

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 52 Maple St.		Owner: GreenBrook LLC		Phone: 1(603)-436-4256		Permit No: 010100
Owner Address: 54 McNabb Ct. Portsmouth, N.H.		Lessee/Buyer's Name: 03801		Phone: BusinessName:		
Contractor Name: Matthew Beebe LLC		Address: 54 McNabb Ct. Portsmouth, N.H. 03801		Phone:		Permit Issued: MAR - 1 01
Past Use: Un-Occupied Single Fam.		Proposed Use: Single Family		COST OF WORK: \$ 140,000		
				PERMIT FEE: \$ 864.00		Zone: R-6 CBL: 040-A-014
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		
				INSPECTION: Use Group: R-3 Type: SB BOCA 99 Signature: <i>Huffman</i>		Zoning Approval: <i>ok with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description: Single Family Residence				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		
Permit Taken By: CHRIS		Date Applied For: February 21, 2001				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

February 21, 2001

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT 2

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction:	52 MAPLE STREET
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Total Square Footage of Proposed Structure 1500 SF	Square Footage of Lot 1155 SF
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Tax Assessor's Chart, Block & Lot Number Chart# 040 Block# A Lot#014	Owner: GREEN BROOK LLC 54 MCWABB CT PORTSMOUTH NH 03801	Telephone#: (603) 436-4256
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Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: Fee: \$ 140,000 \$ 804-
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Current use: not occupied / single Proposed use: Single Family Residence
Family Residence.

Project description:
complete renovation of existing structure

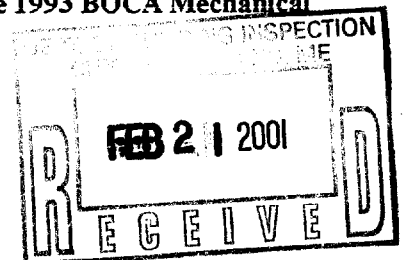
Contractor's Name, Address & Telephone <u>MATTHEW BEERE LLC 54 MCWABB CT PORTSMOUTH NH 03801</u>	Rec'd By: <u>2.21.01</u>
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Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)



A "minor/minor" site plan review is required for New Single Family Homes Only (does not include additions, alterations or accessory structures) prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor. FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

Building Plans are required for all construction, including interior rehab (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Matthew D Beebe</i>	Date: <i>2/21/01</i>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

AUTOCAD OR ADOBE FORMAT REQUIRED FOR ALL COMMERICAL PROJECTS

LAND USE - ZONING REPORT

ADDRESS: 52 Maple Street DATE: 3/1/01

REASON FOR PERMIT: complete renovation of existing single family

BUILDING OWNER: Greenbrook LLC C-B-L: 040-A-014

PERMIT APPLICANT: Matthew Beebe

APPROVED: with conditions: #1, #6, #12, #13

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.
12. Other requirements of condition: you are allowed for your entry way to go up to your lot line. you shall notify your abutting neighbor of the work you intend to do concerning the lot line
13. If there is any change to your entry way stairs you must amend your permit BEFORE starting that work. Any proposal to expand on to the easement area shall require a written permission from that owner

Marge Schmuckal, Zoning Administrator

Marge Schmuckal

BUILDING PERMIT REPORT

DATE: 22 February 2001 ADDRESS: 52 Maple ST. CBL: 040-A-014

REASON FOR PERMIT: Reno. Single Family Dwelling

BUILDING OWNER: Greenbrook LLC

PERMIT APPLICANT: CONTRACTOR Matthew Beebe LLC

USE GROUP: R-3 CONSTRUCTION TYPE: 50 CONSTRUCTION COST: \$140,000 PERMIT FEES: \$86400

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *6, *9, *11, *13, *14, *15, *19, *26, *22, *28, *29, *30, *31, *32, *33, *34, *35

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
*6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
*8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
*10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
*12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
*16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
*17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
*18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

2/24

- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- *28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *See Attached*
- 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 33. Bridging shall comply with Section 2305.16.
- 34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0) *SKYLIGHTS 2406.0*
- 35. All flashing shall comply with Section 1406.3.10.
- 36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

[Signature]
 P. Sargent-Hoffes, Building Inspector
 Cc: A. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

BK11534PG006

**EXHIBIT A
PAYSON BUILDING
54-56 Maple Street
Portland, Maine**

A certain lot or parcel of land with the buildings thereon, situated on the westerly side of Maple Street in the City of Portland, County of Cumberland, and State of Maine, and being numbered 54 on said street and consisting of the southernmost part of a duplex brick dwelling house bounded and described as follows:

Commencing at a point on the westerly part of said Maple Street at a drill hole in the division wall in the center of said duplex brick dwelling house; thence westerly along said division line a distance of fifty-seven and five hundredths (57.05) feet to a wooden post and to land formerly of one John B. Brown; thence in a southerly direction and along said Brown land thirty-one (31) feet to an iron post and to land formerly of the Patch heirs; thence in an easterly direction along line of said Patch heirs a distance of sixty and five tenths (60.5) feet to said Maple Street; thence in a northerly direction along the westerly side of said Maple Street a distance of thirty-one and ninety-six hundredths (31.96) feet to the point of beginning. It is agreed between the parties hereto, their heirs and assigns, that the southernmost part of the above described land consisting of 4.8 feet frontage by 40.5 feet depth is to be used in common with premises located at 52 Maple Street.

→ EASEMENT
TO 52
MAPLE
STREET

Also another certain lot or parcel of land with the buildings thereon, situated in said Portland on the westerly side of said Maple Street and are numbered fifty-six (56) on said street according to the plans of the City of Portland, bounded and described as follows:

Beginning on the line of Maple Street at a point in the middle of the dividing wall of the block of two houses now on said lot; thence westerly through the middle of said wall fifty-four (54) feet, more or less, to land now or formerly of Henry Stephenson; thence northerly by said land now or formerly of said Henry Stephenson forty-three (43) feet; thence easterly to a point on Maple Street distant forty-two (42) feet four (4) inches from the corner of Maple Street and Pleasant Street; thence southerly on the line of Maple Street to the point of beginning.

RECEIVED
RECORDED REGISTRY OF DEEDS

94 JUL 15 PM 2:56

CUMBERLAND COUNTY

John B. O'Brien

FEB 28 2001

RECEIVED

BK 11534 PG 005

42926

WARRANTY DEED

KNOW ALL BY THESE PRESENTS, That MAINE COLLEGE OF ART, a non-profit corporation organized and existing under the laws of the State of Maine, with a principal place of business in Portland, County of Cumberland, State of Maine, in consideration of One Dollar (\$1.00) and other valuable consideration paid by INGRAHAM, a Maine non-profit corporation with a principal place of business in Portland, County of Cumberland, State of Maine, and whose mailing address is 237 Oxford Street, Post Office Box 1868, Portland, Maine 04104, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey, with WARRANTY COVENANTS, unto the said INGRAHAM, the property more particularly described on Exhibit A attached hereto.

IN WITNESS WHEREOF the said Joan Fowler Smith, Vice President of Maine College of Art has set her hand and seal, in her said capacity, this 4th day of July, 1994.

MAINE REAL ESTATE TAX PAID

MAINE COLLEGE OF ART

Deborah D. McKenney
Witness

By: Joan Fowler Smith
Joan Fowler Smith, Its Vice President

STATE OF MAINE
CUMBERLAND, SS:

July 4, 1994

Personally appeared the above-named Joan Fowler Smith, Vice President of Maine College of Art, and acknowledged the foregoing instrument to be her free act and deed in said capacity, and the free act and deed of Maine College of Art. Before me,

Deborah D. McKenney
Notary Public/Attorney at Law

Deborah D. McKenney

Name Typed or Printed

My Commission Expires: 02-01-2000

SEAL

FEB 28 2001

RECEIVED

Parcel Profile

Owner / Values	Owner History	General Data	Permit / Sales	Notes
Land	Building Data	Sketch	Outbuildings	Income / Market
				Profile

Description

This property in PORTLAND MAINE (7.5) is .026 acres located in a R6 zone, improved by a OLD STYLE dwelling built in 1900, having 8 rooms, 4 bedrooms, 1 full bath(s) and 0 half bath(s). The total square feet of living area is 1440 square feet.

Deed Book:	15756
Deed Page:	290
Deed Date:	09/29/2000
Deed Price:	24,900
Prior Total Value:	36,400
Current Land Value:	27,500
Current Building Value:	8,900
Current Total Value:	36,400



Parcel Map - GIS



Parcel Control Center

● Exit	? Help	+ Add
✓ Save	⊞ Calc	
📷 Photo	📄 PRC	
✂ Delete	⌛ Cancel	

Parcel Index

PARCEL ID

? Query List

Enter Criteria to choose

Owner Name
GREEN BROOK LLC

HTE ACCOUNT #

Property Address
00052 MAPLE ST

PARCEL ID
040 A014001

ROUTING NO
40

Class
R-11 What If

Card: Load Total

1 < >

CLT

MATTHEW D. BEEBE LLC



Construction Management

Residential Design Services

2/26/01

Inspection Services
City of Portland
389 Congress Street
Portland, Maine 04101

Attn: Marge Schmuckel

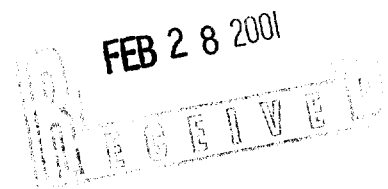
Dear Marge:

Enclosed please find ^{Three} ~~two~~ updated drawings showing the removal of the rear doorway and the modified floor plan reflecting that change. Further, I have enclosed a copy of the deed to the abutting property indicating an easement in perpetuity to use the land between 52 Maple and 54/56 Maple "in common." Nevertheless, my new proposed side entry/stairs will not encroach the common area. Our other option, a back stair, seems much less safe in several regards and I would prefer not to use that option unless compelled. A side entry, well lighted, will be the best means of egress both for personal safety and in the event of a fire or emergency. I believe the easement was meant to protect the owners of 52 Maple from the exact difficulty that modern zoning lines have now imposed on the property.

Please let me know if you have further questions.

Respectfully,


Matthew D. Beebe



15756/290

0056672

BK 05756PG290

WARRANTY DEED

BINTLIFF'S RESTAURANT CORPORATION, a Maine corporation, with a place of business at Portland, Maine (whose mailing address is 98 Portland Street, Portland, Maine 04103), for consideration paid, grants to GREEN BROOK, LLC, a New Hampshire Limited Liability Company (whose mailing address is 54 McNabb Court, Portsmouth, NH 03801), with Warranty Covenants, the following described real property situated at 52 Maple Street, Portland, Cumberland County, Maine:

A certain lot or parcel of land with the buildings thereon, situated on the Westerly side of Maple Street, Portland, Maine, and known as No. 52 Maple Street, described more fully as follows:

Being bounded on the Northerly side by property now or formerly of Thomas F. Joyce, a distance of 60.5 feet, more or less, on the Westerly side by property now or formerly of J. B. Brown & Sons, a distance of 19 feet, more or less, on the Southerly side by land or property formerly of Patch heirs, as distance of 61.07 feet, more or less, to Maple Street; thence Northerly along the Westerly side line of Maple Street, a distance of 19 feet, more or less, to the point of beginning.

On the Northerly side of said premises, joining said Joyce property, there is a 4.8 foot right of way to be used in common with both number 52 and 54 Maple Street.

Meaning and intending to convey the same premises described in a deed from Dowd Property, LLC to Grantor dated April 12, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14679, Page 110.

See Also a deed from Christine Mulhern D/k/a Christine F. Gladu to Dowd Properties, LLC dated December 14, 1998 and recorded in the Cumberland County Registry of Deeds in Book 14387, Page 139.

In Witness whereof, Roger Bintliff, President of Bintliff's Restaurant Corporation has caused this instrument to be signed this 29th day of September, 2000.

[Signature]
Witness

BINTLIFF'S RESTAURANT CORPORATION
[Signature]
Roger Bintliff, its President

STATE OF MAINE
County of Cumberland, ss.

Personally appeared the above named Roger Bintliff, President of Bintliff's Restaurant Corporation and acknowledged the foregoing instrument to be his free act and deed in said capacity and the free act and deed of said company.

RECEIVED
RECORDED REGISTRY OF DEEDS

2800 SEP 29 PM 3: 29

CUMBERLAND COUNTY

[Signature]

Before me,

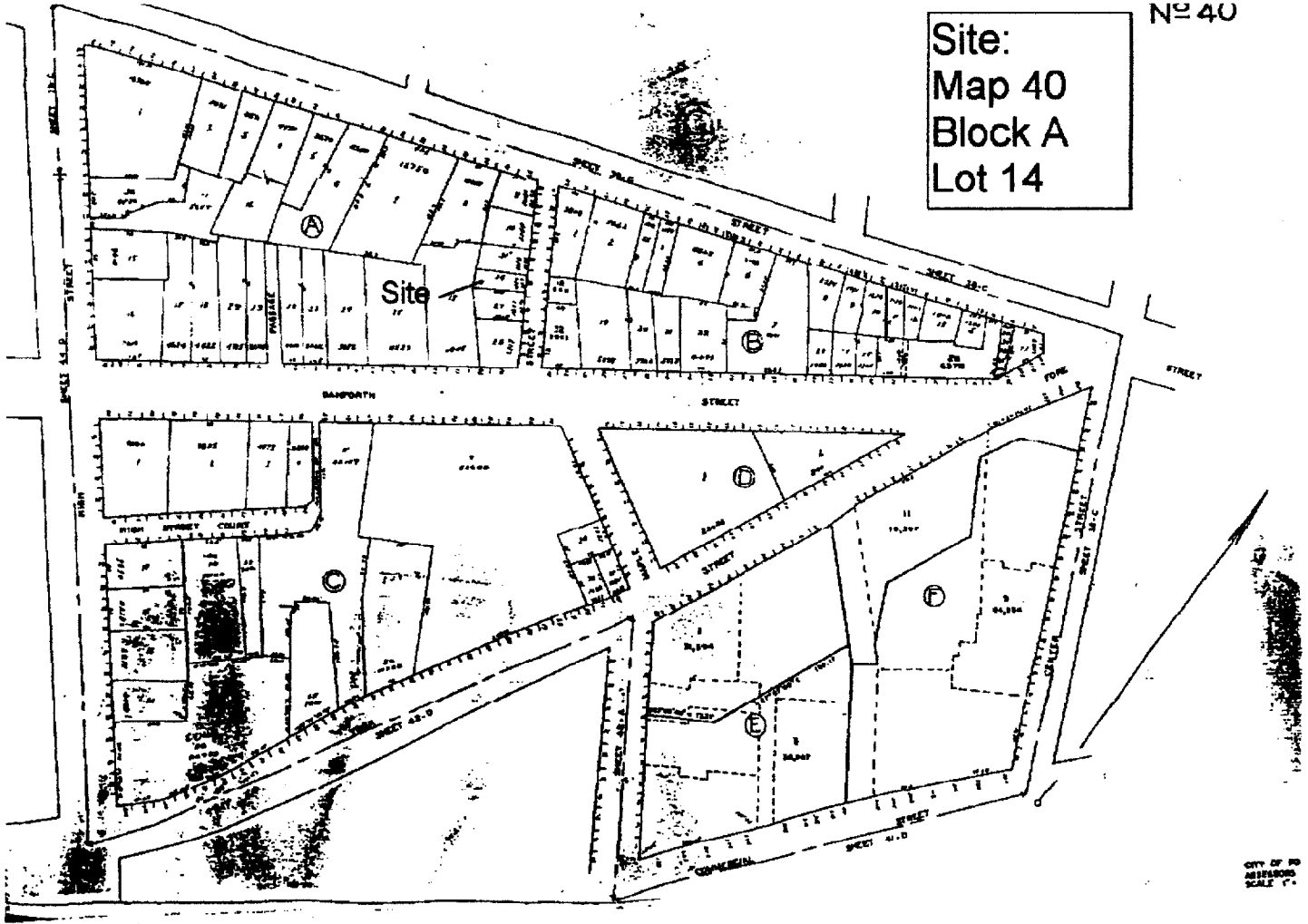
[Signature]

Notary Public
Printed Name: *Thomas W. Taverner*
My Commission Expires: 12-11-02

MAINE PENAL ESTATE TAX PAID

Nº 40

Site:
Map 40
Block A
Lot 14



52 MAPLE STREET PROJECT
WINDOW SCHEDULE

MARK	MANUFACTURER	GLASS SIZE	ROUGH OPENING	MATERIAL	TYPE	AMOUNT
A	BROSCO	14 X 28	2'-10 X 5'-5"	WOOD	DOUBLE-HUNG	4
B	BROSCO	14 X 28	5'-7 3/4" X 5'-5"	WOOD	DOUBLE-HUNG	1
C	BROSCO	14 X 24	2'-10" X 4'-9"	WOOD	DOUBLE-HUNG	6
D	BROSCO	14 x 30	2'-10" x 5'-9"	WOOD	DOUBLE-HUNG	3
E	BROSCO	13 1/2 X 22	2'-9" X 4'-5"	WOOD	DOUBLE-HUNG	1
F	VELUX	N/A	30 1/2" X 46 7/8"	CLAD	SKYLIGHT	2

SPECIFICATIONS

Authentic Divided Light (SSB)

Flat casing (1 1/16" x 3 3/4" head and sides), Historic Sill, Insect Screen, Cam Sash Lock, 6 9/16" Jamb (K.D.), Tilt-N' Clean Balances, Low "E" Energy Panel.

VELUX SKYLIGHTS: Tempered, Low-E, Argon Gas-Filled.

52 MAPLE STREET PROJECT
 EXTERIOR/INTERIOR DOOR SCHEDULE

EXTERIOR					
MARK	MANUFACTURER	ROUGH OPENING	MATERIAL	TYPE	#
101	Simpson F2134	2'-10 X 5'-5"	WOOD	Entry	1
102	Andersen FWH5068APLR	5'-7 3/4" X 5'-5"	CLAD	Hinged Patio	1
INTERIOR					
	MANUFACTURER	ROUGH OPENING	MATERIAL	TYPE	#
1268LH	Morgan (or equiv.)	16 1/2" x 82 1/2"	WOOD	2 Panel Pine	1
2068RH	Morgan (or equiv.)	26 1/2' x 82 1/2"	WOOD	4 Panel Pine	1
2068LH	Morgan (or equiv.)	26 1/2" x 82 1/2"	WOOD	4 Panel Pine	1
2468LH	Morgan (or equiv.)	30 1/2" x 82 1/2"	WOOD	4 Panel Pine	1
2468RH	Morgan (or equiv.)	30 1/2" x 82 1/2"	WOOD	4 Panel Pine	1
2668RH	Morgan (or equiv.)	32 1/2" x 82 1/2"	WOOD	4 Panel Pine	5
2668LH	Morgan (or equiv.)	32 1/2" x 82 1/2"	WOOD	4 Panel Pine	2
2868LH	Morgan (or equiv.)	34 1/2" x 82 1/2"	WOOD	4 Panel Pine	1
4068	Morgan (or equiv.)	51" x 82 1/2"	WOOD	4 PP/Dbl. Dr.	1
4068	Morgan (or equiv.)	51" x 82 1/2"	WOOD	4 PP/Dbl. Dr.	1

SPECIFICATIONS

EXTERIOR

1 1/16" x 3 3/4" Flat Casing, Oak sill, key-in Knob, Single Cylinder deadbolt, Brass Hdwe, Lockguard security plate.

INTERIOR

1 3/8", Bored-No Lockset, single rabbet, solid clear jamb, brass plated hinges.

GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH THE BOCA CODE 1996 THE NATIONAL ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES. *BOCA 99 #*
2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO STATE AND LOCAL BUILDING CODES. ✓
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND CONSTRUCTION. ✓
4. ALL INSTALLATION OF MECHANICAL, HEATING, VENTILATION, AND ELECTRICAL COMPONENTS SHALL BE IN CONFORMANCE WITH BUILDING CODE REQUIREMENTS. *STATE ✓ oil & solid fuel*
5. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS AND PROVIDE ADEQUATE GUARDS AND BARRIERS TO PREVENT INJURY TO PERSONS AND PROPERTY. ✓
6. THE CONTRACTOR SHALL CORRDINATE ALL UTILITY INSTALLATIONS WITH THE APPROPRIATE UTILITY COMPANY. ✓
7. IF ANY WORK SHOWN IS UNCLEAR OR AMBIGUOUS, CONTACT THE DESIGNER BEFORE PROCEEDING WITH THAT ASPECT OF WORK. ✓
8. CHECK PLAN DIMENSIONS -EITHER TO FRAME OR PLASTER ✓
9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. ALL CONTRACTORS SHALL REVIEW ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE PROCEEDING. REQUEST CLARIFICATION FOR ANY DIMENSION REQUIRED. ✓
10. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION. ✓
11. CONTRACTOR AND SUBCONTRACTORS SHALL MAKE A FIELD INSPECTION PRIOR TO SUBMITTING BIDS. ✓
12. MATTHEW D. BEEBE LLC TO RETAIN SERVICES OF EMANUEL ENGINEERING, A LICENSED STRUCTURAL ENGINEERING FIRM, TO MAKE ON SITE INSPECTION OF EXISTING CONDITIONS AND TO CONFIRM THE SIZE OF ALL HEADERS, BEAMS, CONNECTIONS, ETC. OF PROPOSED STRUCTURAL IMPROVEMENTS. ✓

5. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL POST LOCATIONS, (4) 2X8, OR (4) 2X6 AS APPLICABLE. ✓
6. ALL WOOD IN CONATCT WITH CONCRETE MASONRY OR EARTH SHALL BE PRESSURE-TREATED WITH A CCA-CO 4.0 PROCESS. ✓
7. ALL WOOD FRAMING SHALL BE BUILT PLUMB, LEVEL, SQUARE, AND TRUE WITH ADEQUATE BRACING AND CONNECTION HARDWARE TO ENSURE A RIGID STRUCTURE. ✓
8. ALL PLYWOOD WILL BE LAID WITH LONG DIMENSIONS PERPENDICULAR TO SUPPORTS; STAGGER ALL JOINTS. ✓
9. ALL CONSTRUCTION MATERIALS WILL BE FASTENED PER TABLE 2305.2, "FASTENING SCHEDULE," AS REQUIRED BY B.O.C.A. NATIONAL BUILSING CODE 1996. ✓
10. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE (2)- 2X6 BUILT-UP WITH PLYWOOD UNLESS OTHERWISE NOTED. ✓
11. ALL HEADERS, EITHER OVER SIX FEET OR BEARING A BEAM END, SHALL HAVE DOUBLE JACKS. ✓
12. CONTRACTOR TO TAKE PRECAUTION THAT ALL BEAM END SUPPORTS TRACE DOWN TO SOLID FOOTING. ✓
13. APPLY CONSTRUCTION ADHESIVE BEWTEEN ALL JOIST AND PLYWOOD FLOORS. ✓
14. INSTALL ADDITONAL JOIST AT PARALLEL INTERIOR WALLS. ✓
15. ALL STAIRS, HANDRAILS, AND GUARDS SHALL BE INSTALLED PER B.O.C.A. SECTION 1014,1021,AND 1606.4. ✓ *SR*
16. SECOND FLOOR EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. PER B.O.C.A. SECTION 1010.4. ✓ *1999*
17. APPLY 36" WIDE ICE AND WATER SHIELD @ DRIP EDGES AND VALLEYS UNLESS NOTED OTHERWISE. ✓

LIST OF DRAWINGS

- A-0 GENERAL NOTES
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- A-3 NORTH ELEVATION
- A-4 EAST--WEST ELEVATIONS
- A-5 MAIN CROSS SECTION
- A-6 END CROSS SECTIONS
- S-1 FOUNDATION PLAN
- S-2 FRAMING-FIRST FLOOR JOISTS
- S-3 FRAMING- SECOND FLOOR JOISTS
- S-4 FRAMING- SECOND FLOOR CEILING
- S-5 FRAMING-ROOF
- S-6 WALL SECTION
- S-7 DETAILS
- D-1 DEMOLITION - FIRST FLOOR PLAN
- D-2 DEMOLITION - SECOND FLOOR PLAN
- E-1 ELECTRICAL - CELLAR PLAN
- E-2 ELECTRICAL - FIRST FLOOR PLAN
- E-3 ELECTRICAL - SECOND FLOOR PLAN

FRAMING NOTES

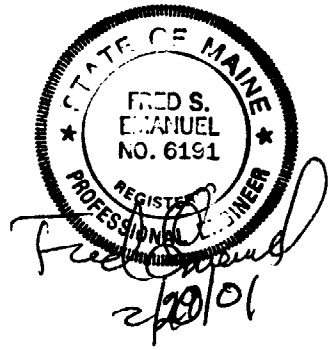
1. ALL LVL BEAMS TO BE TRUS JOIST MACMILLAN 2.0 E PARALLAM PSL OR EQUAL. ✓
FB = 2900 PSI
FV = 290 PSI
E = 2,000,000 PSI
2. ALL DIMENSIONALL LUMBER TO BE SPRUCE-PINE-FIR, GRADE #2 OR BETTER. ✓
FB = 875 PSI
FV = 70 PSI
E = 1,400,000 PSI
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRCUTION. ✓
4. ALL LUMBER AND PLYWOOD SHALL BE GRADE STAMPED BY THE APPROPRIATE ASSOCIATION FOR THE APPROPRIATE USE. ✓

CONCRETE FOUNDATION NOTES

1. ALL FOOTINGS SHALL BE CARRIED DOWN TO UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 3000 PSI OR SHALL BEAR ON STRUCTURAL FILL COMPACTED IN 6" LIFTS. ✓
2. NO FOOTING SHALL BE PLACED IN WATER OR ON FROZEN GROUND AND SHALL BE CARRIED DOWN FOUR FEET BELOW FINISH OR ADJACENT GRADE. ✓
3. ALL CONCRETE SHAL OBTAIN A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS AND CONFORM TO ACI-301/318.1. ✓
4. CONCRETE SHALL BE ADEQUATELY PROTECTED FROM FREEZING. ✓
5. ALL BACKFILL MATERIAL SHALL BE FREE DRAINING. ✓
6. BASEMENT OPENINGS TO BE LOCATED BY OWNERS/CONTRACTOR. ✓

STRUCTURAL NOTE:

STRUCTURAL DESIGN REVIEWED BY EMANUEL ENGINEERING INC. OF STRATHAM, NH

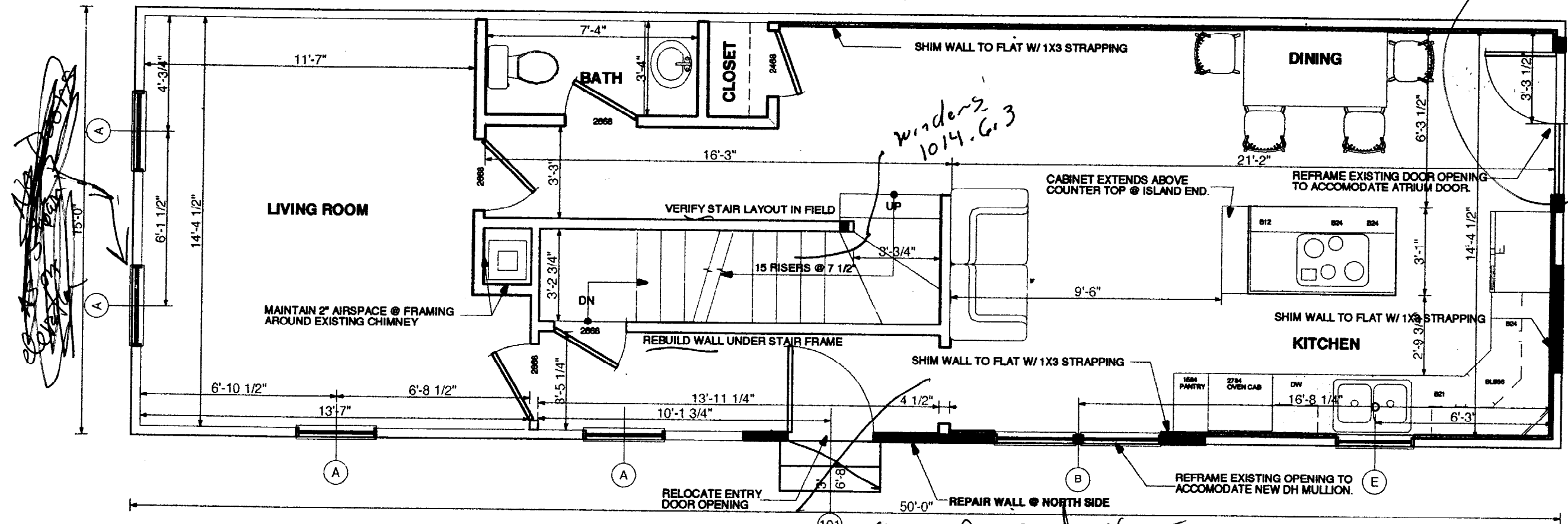




SCOPE OF WORK

COMPLETE RENOVATION OF EXISTING SINGLE FAMILY RESIDENCE CURRENTLY A FRAMED SHELL.

MATTHEW D. BEEBE L.L.C. 54 McNabb Court Portsmouth, N.H. 03801 603-436-4256 603-436-7766 Fax	<i>renovation to the</i> MAPLE STREET HOUSE 52 Maple Street Portland, Maine	TITLE	General Notes	A-0
		DATE	02-06-01	

STREET Front



 EXISTING WALLS
 NEW WALLS

See Revised Stair
 N entry that shows
 the stairs to be
 only on main
 property

GENERAL NOTES:

- REFRAME ALL WINDOWS TO ACCOMMODATE NEW BROSCO WINDOW ROUGH OPENINGS (SEE WINDOW SCHEDULE.) SEE DETAIL @ 1/S7. ✓
- REMOVE ROTTED OR BROKEN DECK SHEATHING BOARDS. PATCH W/NEW 1X8 STOCK. RESHEATH ENTIRE FIRST FLOOR DECK W/ 1/2" FIR PLYWOOD. ✓
- INFILL WALLS @ BACK HALF OF HOUSE WITH 2X4 STUDS @ 16" O.C. TO BEAR ON SILL PLATE AND EXTEND TO NEW PLATE @ SECOND FLOOR. ✓

See New Plans
 No doors or that
 shown here
 No Deck

REAR

renovation to the
MAPLE STREET HOUSE
 52 Maple Street Portland, Maine

TITLE FIRST FLOOR PLAN
 DATE 2-6-01
 SCALE 1/4"=1'-0"
A1

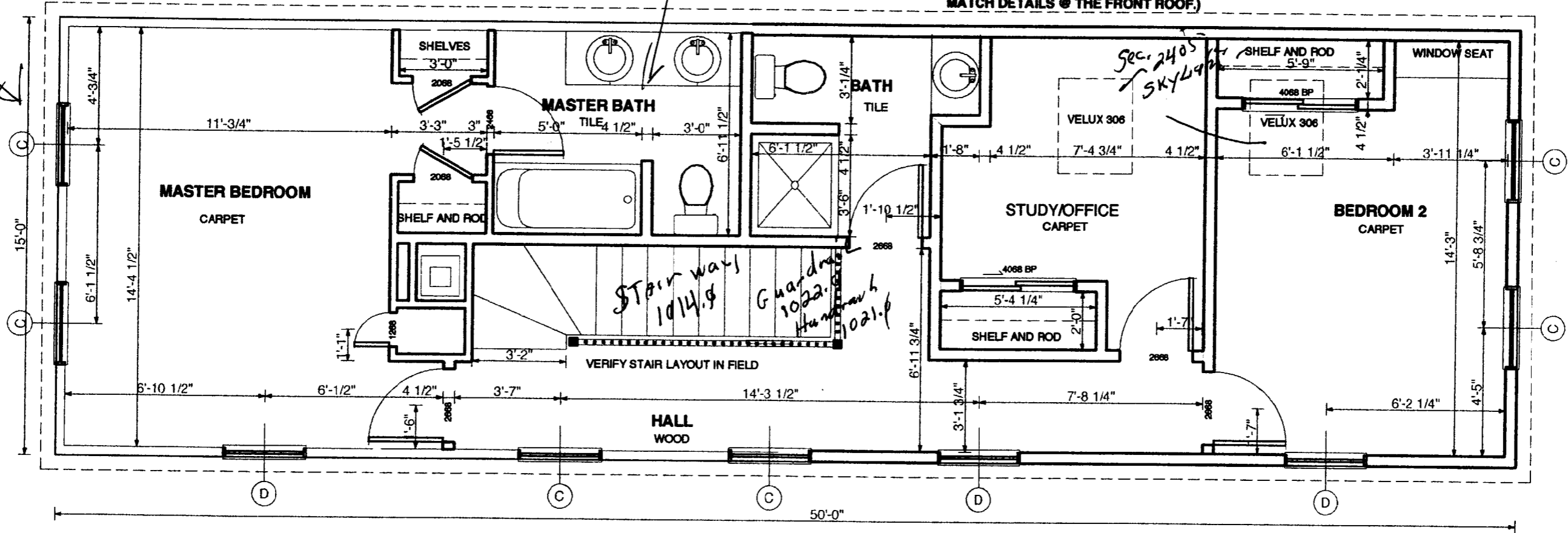
Matthew D. Beebe L.L.C.
 54 McNabb Court Portsmouth, N.H. 03801
 603-436-4256

STREET

Sleeping room
rescue or egress windows
10/10/04

Venting

FRAME NEW OVERHANGS TO CONFORM TO AND
MAINTAIN EXISTING OVERHANG DEPTH (CLOSELY
MATCH DETAILS @ THE FRONT ROOF)



GENERAL NOTES:

1. REFRAME ALL WINDOWS TO ACCOMODATE NEW BROSCO WINDOW ROUGH OPENINGS (SEE WINDOW SCHEDULE).
2. REMOVE ROTTED OR BROKEN DECK SHEATHING BOARDS. PATCH W/NEW 1X8 STOCK. RESHEATH ENTIRE SECOND FLOOR DECK W/ 1/2" FIR PLYWOOD.

