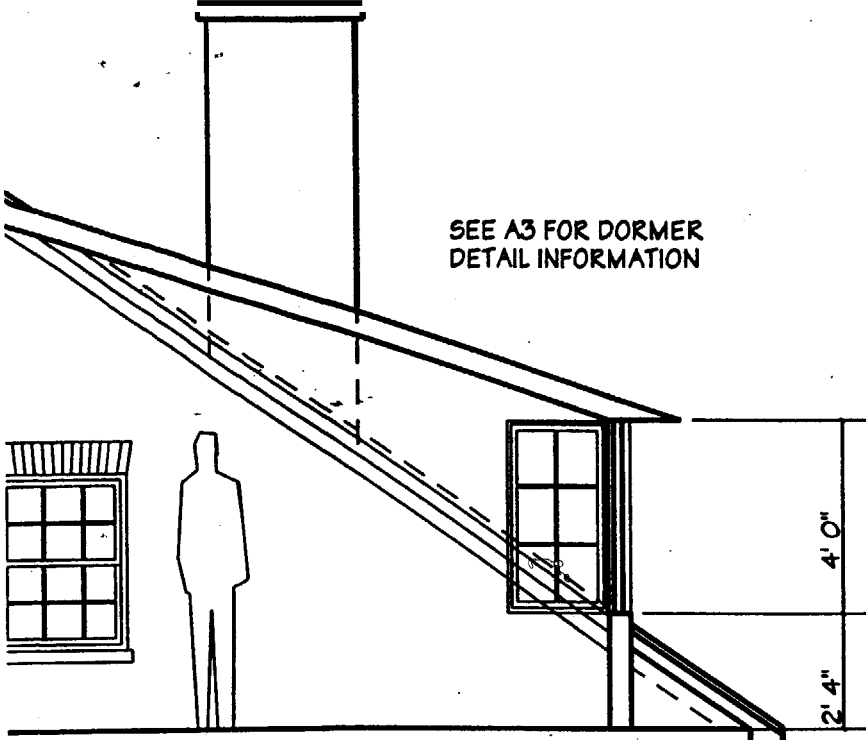
SHEET of

AI

1
AI **THIRD FLOOR PLAN**
1/4" = 1'-0"

MAY 24 2004

SEE A3 FOR DORMER
DETAIL INFORMATION



SECTION AND ELEVATION
SHOWING 6' 4" HEAD, 4' 0" WINDOW
AND 28" SILL



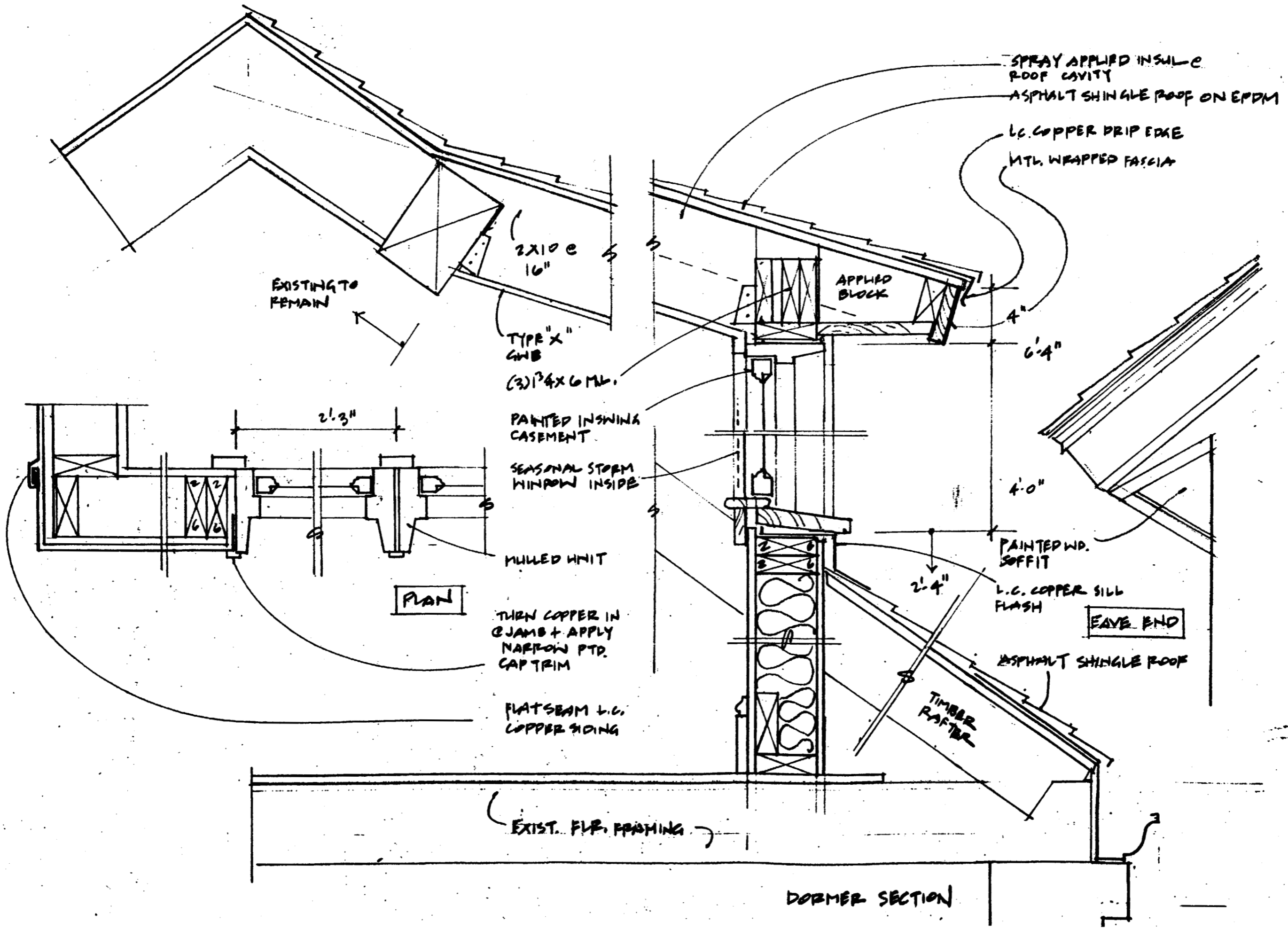
MC CARTHY RESIDENCE
PLEASANT STREET, PORTLAND, MAINE

FORM

DATE 10/30/2009
PROJECT NUMBER
SCALE 1/4" = 1'-0"
DRAWN JAD
CHECKED
REVISED

CONTENTS
DETAILS

SHEET OF
A2





CITY OF PORTLAND, MAINE

Department of Building Inspections

_____ 20 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ____ Plumbing (I5) ____ Electrical (I2) ____ Site Plan (U2) ____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy