

LEGEND:

- IRON PIPE OR ROD FOUND
- GRANITE MONUMENT
- WATER VALVE
- HYDRANT
- UTILITY POLE
- LIGHT POLE
- MANHOLE
- EXISTING CATCH BASIN
- DECIDUOUS TREE
- FI-2 NEW FIELD INLET
- SIGN
- FENCE
- STONE WALL
- CURB
- WATER LINE
- GAS LINE
- NEW UNDERGROUND ELE
- EXISTING COUNTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- SILT FENCE LOCATION

EROSION CONTROL MEASURES

In order to minimize erosion control problems resulting from the construction activities associated with this project, erosion control measures will be installed and/or followed prior to, during and after construction. Temporary and permanent measures for this project will consist of the following:

CONTRACTOR RESPONSIBILITIES:
Prior to the start of construction, the General Contractor for the project will meet with the Project Engineer to ensure compliance and understanding of the proposed measures. The Contractor will be made aware of the need to minimize all disturbances of the site and the need to install the recommended erosion control measures.

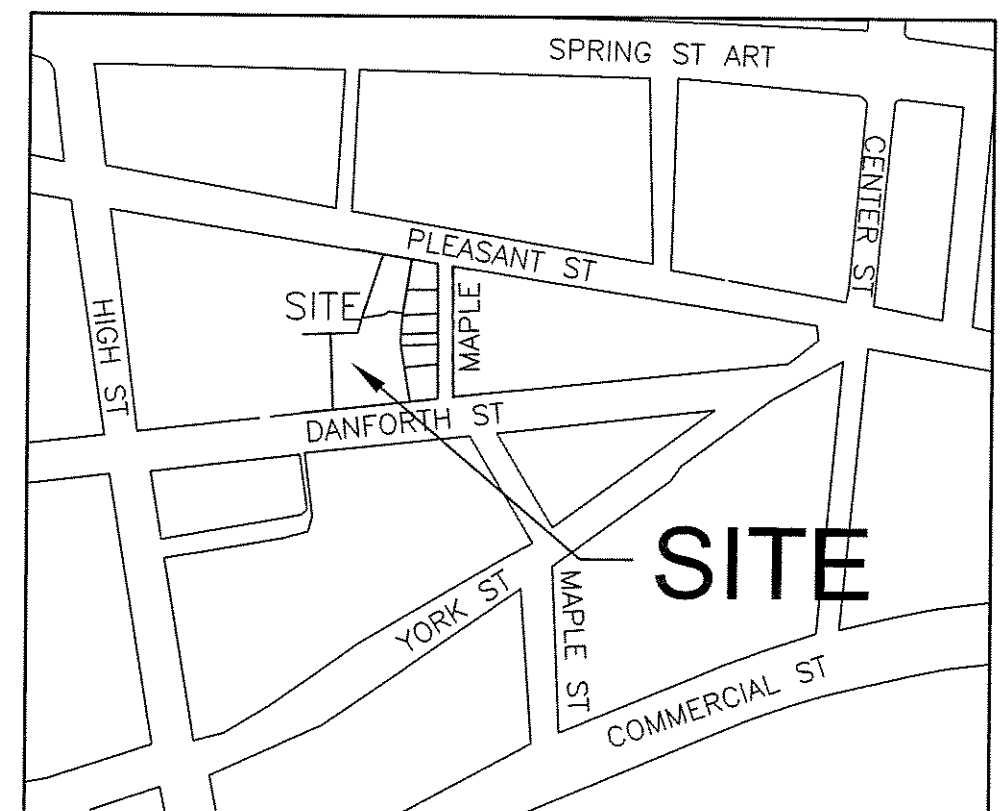
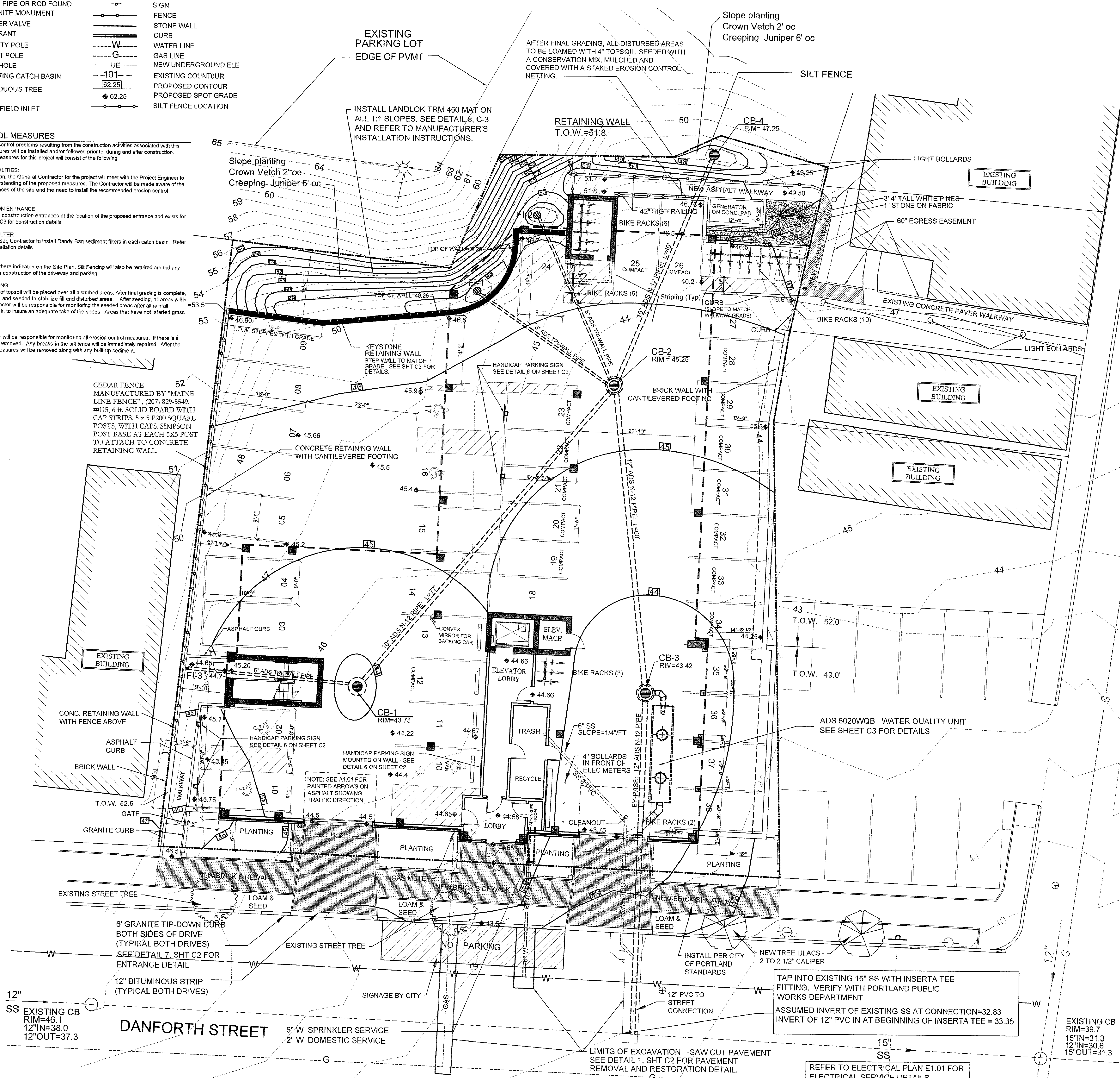
STABILIZED CONSTRUCTION ENTRANCE
Contractor to install stabilized construction entrances at the location of the proposed entrance and exists for this site. See Detail 2, Sheet C3 for construction details.

CATCH BASIN SEDIMENT FILTER
After catch basins have been set, Contractor to install Dandy Bag sediment filters in each catch basin. Refer to Detail 12, Sheet C2 for installation details.

SILT FENCE
Silt Fencing will be installed where indicated on the Site Plan. Silt Fencing will also be required around any stockpile areas created during construction of the driveway and parking.

FINAL GRADING AND SEEDING
During final grading, 4 inches of topsoil will be placed over all disturbed areas. After final grading is complete, the site will be limed, fertilized and seeded to stabilize fill and disturbed areas. After seeding, all areas will be mulched with hay. The Contractor will be responsible for monitoring the seeded areas after all rainfall events and at least once a week, to insure an adequate take of the seeds. Areas that have not started grass will be reseeded and mulched.

SITE MONITORING
The Developer and Contractor will be responsible for monitoring all erosion control measures. If there is a build up of sediment, it will be removed. Any breaks in the silt fence will be immediately repaired. After the site has become stabilized, measures will be removed along with any built-up sediment.



LOCATION MAP N.T.S.

GENERAL NOTES:

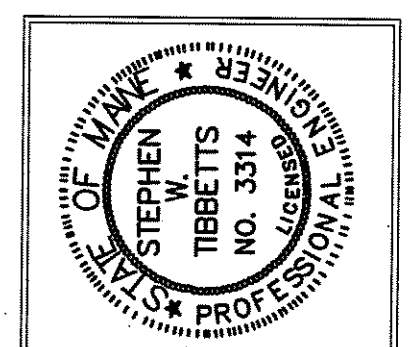
1. OWNER OF RECORD IS J.B. BROWN & SONS, 1031/88 (TM 40-A-8), 228/194 & 237/562 (TM 40-A-13), 823/284 & 828/308 (TM 40-A-25), CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.). TM 40-A-28, HAS NO DEED IS LISTED BY THE ASSESSOR'S DATABASE. THE DESCRIPTION WAS TAKEN FROM 615/57, C.C.R.D.
2. BEARINGS ARE BASED ON PLAN REFERENCE 1, AND ARE MAGNETIC IN THE YEAR
3. SUBJECT PROPERTY IS SHOWN ON MAP 40, BLOCK A, AS LOTS 8, 13, 25, AND 28 ON THE CITY OF PORTLAND'S ASSESSOR'S MAPS
4. AREA OF SUBJECT PARCEL: 16,470 SQ. FT. (.38 ACRES).
5. ZONE: RESIDENTIAL R-8 ZONE
6. THE PROPOSED BUILDING WILL CONSIST OF 43 APARTMENT UNITS:
GARAGE LEVEL: PARKING/MECHANICAL
2ND - 4TH FLOOR: 9 - 1BR, 2 - 2BR
5TH FLOOR: 8 - 1BR, 2 - 2BR
PARKING SPACES PROVIDED: 38
7. ELEVATIONS ARE ON THE CITY OF PORTLAND'S DATUM. BENCHMARK IS A GRANITE MONUMENT AT THE NORTHEAST CORNER OF DANFORTH & MAPLE STREETS. ELEVATION IS 40.03 FEET.
8. ALL SITE WORK TO BE IN CONFORMANCE WITH CITY OF PORTLAND OR UTILITY COMPANY SPECIFICATIONS AND DETAILS.
9. PATCH AND REPAIR ALL DAMAGE TO SITE PER CITY OF PORTLAND SPEC
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL THE UTILITIES LOCATE THEIR SERVICES PRIOR TO THE START OF CONSTRUCTION. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MSRA 3360-A.
11. PROVIDE PEDESTRIAN ACCESS ALONG ALL STREETS AS DIRECTED BY THE CITY OF PORTLAND.
12. ALL WORK NOTED ON THIS SHEET NEEDS TO BE CO-ORDINATED WITH PUBLIC WORKS AND NOT IMPEDING COMMUTER TRAFFIC
13. LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS ONLY AFTER APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY AND THE CITY OF PORTLAND.
14. CONTRACTOR TO INSTALL CATCH BASIN SEDIMENT FILTER IN IN THE NEW CATCH BASINS AFTER THEY HAVE BEEN SET. CONTRACTOR WILL MONITOR THE FILTER FOR SEDIMENT BUILD-UP AND REMOVE ANY SEDIMENT. SEE DETAIL 12, SHT C2, FOR DANDY BAG INSTALLATION DETAIL.
15. EXISTING PAVEMENT SHALL BE SAW CUT AND BUTTED TO THE NEW PAVEMENT. NO FEATHERING OF PAVEMENT WILL PERMITTED.
16. ALL MATERIALS AND INSTALLATIONS SHALL MEET MDT AND/OR CITY OF PORTLAND SPECIFICATIONS.
17. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ENGINEER FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
18. DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ENGINEER. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER FOR FURTHER RESOLUTION BEFORE ANY ADDITIONAL WORK IS PERFORMED.
19. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AND SHALL NOT BE DISTURBED. IF DISTURBED, THEY SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
20. ANY GRANITE CURBING REMOVED DURING CONSTRUCTION IS THE PROPERTY OF THE CITY OF PORTLAND.
21. ANY DAMAGE TO THE EXISTING CITY CURBING, BRICK SIDEWALK, ROADWAY AND SANITARY SEWER WILL BE REPAIRED BY THE OWNER.
22. CONNECTION TO THE COMBINED SEWER-STORMWATER LINE IN DANFORTH STREET TO BE VERIFIED IN THE FIELD. ANY CHANGES REQUIRED TO THE INTERNAL STORMWATER SYSTEM DUE TO INVERT VARIATION FROM DRAWINGS ARE TO BE REPORTED TO THE PROJECTENGINEER FOR REVISIONS.
23. LANDSCAPE PLANTINGS AND DETAILS, INCLUDING PROPOSED STREET TREES, ARE SHOWN ON THE SUBMITTED LANDSCAPE PLAN.
24. WORK IN DANFORTH STREET WILL REQUIRE A STREET OPENING PERMIT FROM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS. ALL WORK WILL MEET THE DEPARTMENT OF PUBLIC WORK STANDARDS.
25. THE ENTIRE LENGTH OF THE SIDEWALK ALONG DANFORTH STREET MAY NEED TO BE REPAIRED/REPLACED PENDING AN INSPECTION BY PUBLIC WORKS.