A2

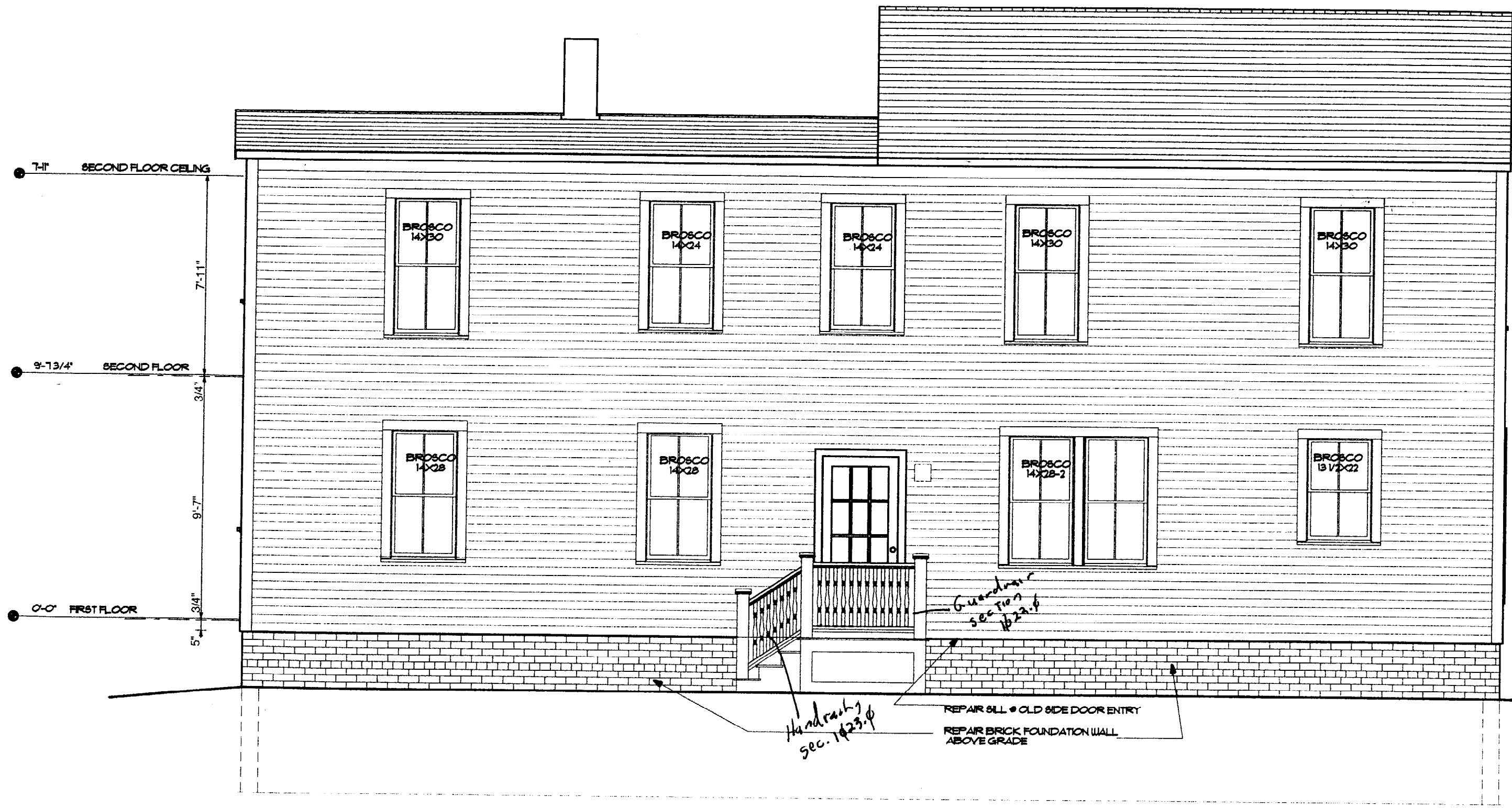
TITLE SECOND FLOOR PLAN

DATE 1/4"-1'-0"

DATE 2-8-01

Renovation to the
MAPLE STREET HOUSE
52 Maple Street Portland, Maine

Matthew D. Beebe L.L.C.
54 McNabb Court Portsmouth, N.H. 03801
603-436-4256



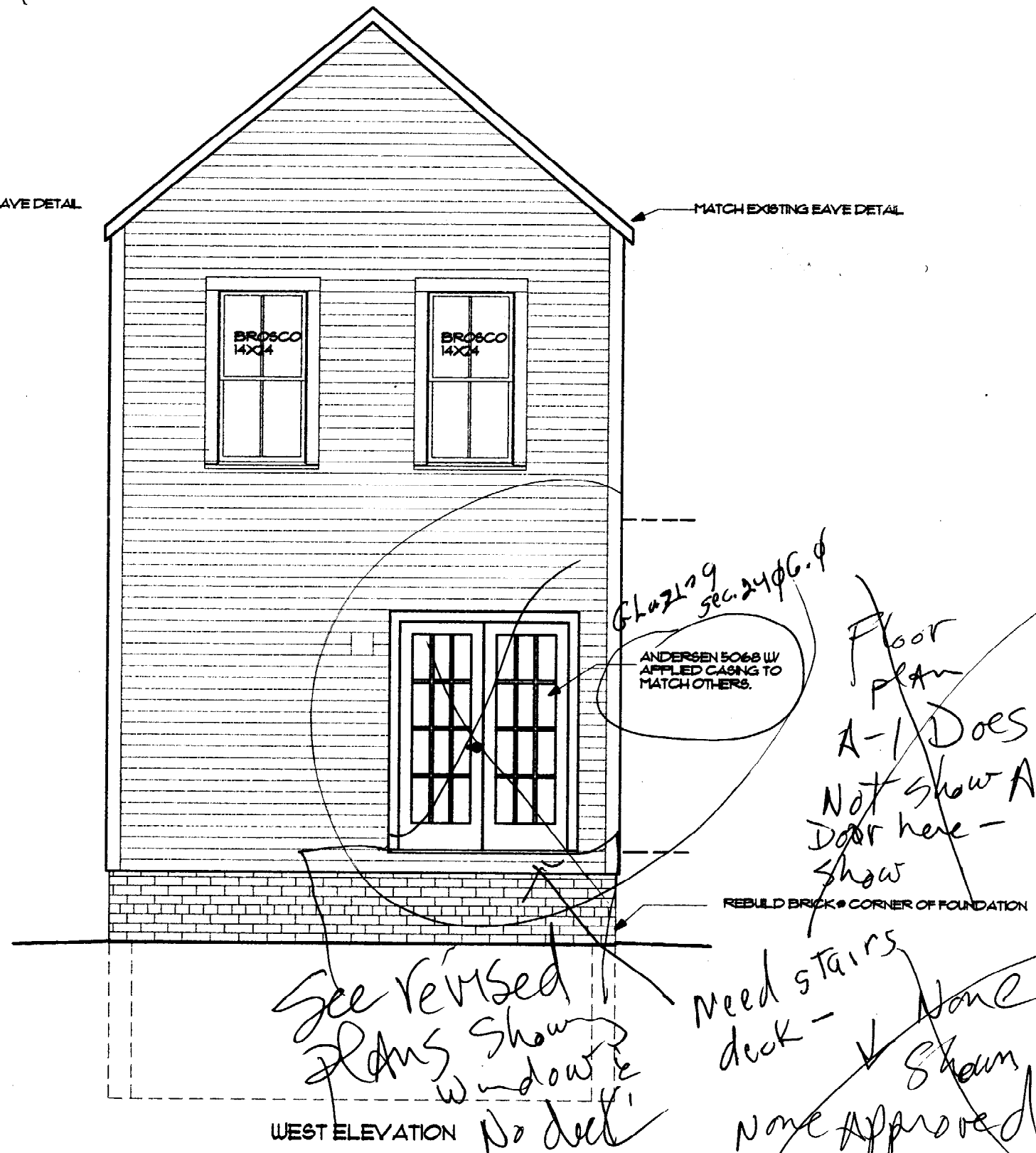
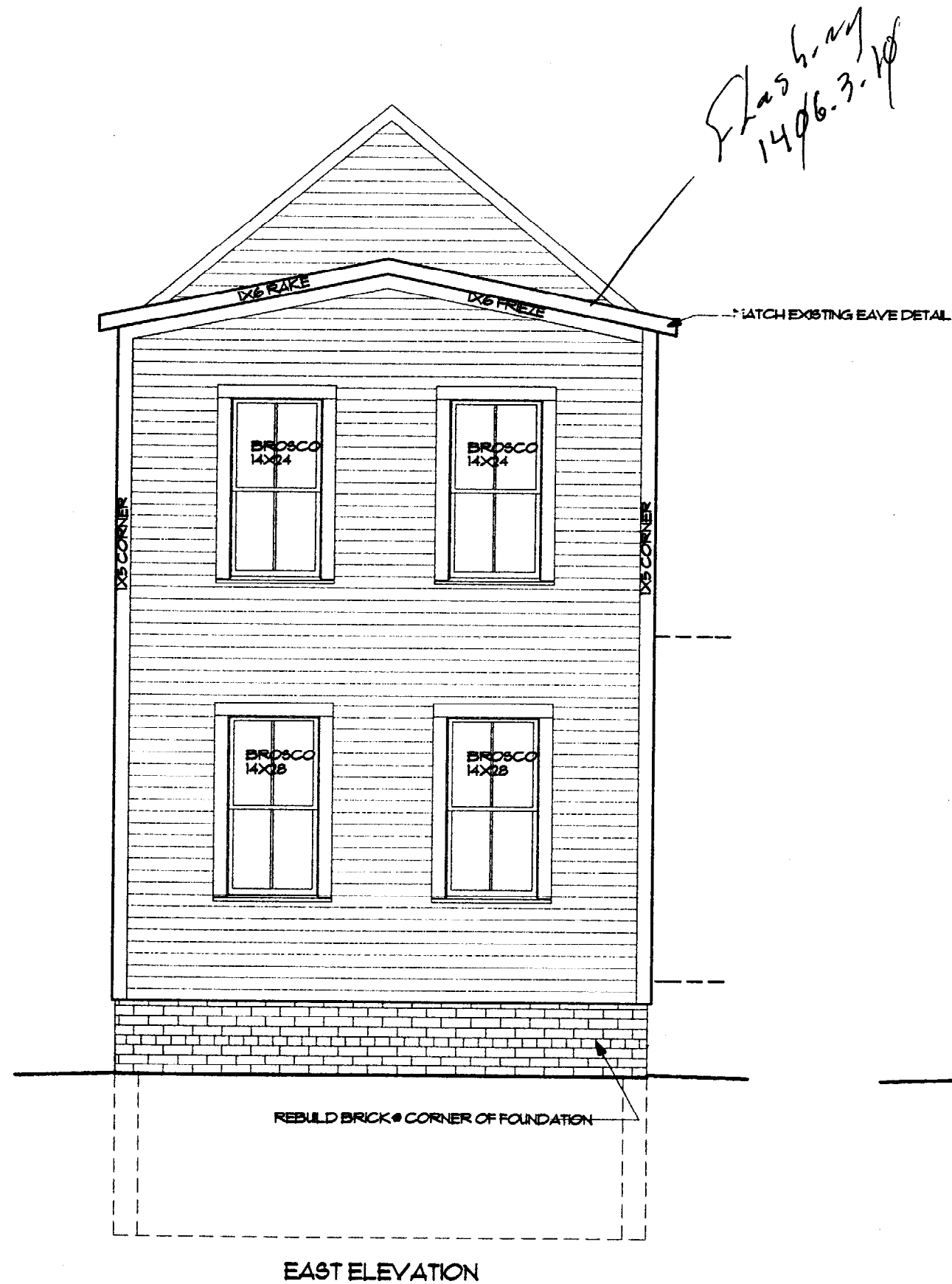
A3

TITLE **NORTH ELEVATION**

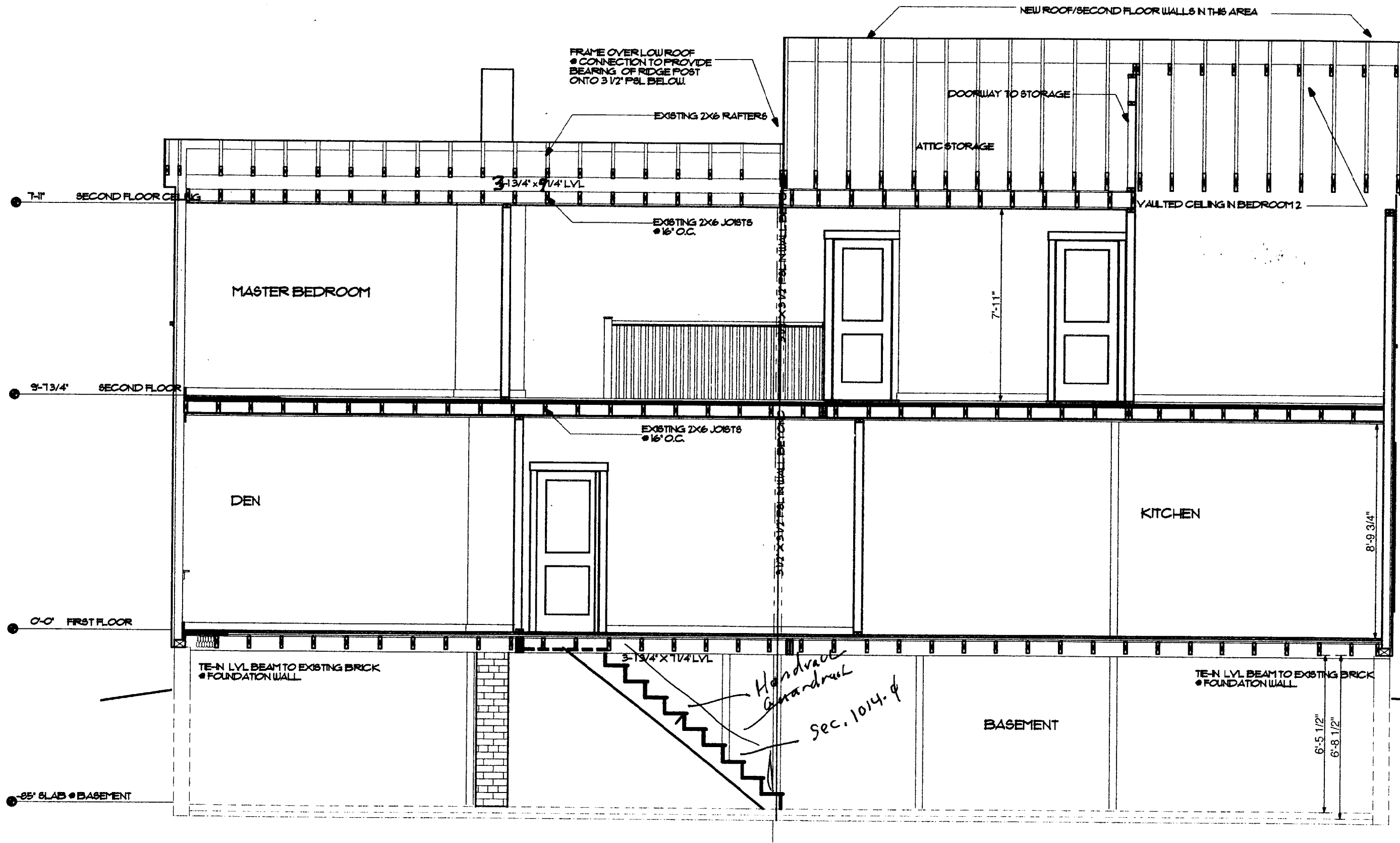
DATE 2-6-01 1/4"=1'-0"

renovation to the
MAPLE STREET HOUSE
 52 Maple Street Portland, Maine

Matthew D. Beebe L.L.C.
 54 McNabb Court Portsmouth, N.H. 03801
 603-436-4256



A4	
TITLE	EAST/WEST ELEVATIONS
DATE	2-8-01
1/4"=1'-0"	
renovation to the MAPLE STREET HOUSE 52 Maple Street Portland, Maine	
Matthew D. Beebe L.L.C. 54 McNabb Court Portsmouth, N.H. 03801 603-436-4256	



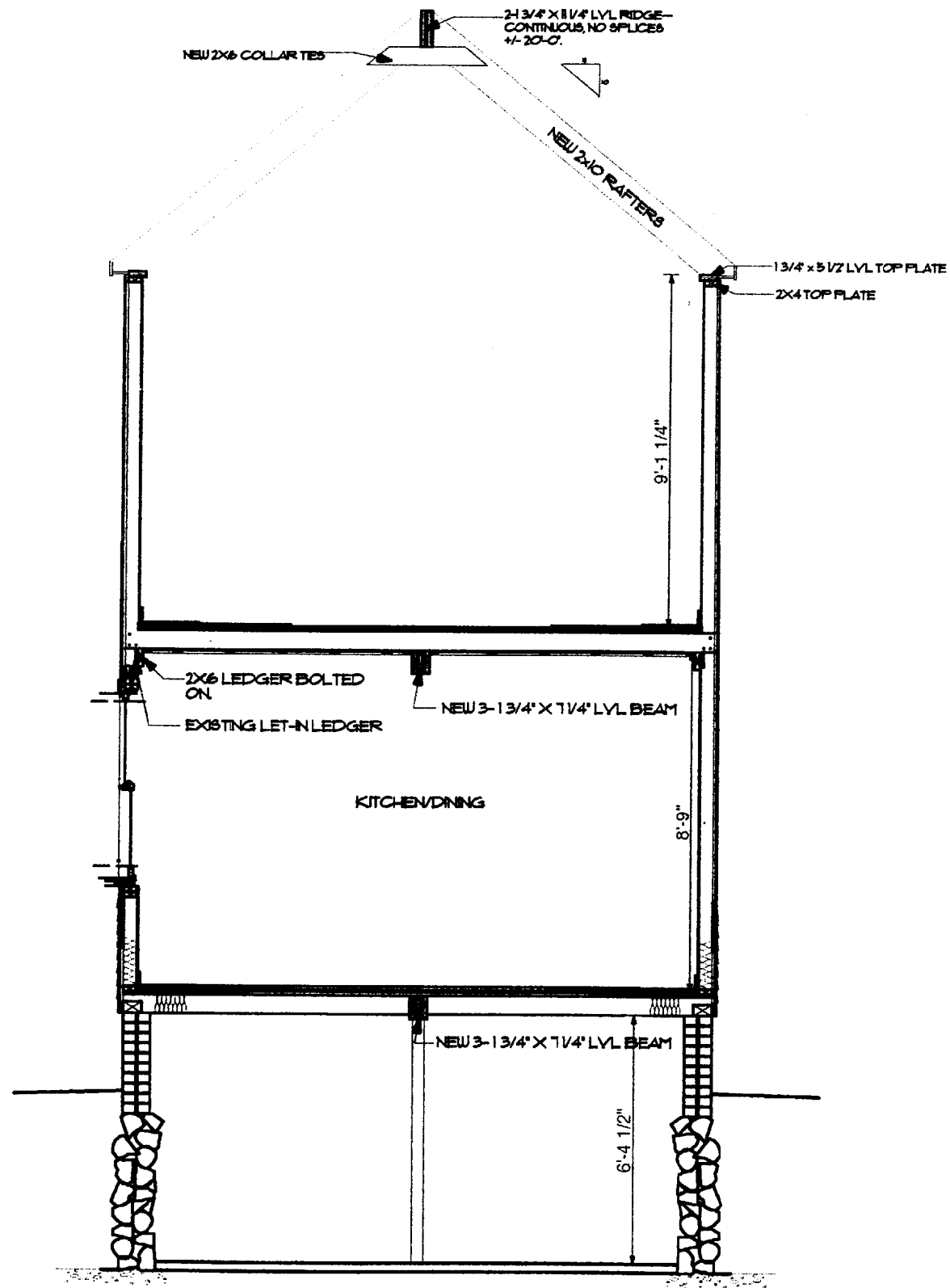
SECTION 1/A5

A5

TITLE MAIN CROSS SECTION
DATE 2-6-01
1/4"=1'-0"

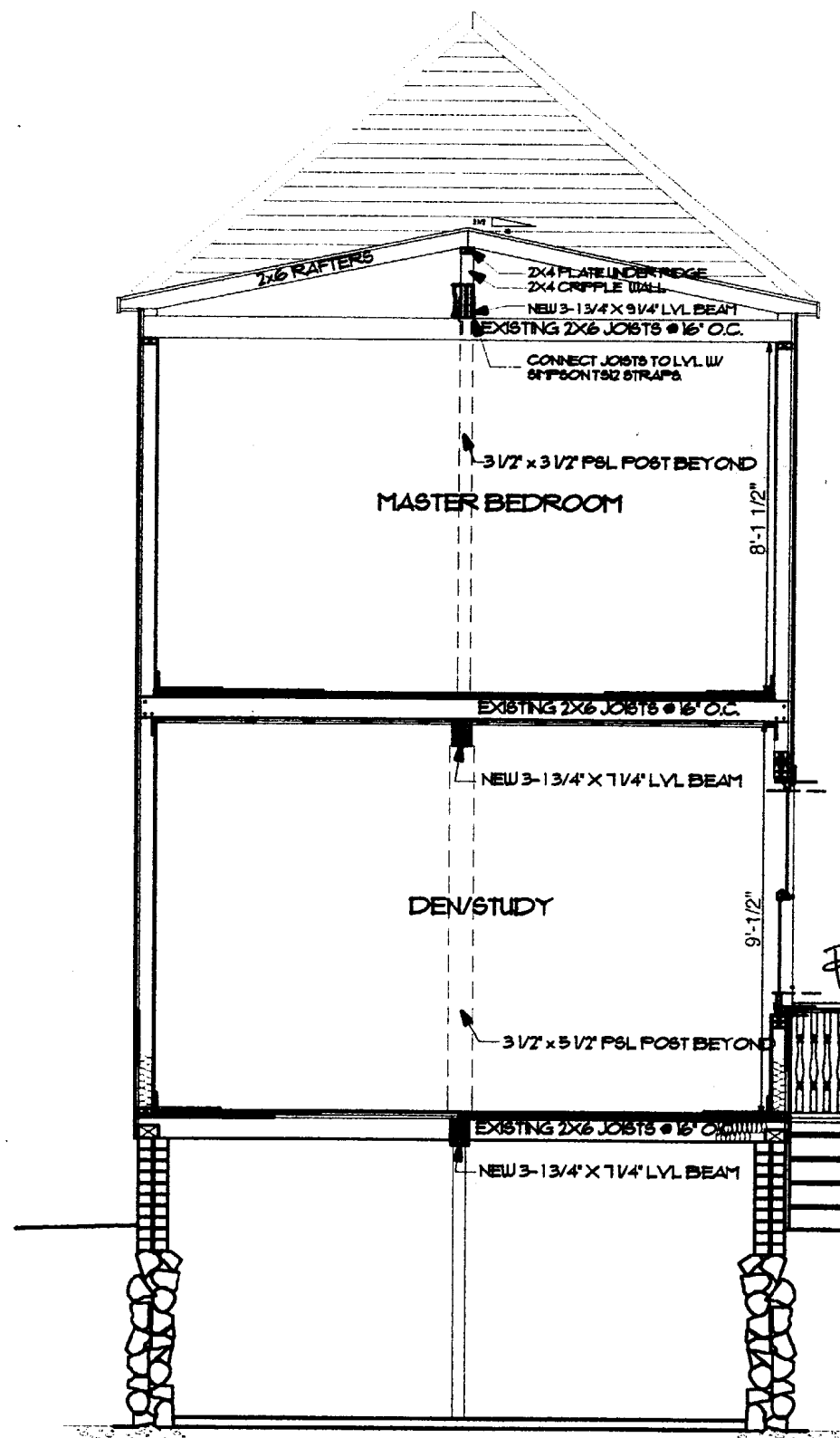
renovation to the
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52 Maple Street Portland, Maine

Matthew D. Beebe L.L.C.
54 McNabb Court Portsmouth, N.H. 03801
603-436-4256



REAR CROSS SECTION

SECTION 2/A6



FRONT CROSS SECTION

SECTION 1/A6

*See revised
plans 2.5'
wide
only
to remain
on their
property
only*

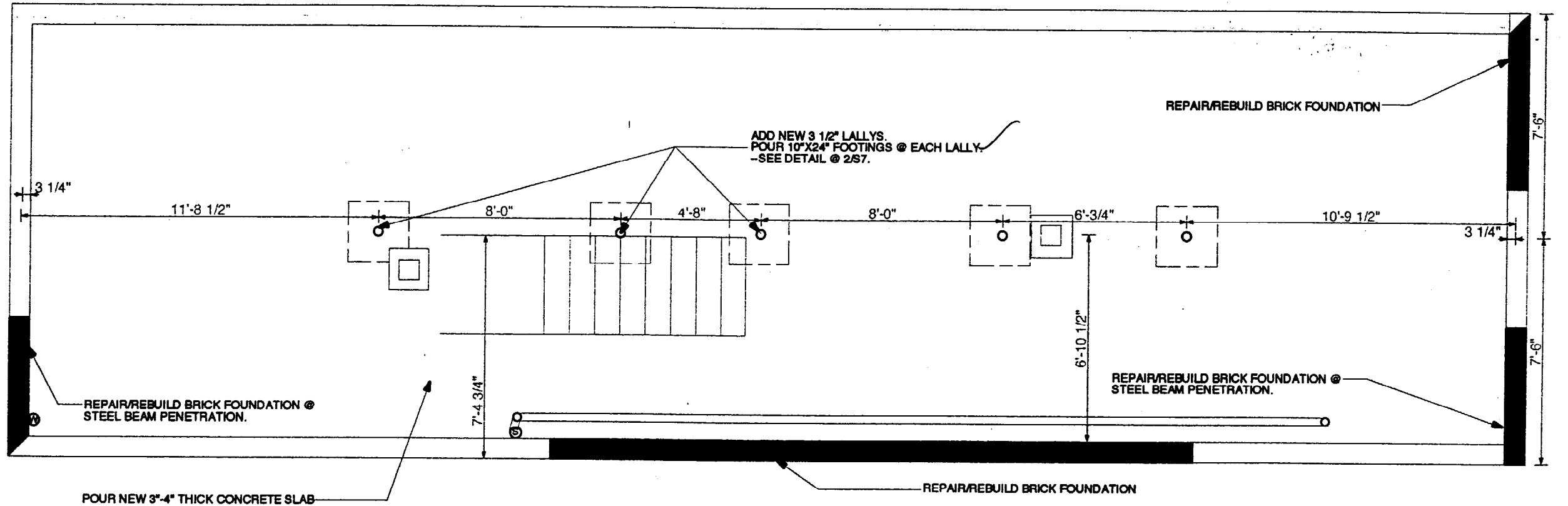
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renovation to the
MAPLE STREET HOUSE
52 Maple Street Portland, Maine

TITLE END CROSS SECTION
DATE 2-6-01
1/4"=1'-0"

A6

STREET



LEGEND

■ NEW WALLS

□ EXISTING WALLS

STATE OF MAINE
 FRED S. EMANUEL
 NO. 6191
 REGISTERED PROFESSIONAL ENGINEER

Fred Emanuel
 2/20/01

S1

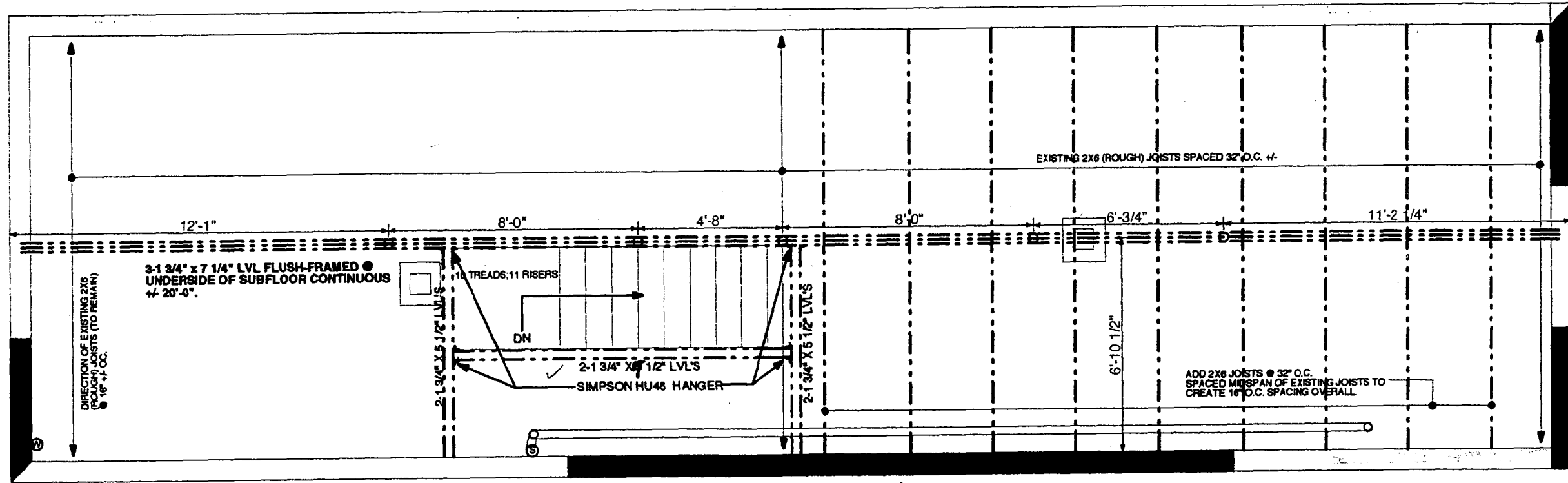
TITLE BASEMENT PLAN

DATE 2-6-01 1/4"=1'-0"

renovation to the
MAPLE STREET HOUSE
 52 Maple Street Portland, Maine

Matthew D. Beebe L.L.C.
 54 McNabb Court Portsmouth, N.H. 03801
 603-436-4256

STREET

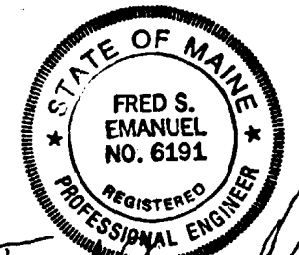


REPAIR/REPLACE SILL AS NEEDED



GENERAL NOTES:

1. REPLACE/ ADD NEW 2X6 JOISTS TO FILL IN @ ROTTEN/BROKEN JOISTS.
2. TEAR DOWN COLLAPSED NORTH SIDE DOUBLE-WALL BRICK (APPROX. 12'-0" IN LENGTH) TO STONE FOUNDATION AND REPLACE TO ORIGINAL SILL HEIGHT.
3. REPLACE ROTTED SILL WITH NEW PRESSURE TREATED 6 X 8 TIMBER.
4. ADD ADDITIONAL JOIST @ UNDERSIDE OF PARALLEL PARTITIONS.
5. USE SIMPSON LCC 5.25-3.5 COLUMN CAPS @ EVERY LALLY.



Fred Emanuel
2/20/01

renovation to the
MAPLE STREET HOUSE
52 Maple Street Portland, Maine

TITLE FIRST FLOOR FRAME

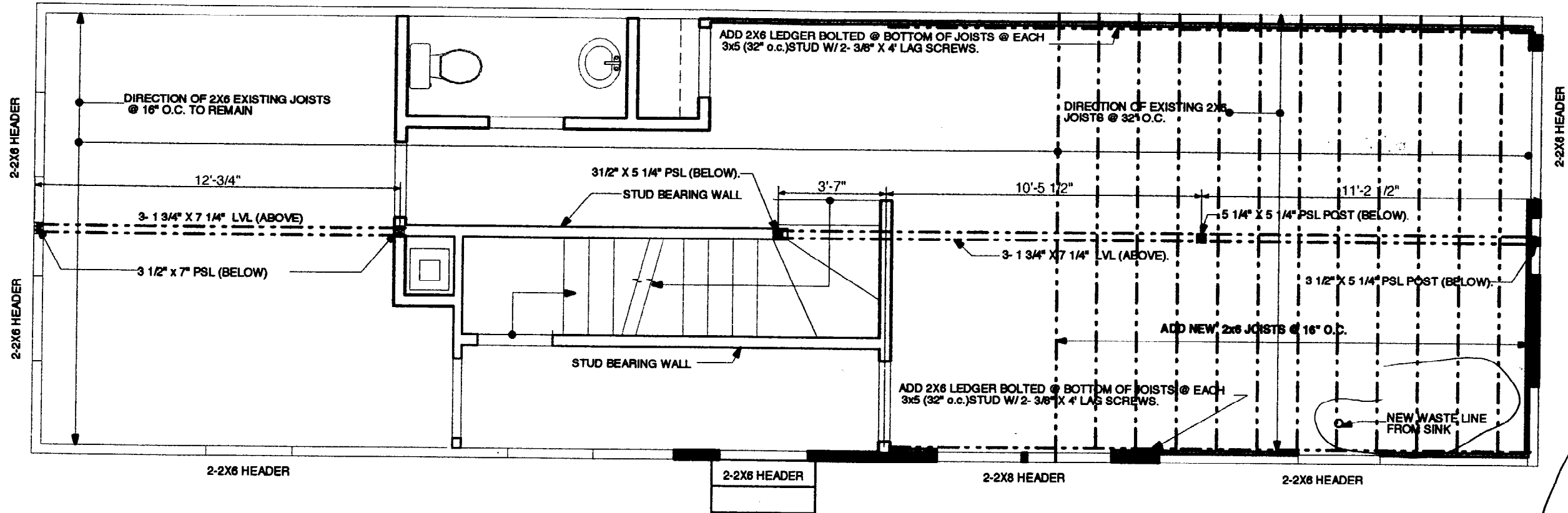
DATE 2-6-01

1/4"=1'-0"

Matthew D. Beebe L.L.C.
54 McNabb Court Portsmouth, N.H. 03801
603-436-4256

S2

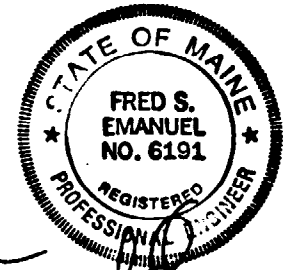
STREET



GENERAL NOTES

CONTRACTOR TO STRAIGHTEN BUILDING FRAME PRIOR TO COMMENCING ROOF WORK. THE EAST, WEST, AND NORTH SIDES OF THE STRUCTURE ARE TO BE RESHEATHED OVER EXISTING 1X BOARDS W/ 1/2 5-PLY FIR PLYWOOD AFTER FRAME HAS BEEN STRAIGHTENED.

1. WINDOW AND DOOR HEADERS ARE 2-2X6 UNLESS OTHERWISE NOTED.
2. RESHEATH ENTIRE FIRST FLOOR DECK W/ 1/2\" UNDERLAYMENT PLYWOOD.
3. STAIR LAYOUT TO BE COORDINATED WITH MDB, LLC PRIOR TO FRAMING.
4. THE FRONT, BACK, AND NORTH SIDES OF THE BUILDING ARE TO BE RESHEATHED W/ 1/2\" CDX FIR AFTER THE FRAME HAS BEEN PLUMBED.
5. ADD 1X3 STRAPPING HORIZONTALLY @ 16\" O.C. HELD TO STRING LINE @ FURTHEST STUD PROJECTION FOR NEW GYROCK NAILING.



Fred Emanuel
2/20/01

Matthew D. Beebe L.L.C.
54 McNabb Court Portsmouth, N.H. 03801
603-436-4256

renovation to the
MAPLE STREET HOUSE
52 Maple Street Portland, Maine

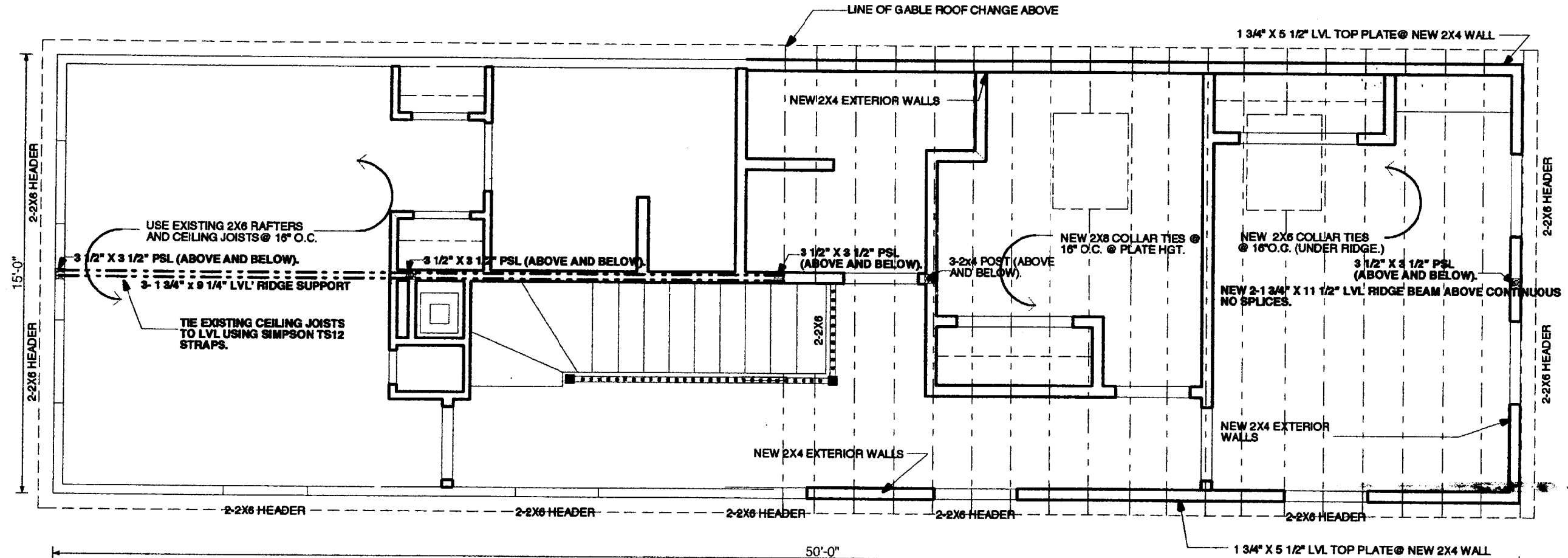
TITLE SECOND FLOOR FRAME

DATE 2-6-01

1/4"=1'-0"

S3

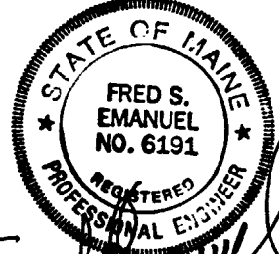
STREET



GENERAL NOTES



1. WINDOW AND DOOR HEADERS ARE 2-2X6 UNLESS OTHERWISE NOTED.
2. REMOVE BADLY WARPED OR ROTTED SUBFLOOR AS NECESSARY. RESHEATH ENTIRE SECOND FLOOR DECK W/ 1/2" CDX FIR PLYWOOD.
3. STAIR LAYOUT TO BE COORDINATED WITH MDB, LLC PRIOR TO FRAMING.
4. SEE SPECIFICATION LIST FOR ADDITIONAL WORK TO BE PERFORMED.


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 2/20/01

S4

TITLE SECOND FLOOR CEILING

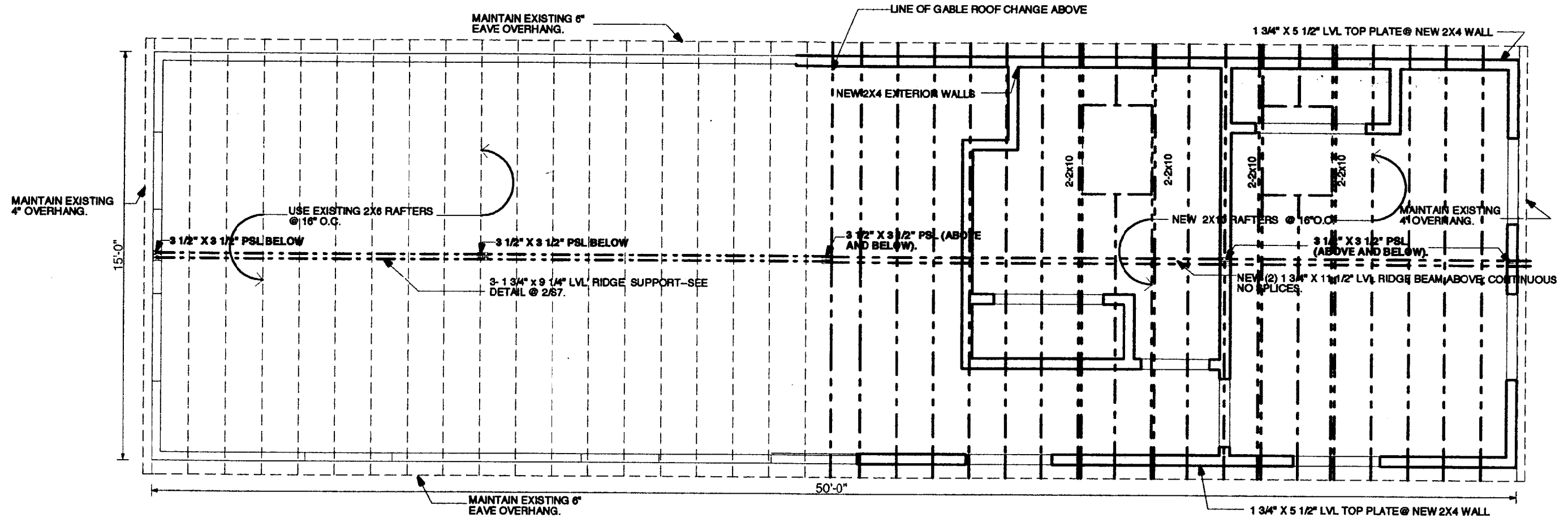
DATE 2-6-01

1/4"=1'-0"

renovation to the
MAPLE STREET HOUSE
 52 Maple Street Portland, Maine

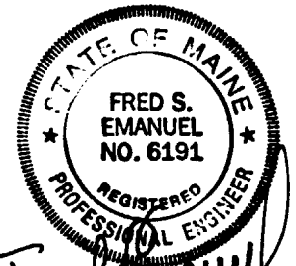
Matthew D. Beebe L.L.C.
 54 McNabb Court Portsmouth, N.H. 03801
 603-436-4256

STREET



GENERAL NOTES

- 1. NEW RAFTERS TO BE 2X10.
- 2. ROOF DECK TO BE SHEATHED WITH 5/8 CDX FIRE-RETARDENT SHEATHING.
- 3. ROOF SHINGLES TO BE 25 YEAR MIN. W/ FIRE RATING



Fred Emanuel
 2/20/01
6

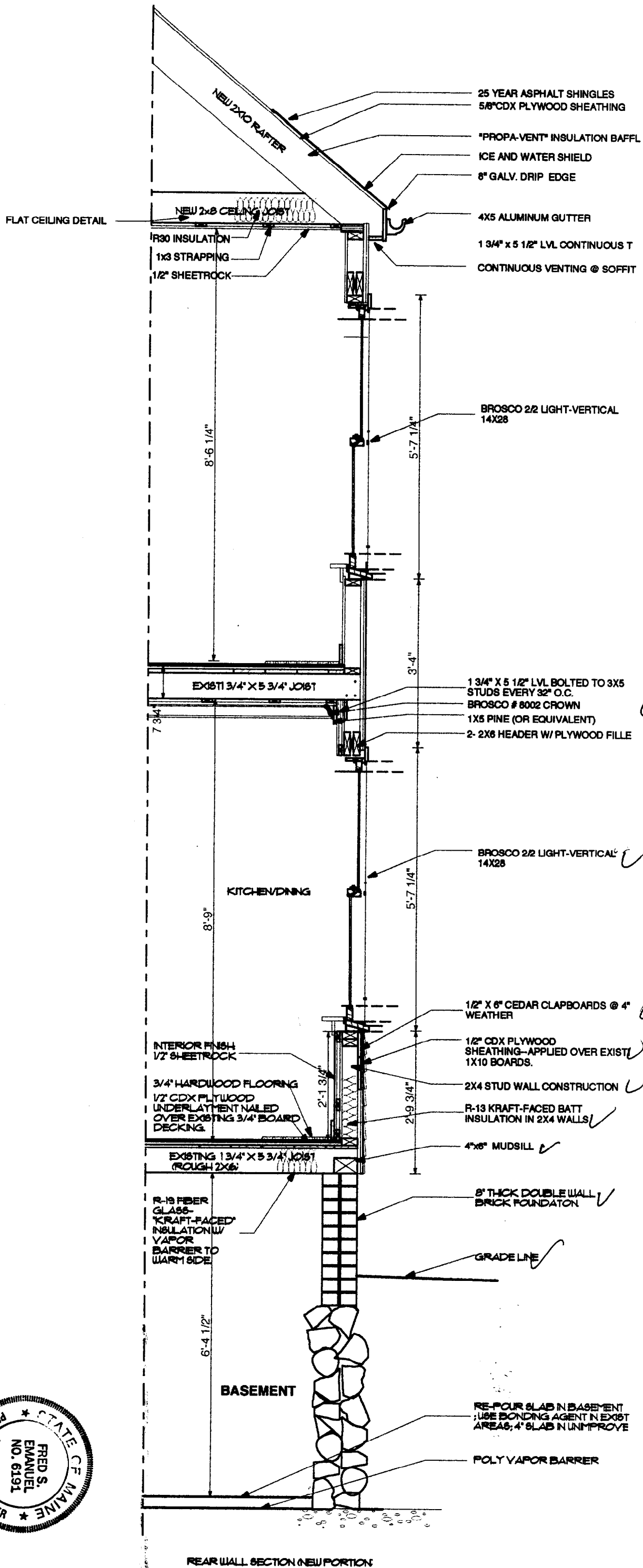
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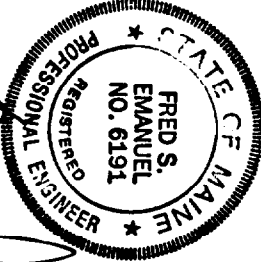
renovation to the
MAPLE STREET HOUSE
 52 Maple Street Portland, Maine

TITLE **ROOF FRAMING**

DATE **2-6-01** 1/4"=1'-0"

S5

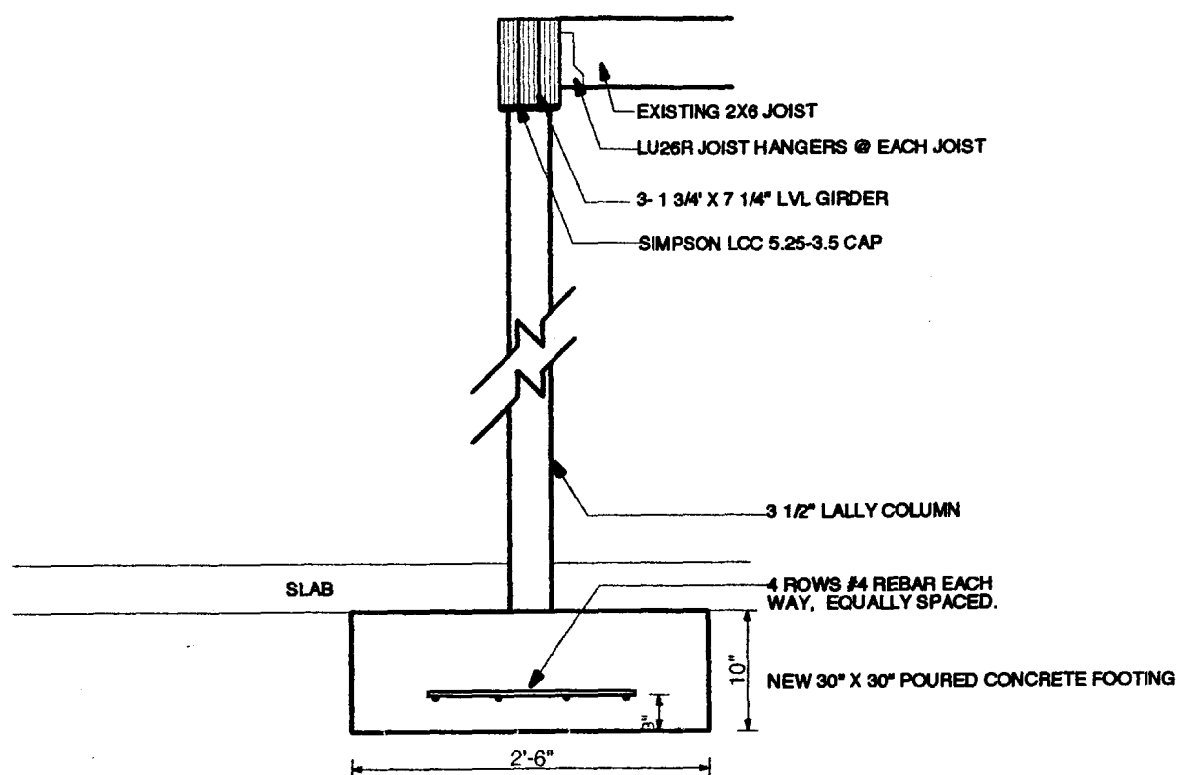


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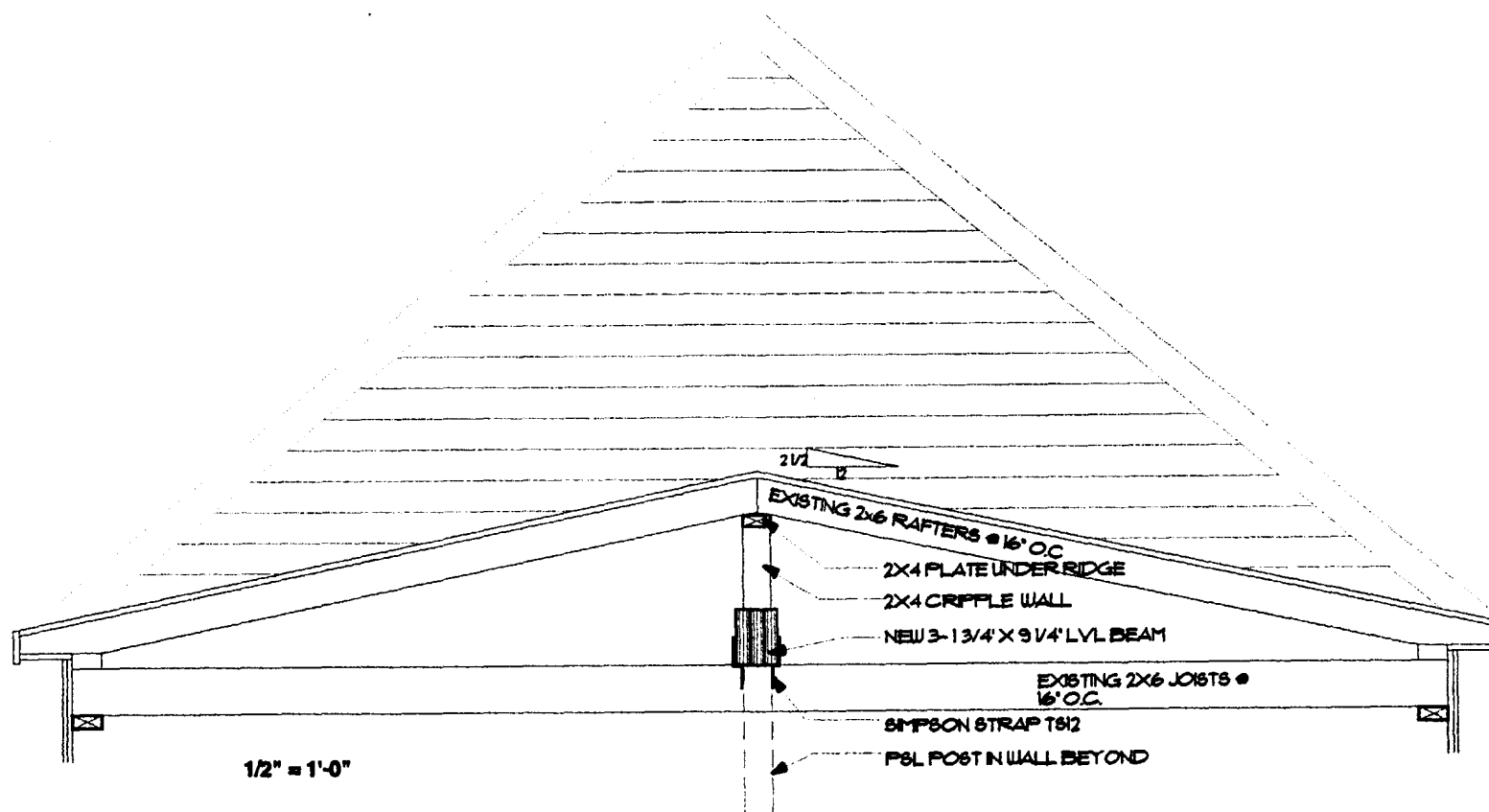
REAR WALL SECTION (NEW PORTION)

Matthew D. Beebe L.L.C. 54 McNabb Court Portsmouth, N.H. 03801 603-436-4256	renovation to the MAPLE STREET HOUSE 52 Maple Street Portland, Maine		TITLE TYP. WALL SECTION	S6
			DATE 2-6-01 1/2"=1'-0"	

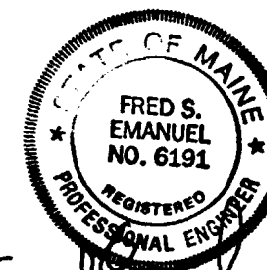
FOOTING AND LALLY DETAIL



3/4" = 1'-0"

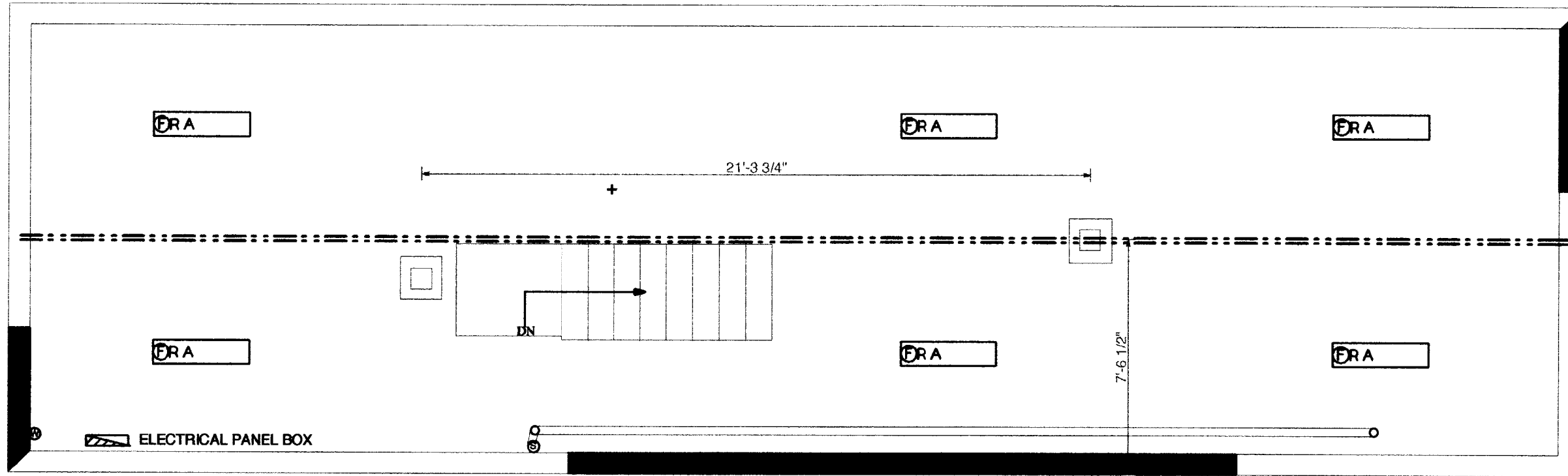


1/2" = 1'-0"



Fred Emanuel
2/20/01

S7
TITLE DETAILS DATE 2-6-01 GRAPHIC REPR.
<i>renovation to the</i> MAPLE STREET HOUSE 52 Maple Street Portland, Maine
Matthew D. Beebe L.L.C. 54 McNabb Court Portsmouth, N.H. 03801 603-436-4256



- FRA FLOURESCENT FIXTURE
- Ⓢ SMOKE DETECTOR
- ELECTRICAL PANEL BOX

JS

Matthew D. Beebe L.L.C.
 54 McNabb Court Portsmouth, N.H. 03801
 603-436-4256

renovation to the
MAPLE STREET HOUSE
 52 Maple Street Portland, Maine

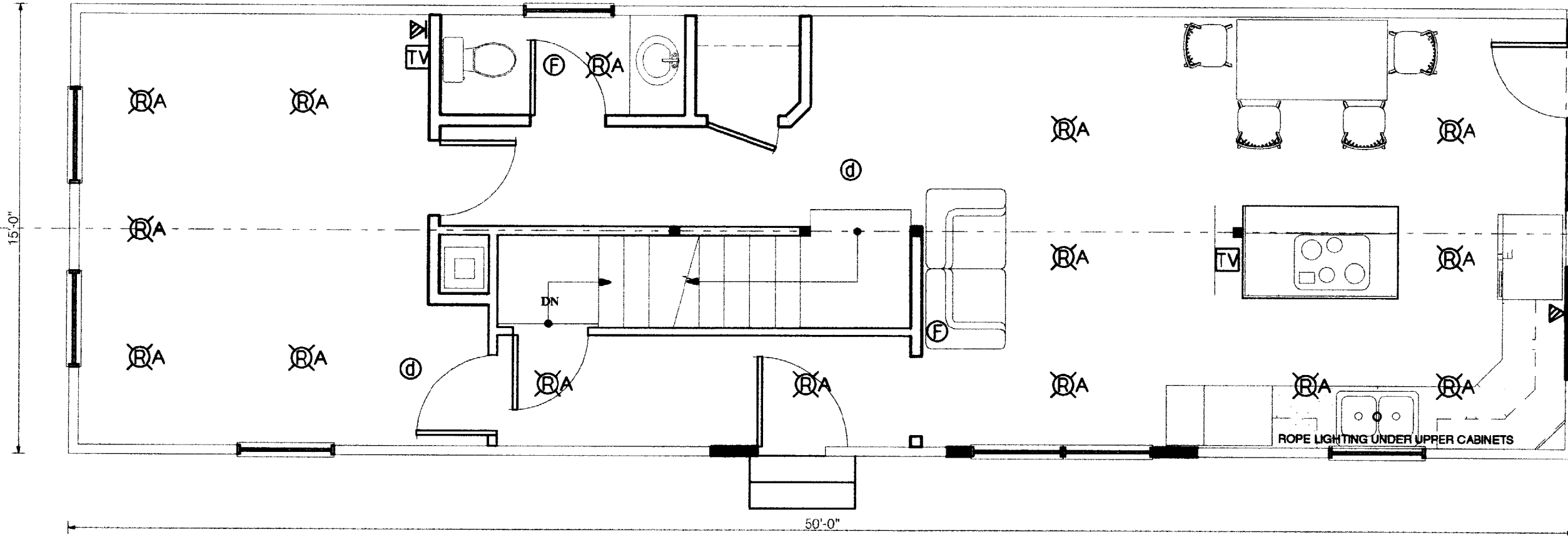
TITLE **BASEMENT ELEC PLAN**

DATE **2-06-01** 1/4" = 1'-0"

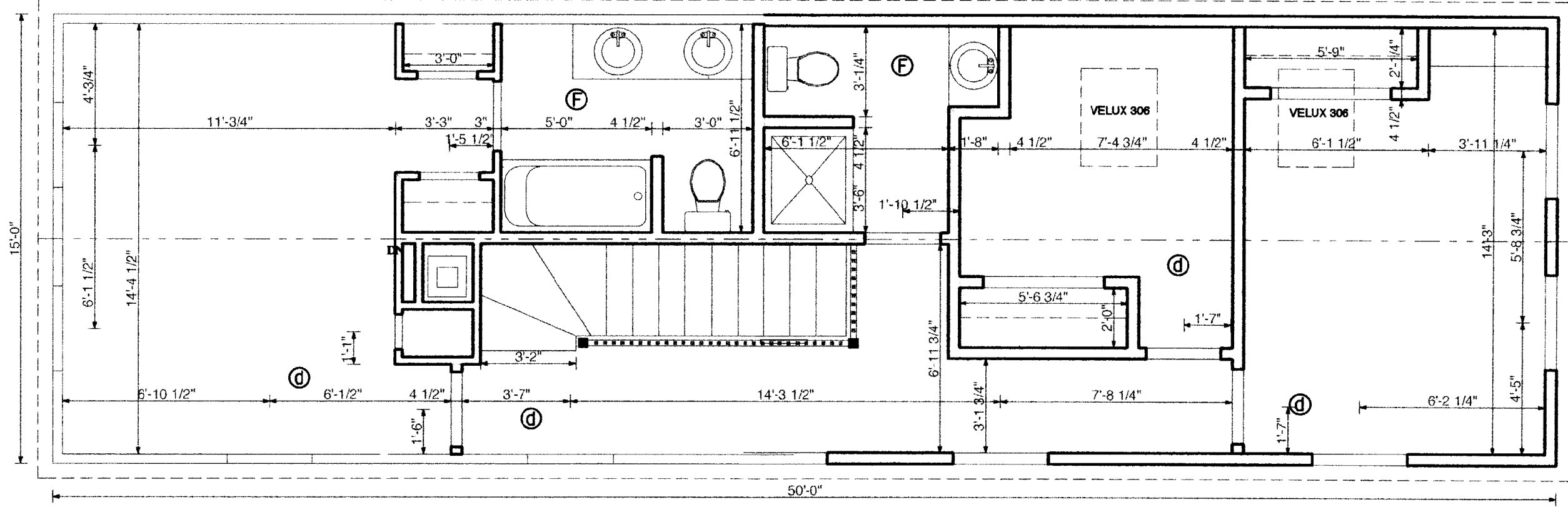
E1

- ⊗ RECESSED FIXTURE
- ⊗ CEILING EXHAUST FAN
- Ⓢ SMOKE DETECTOR
- ☎ TELEPHONE
- TV TELEVISION CABLE

RECESSED LIGHTS - "LIGHTOLIER" 1002P1 75W RECESSED; BASIC
BAFFLE - WHITE



STREET



Matthew D. Beebe L.L.C.
54 McNabb Court Portsmouth, N.H. 03801
603-436-4256

renovation to the
MAPLE STREET HOUSE
52 Maple Street Portland, Maine

TITLE **2ND FLR ELEC PLAN**

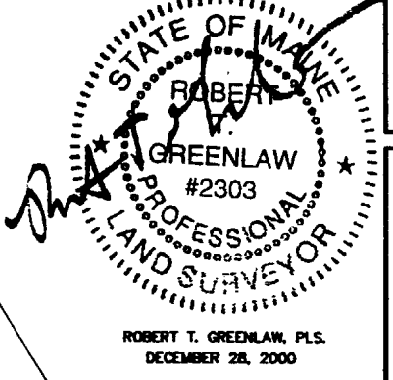
DATE **2-08-01** 1/4"=1'-0"

E3



1. RECORD OWNER OF PARCEL : GREEN BROOK, LLC. AS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 15750, PAGE 290.
2. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON DECEMBER 19, 2000 UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 4 TOTAL STATION, LEITZ SDR 24 DATA COLLECTOR.
3. SURVEYED PARCEL MAY BE FOUND ON THE CITY OF PORTLAND PROPERTY MAP 40, BLOCK A, LOT 14 ON FILE WITH THE ASSESSING DEPARTMENT AT PORTLAND CITY HALL.
4. AREA OF SURVEYED PARCEL = 1,155 SQUARE FEET.
5. BEARINGS ARE BASED ON A MAGNETIC OBSERVATION TAKEN IN THE FIELD AT THE DATE OF THIS SURVEY.
6. ALL DOCUMENTS REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY ARE OF PUBLIC RECORD. THERE MAY EXIST OTHER DOCUMENTS THAT ARE NOT PART OF PUBLIC RECORD WHICH COULD EFFECT THE RESULTS OF THIS SURVEY.
7. ELEVATIONS BASED UPON THE HIGHPOINT OF A GRANITE STREETLINE MONUMENT LOCATED AT THE NORTHWEST CORNER OF MAPLE AND DANFORTH STREETS, ELEVATION : 38.14' CITY DATUM.
8. ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED BEFORE CONSTRUCTION OR EXCAVATION.
9. SUBJECT PARCEL LOCATED IN ZONE R-8. EXISTING BUILDING CONSTRUCTED PRIOR TO 1890. ANY NEW STRUCTURE WILL OCCUPY THE EXACT LOCATION OF THE EXISTING STRUCTURE. NO CHANGES TO GROUND CONDITIONS OR GRADING ARE PLANNED.
10. SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAP FOR THE CITY OF PORTLAND, PANEL # 230051 0013 B, DATED JULY 17, 1988.

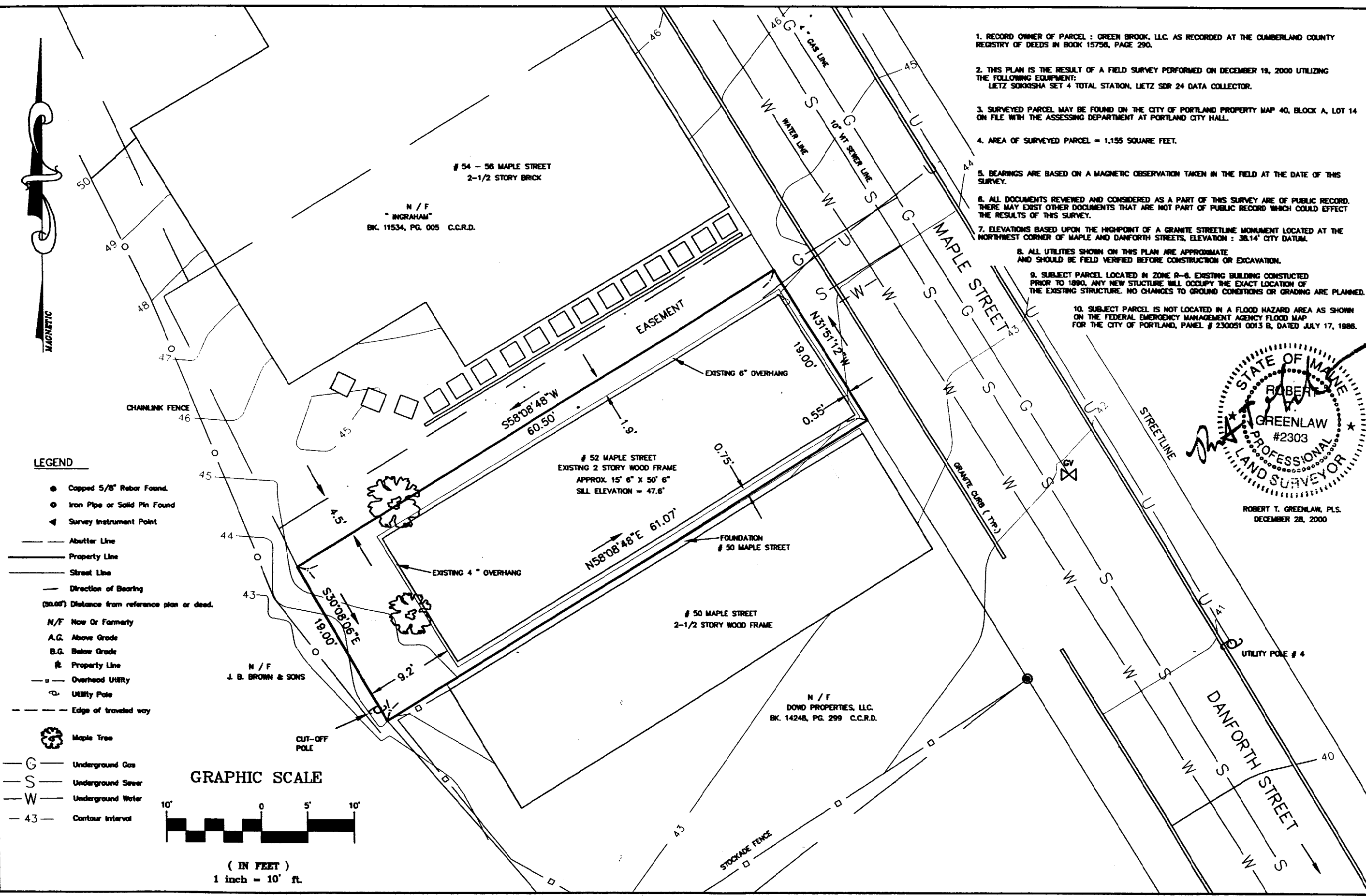
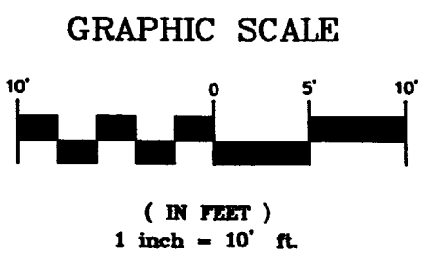
MINOR SITE PLAN
AT 52 MAPLE STREET PORTLAND, MAINE
GREEN BROOK, LLC
54 McNabb Court Portsmouth, NH



DRAWN BY: SBB
CHECKED BY: RTG
SCALE: 1" = 10'
DATE: DECEMBER 19, 2000.
JOB NUMBER: 200056-P
SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65A NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-774-4669

- LEGEND**
- Capped 5/8" Rebar Found.
 - Iron Pipe or Solid Pin Found
 - ◄ Survey Instrument Point
 - Abutter Line
 - Property Line
 - Street Line
 - Direction of Bearing
 - (50.00') Distance from reference plan or deed.
 - N/F Now Or Formerly
 - A.G. Above Grade
 - B.G. Below Grade
 - # Property Line
 - Overhead Utility
 - Utility Pole
 - - - Edge of traveled way
 - Maple Tree
 - G Underground Gas
 - S Underground Sewer
 - W Underground Water
 - 43 Contour Interval



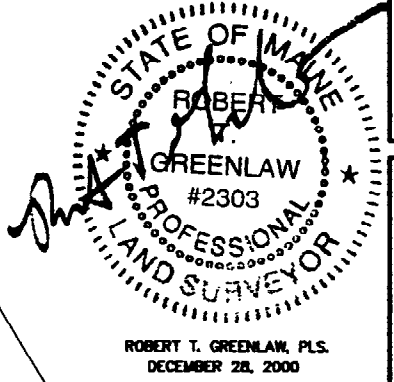
DRAWER: NO:



1. RECORD OWNER OF PARCEL : GREEN BROOK, LLC. AS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 15756, PAGE 290.
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MINOR SITE PLAN
AT 52 MAPLE STREET PORTLAND, MAINE
GREEN BROOK, LLC
54 McNabb Court Portsmouth, NH

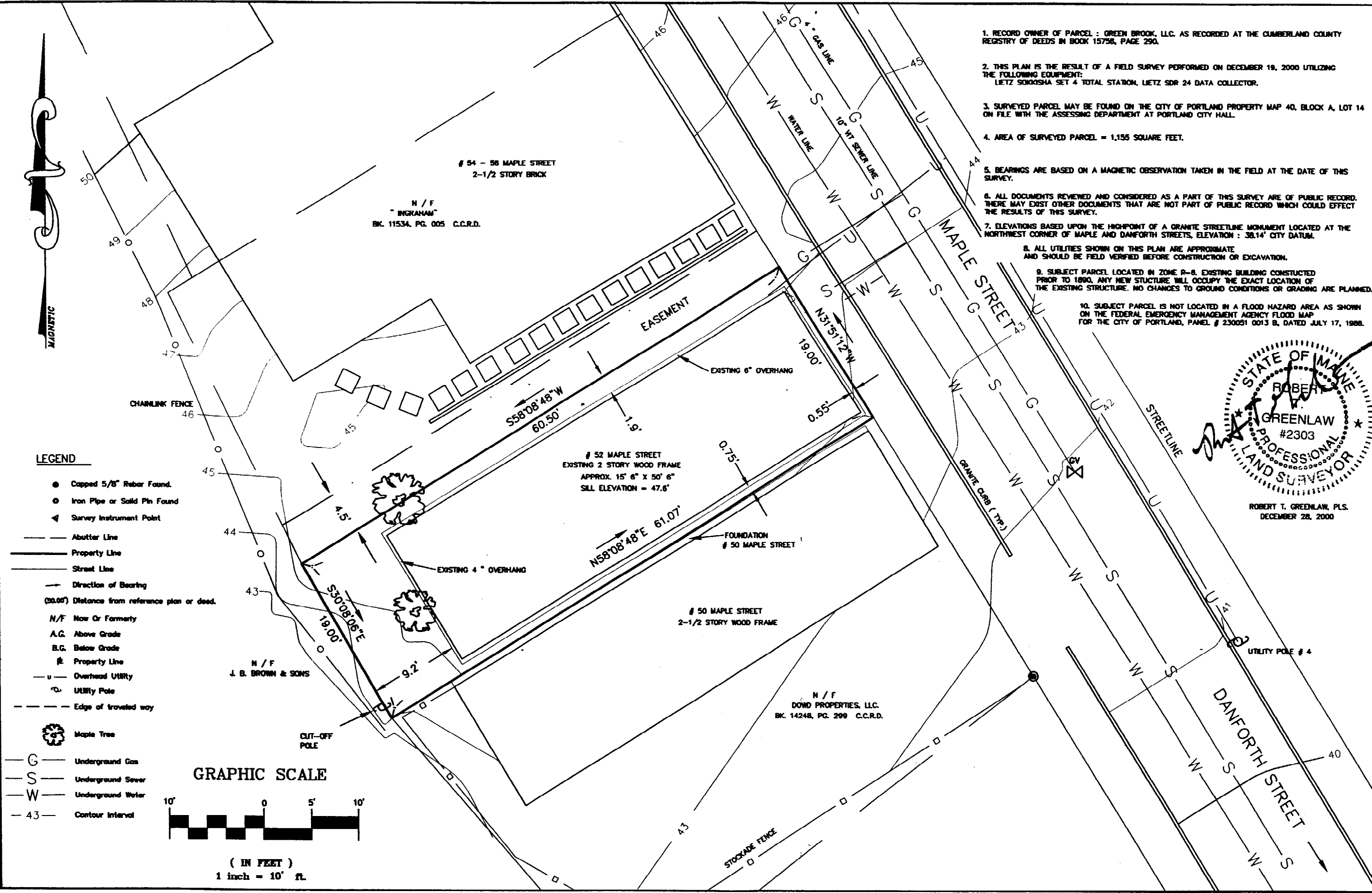
FOR:



DRAWN BY: SBB
CHECKED BY: RTG
SCALE: 1" = 10'
DATE: DECEMBER 19, 2000.
JOB NUMBER: 200056-P
SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65A NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-774-4669

DRAWER: NO:



LEGEND

- Capped 5/8" Rebar Found.
- Iron Pipe or Solid Pin Found
- ▲ Survey Instrument Point
- Abutter Line
- Property Line
- Street Line
- Direction of Bearing
- (30.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- A.G. Above Grade
- B.G. Below Grade
- Property Line
- Overhead Utility
- Utility Pole
- Edge of traveled way
- Maple Tree
- G — Underground Gas
- S — Underground Sewer
- W — Underground Water
- 43— Contour Interval

GRAPHIC SCALE



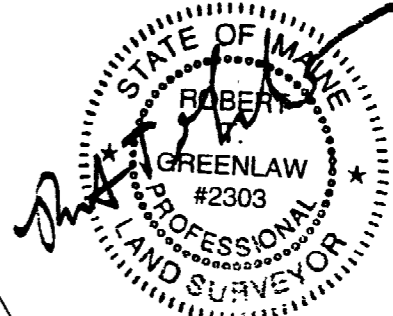
(IN FEET)
1 inch = 10' ft.



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MINOR SITE PLAN
AT 52 MAPLE STREET PORTLAND, MAINE
GREEN BROOK, LLC
54 McNabb Court Portsmouth, NH

FOR:

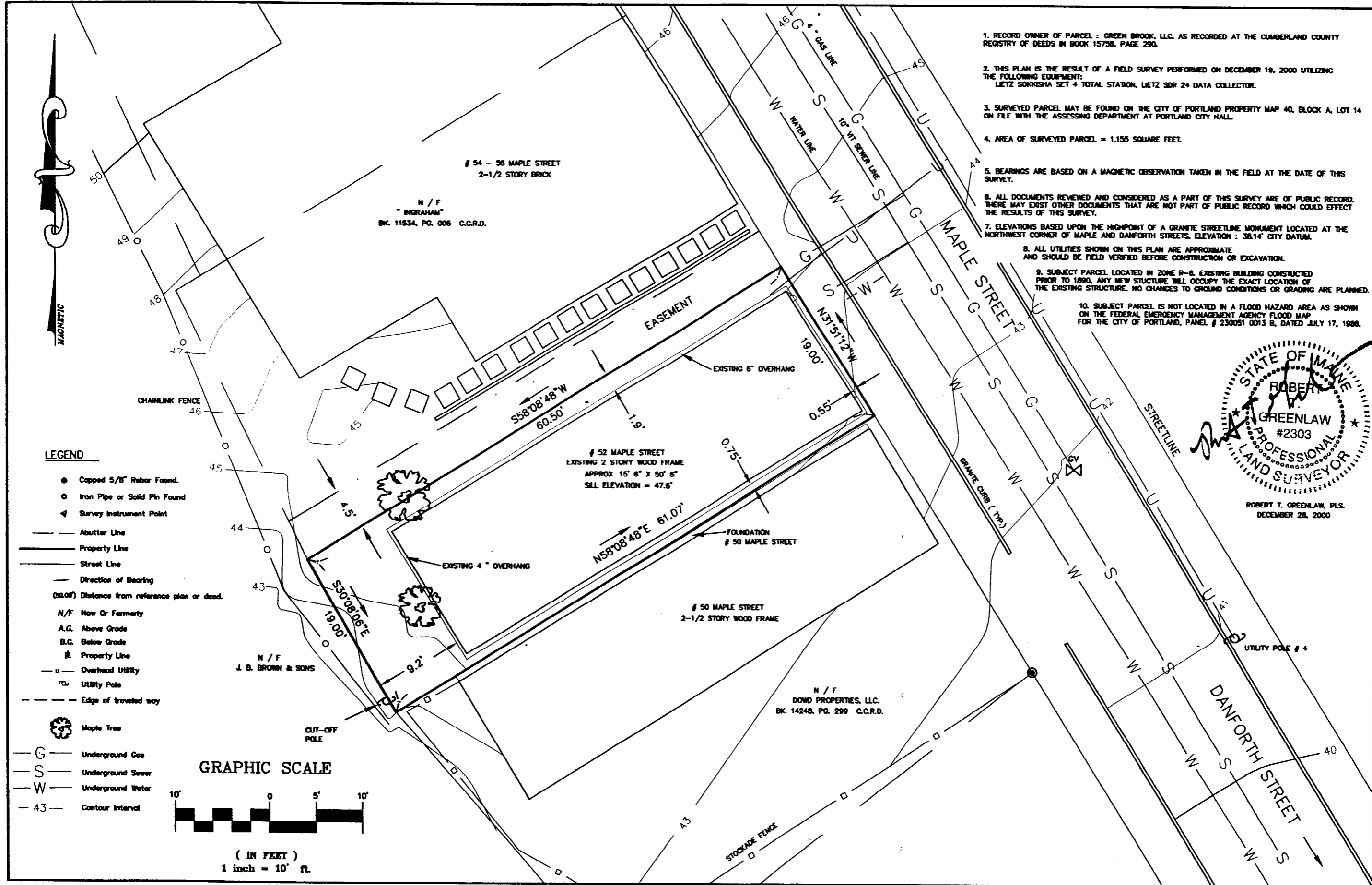


ROBERT T. GREENLAW, P.L.S.
DECEMBER 28, 2000

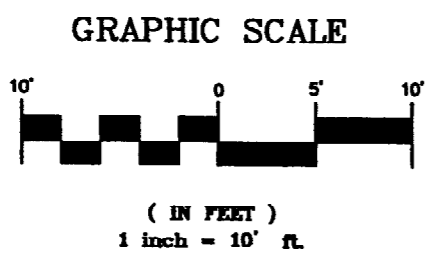
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SCALE: 1" = 10'
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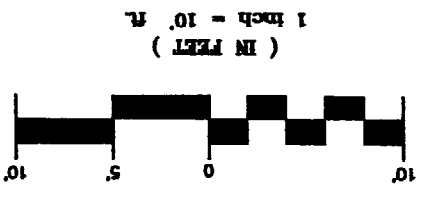
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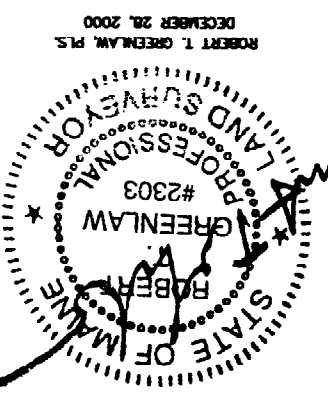
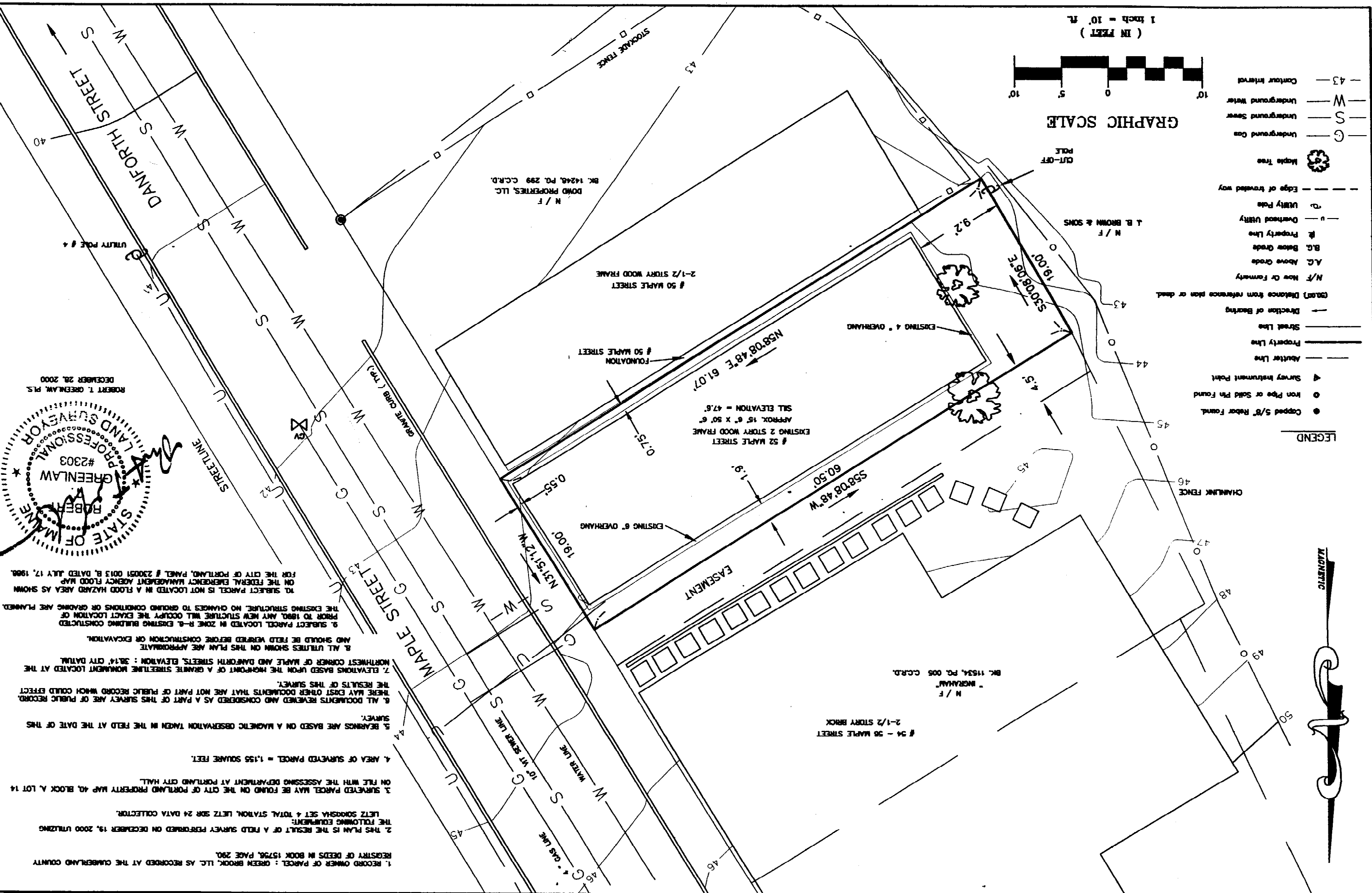
- LEGEND**
- Capped 5/8" Rebar Found.
 - Iron Pipe or Solid Pin Found
 - ◀ Survey Instrument Point
 - Abutter Line
 - Property Line
 - Street Line
 - Direction of Bearing
 - (50.00') Distance from reference plan or deed.
 - N/F Now Or Formerly
 - A.G. Above Grade
 - B.G. Below Grade
 - Property Line
 - Overhead Utility
 - Utility Pole
 - Edge of traveled way
 - Maple Tree
 - G Underground Gas
 - S Underground Sewer
 - W Underground Water
 - 43 Contour Interval





LEGEND

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- (Dist.) Distance from reference plan or deed.
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ROBERT T. GREENLAW, P.L.S.
DECEMBER 28, 2000

MINOR SITE PLAN
AT 52 MAPLE STREET PORTLAND, MAINE
GREEN BROOK, LLC
54 McNabb Court Portsmouth, NH

FOR:

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65A NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-774-4669

DRAWN BY: SBB
CHECKED BY: RTG
SCALE: 1" = 10'
DATE: DECEMBER 19, 2000.
JOB NUMBER: 200056-P
SHEET: 1 OF 1

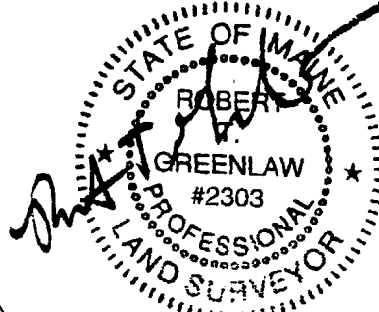
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AT 52 MAPLE STREET PORTLAND, MAINE

FOR:
GREEN BROOK, LLC
54 McNabb Court Portsmouth, NH



ROBERT T. GREENLAW, PLS.
DECEMBER 28, 2000

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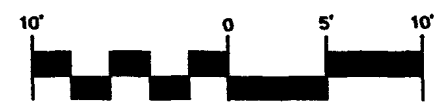
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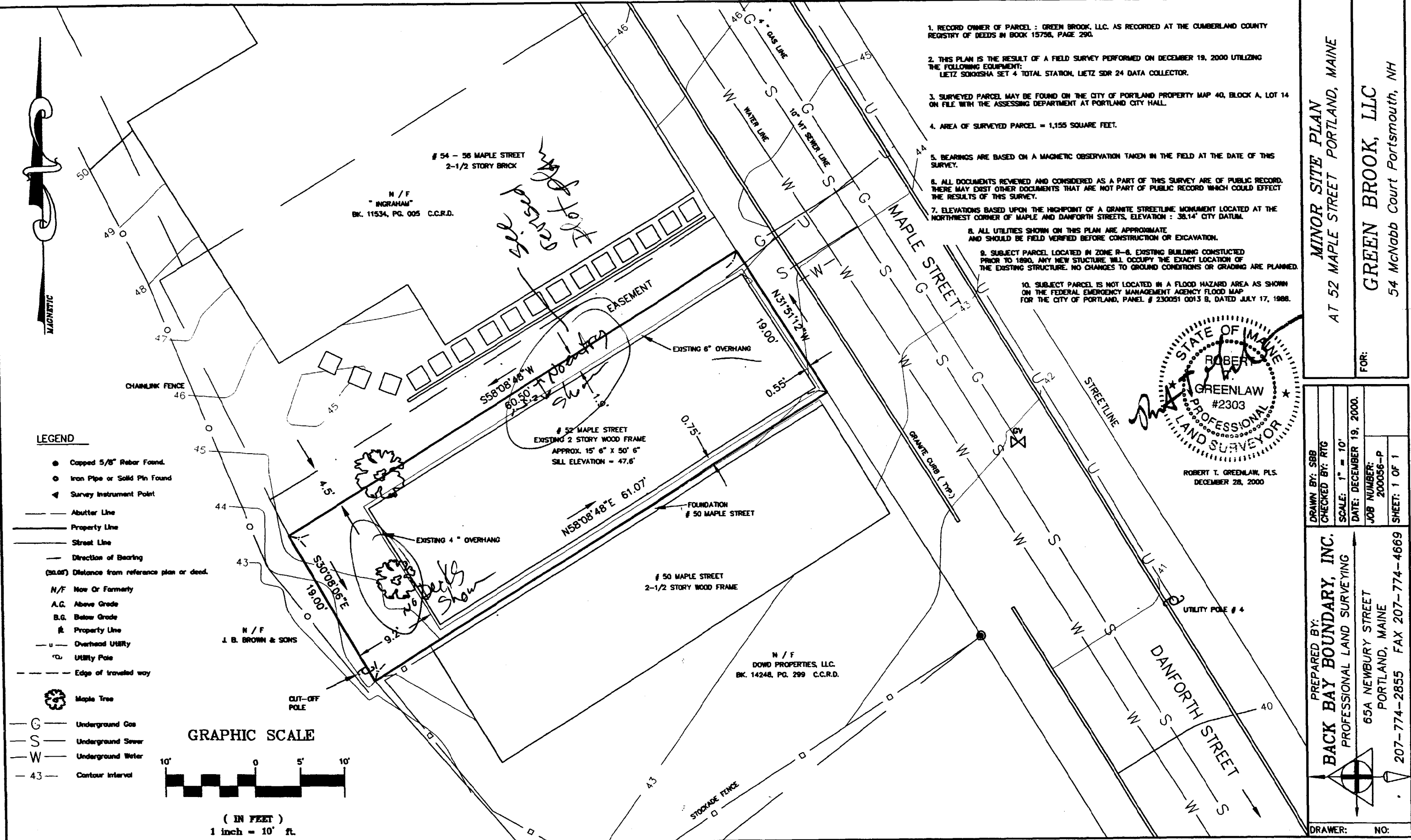
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GRAPHIC SCALE

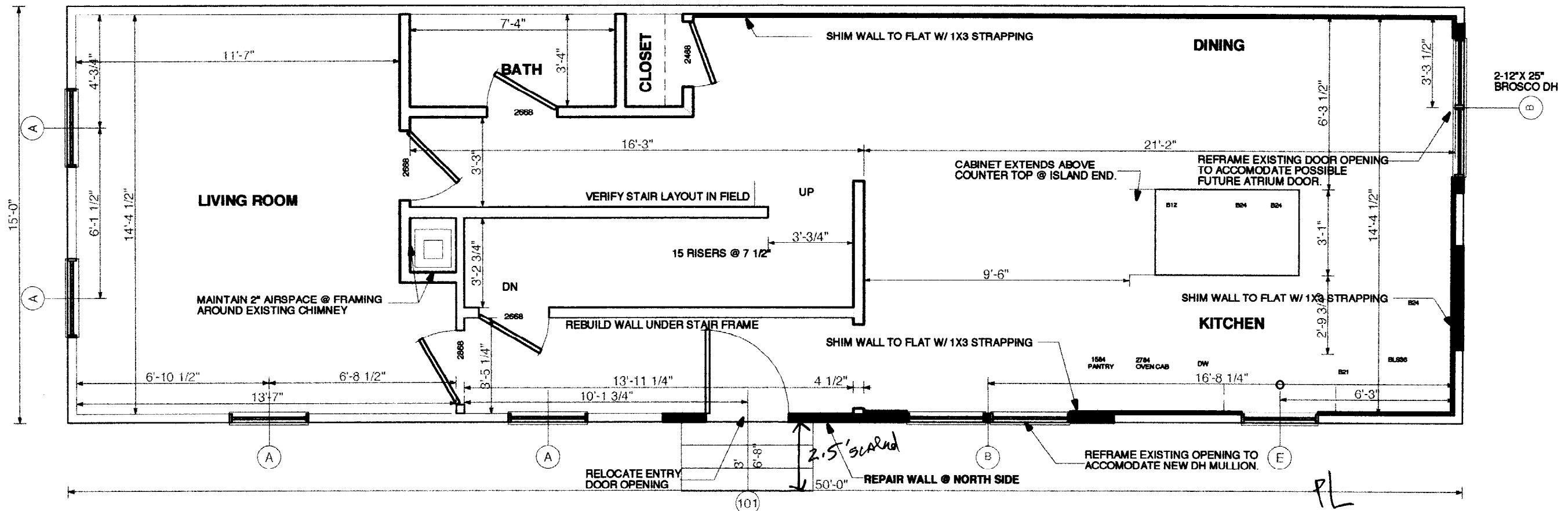


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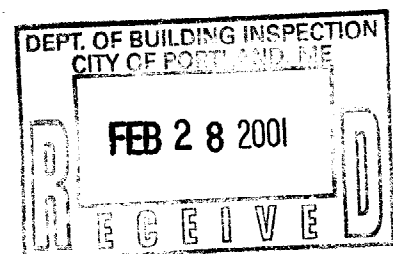


revised plans

STREET



EXISTING WALLS
NEW WALLS



GENERAL NOTES:

- REFRAME ALL WINDOWS TO ACCOMODATE NEW BROSCO WINDOW ROUGH OPENINGS (SEE WINDOW SCHEDULE,) SEE DETAIL @ 1/57.
- REMOVE ROTTED OR BROKEN DECK SHEATHING BOARDS. PATCH W/NEW 1X8 STOCK. RESHEATH ENTIRE FIRST FLOOR DECK W/ 1/2" FIR PLYWOOD.
- INFILL WALLS @ BACK HALF OF HOUSE WITH 2X4 STUDS @ 16" O.C. TO BEAR ON SILL PLATE AND EXTEND TO NEW PLATE @ SECOND FLOOR.

Matthew D. Beebe L.L.C.
54 McNabb Court Portsmouth, N.H. 03801
603-436-4256

renovation to the
MAPLE STREET HOUSE
52 Maple Street Portland, Maine

TITLE FIRST FLOOR PLAN

DATE 2-08-01 1/4"=1'-0"

Moorhead 2/26/01 MOB

A1

Revised plan



A3

TITLE NORTH ELEVATION

DATE 2-6-01 1/4"=1'-0"

MOORE 2/26/01 MDB

renovation to the

MAPLE STREET HOUSE

52 Maple Street Portland, Maine

Matthew D. Beebe L.L.C.

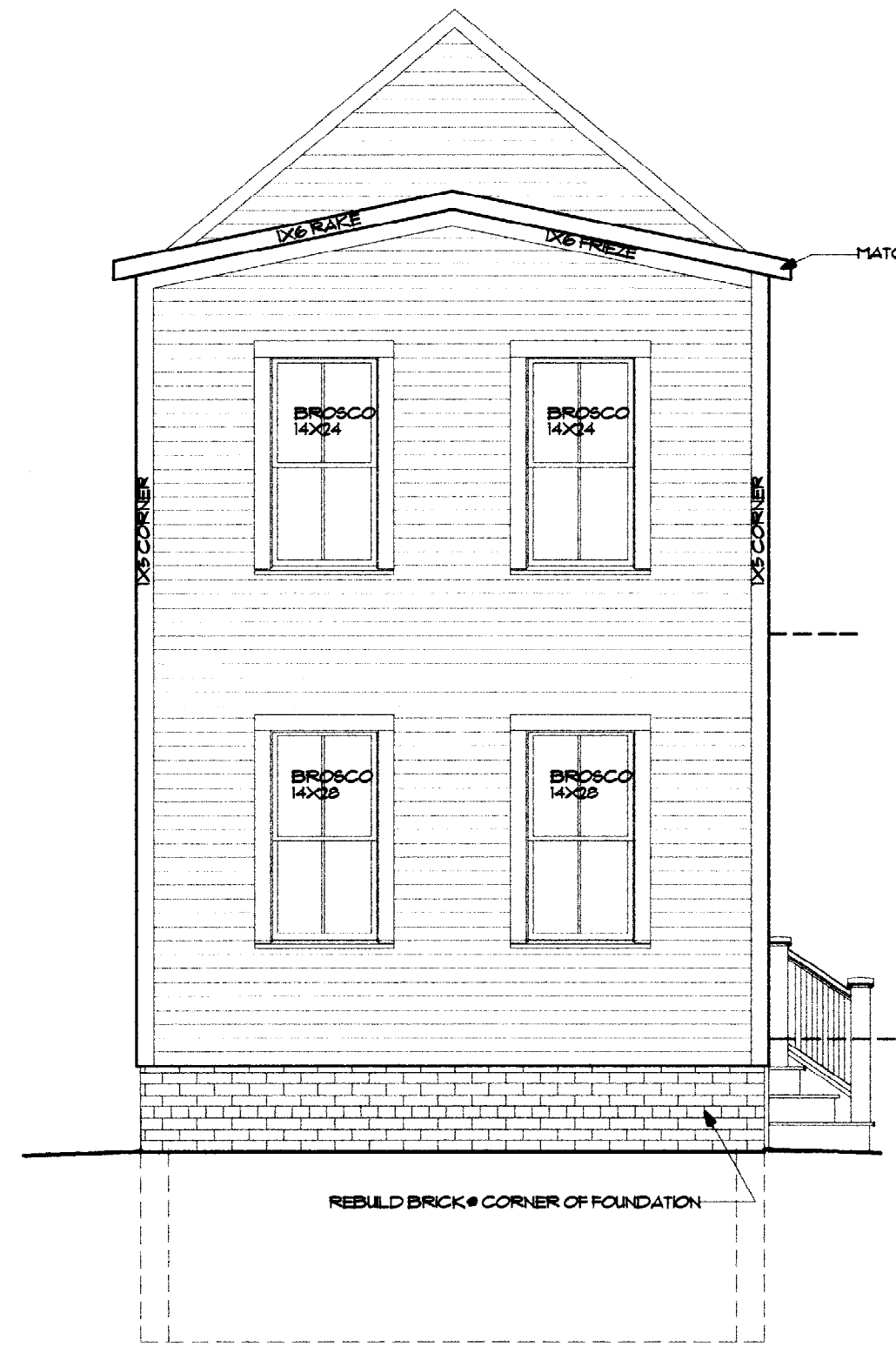
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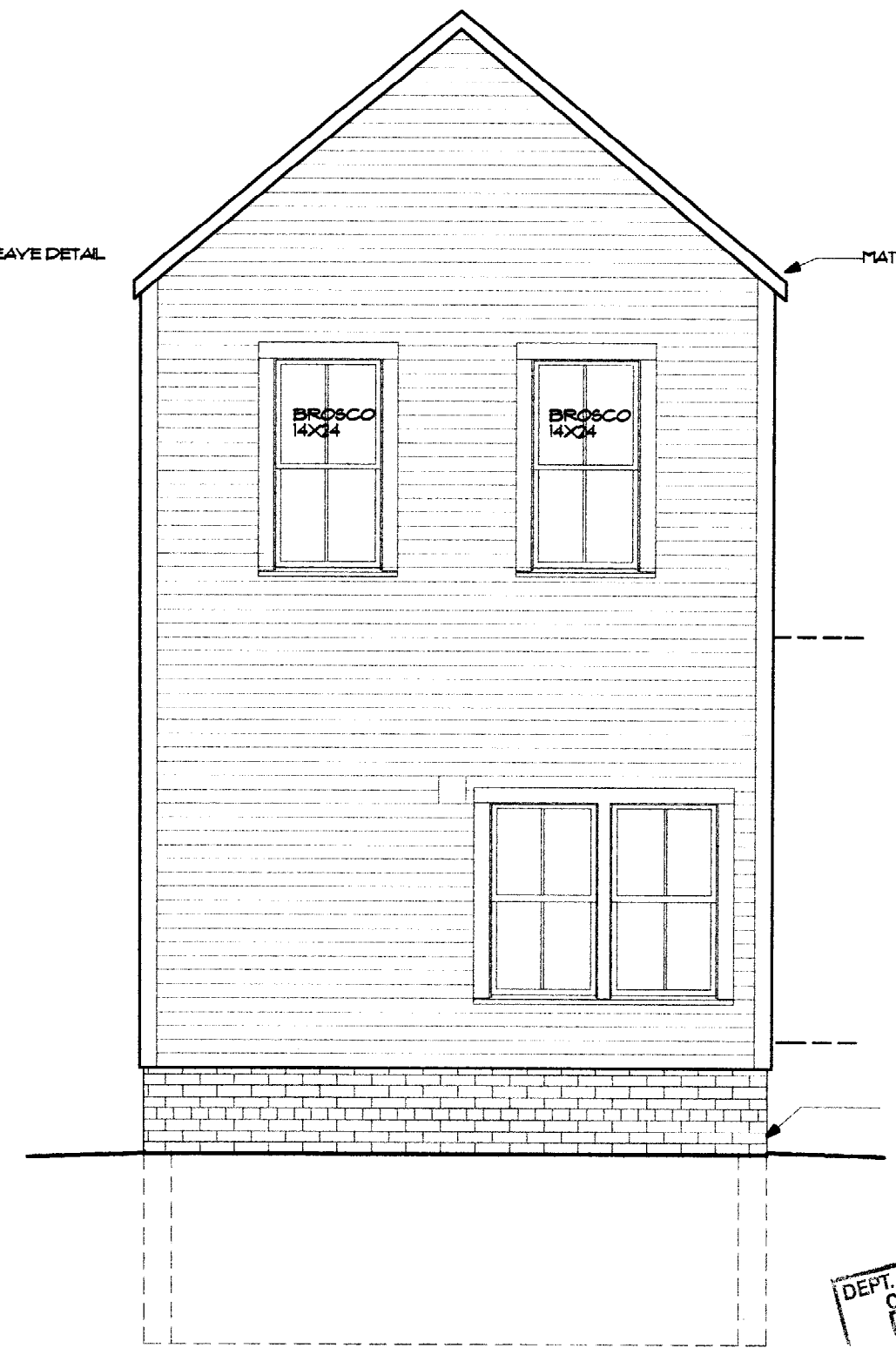
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

FEB 28 2001

Revised plans



EAST ELEVATION



WEST ELEVATION

A4

TITLE EASTWEST ELEVATIONS

DATE 2-8-01 Modified 2/26/01 MOB

1/4"=1'-0"

renovation to the

MAPLE STREET HOUSE

52 Maple Street Portland, Maine

Matthew D. Beebe L.L.C.

54 McNabb Court Portsmouth, N.H. 03801

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DEPT. OF BUILDING INSPECTION
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FEB 28 2001