PLAN REFERENCE:

1. "EXISTING CONDITIONS SURVEY ON DANFORTH, MAPLE & PLEASANT STREETS, PORTLAND, MAINE, BY OWEN HASKELL, INC., PROFESSIONAL LAND SURVEYORS, 390 U.S. ROUTE 1, FALMOUTH, MAINE, 04105, DATED JANUARY 8, 2008, REVISED FEBRUARY 8, 2008.

STRUCTURE TABLE			
STRUCTURE	RIM	INVERT IN	INVERT OUT
CB-1 18" NYLOPLAST DRAIN BASIN W/OUTLET - 12" STD N-12 GRATE	43.75	41.6 (6" ADS TRI-WALL PIPE) 41.5 (6" PVC ROOF DRAIN)	41.4 (10" ADS N-12)
CB-2 9" ID CONCRETE CATCH BASIN W/CAST-IN-PLACE TRAP	45.25	41.0 (10" ADS N-12; CB1) 42.0 (12" ADS N-12; CB4) (6" ADS TRI-WALL PIPE) (6" PVC ROOF DRAIN)	39.9 (12" ADS N-12)
CB-3 9" ID CONCRETE CATCH BASIN W/CAST-IN-PLACE TRAP	43.42	39.5 (12" ADS N-12) 40.0 (6" PVC ROOF DRAIN)	39.5 (12" ADS N-12 BY-PASS) 38.5 (10" TO WOU)
CB-4 24" NYLOPLAST DRAIN BASIN W/OUTLET - 24" STD N-20 GRATE	47.25	F1-1 47.5 F2 48.25	43.23 (12" ADS N-12) 42.2 (6" ADS TRI-WALL PIPE)
FI-1 6" NYLOPLAST IN-LINE DRAIN 8" DOME GRATE W/8" Ø REDUCER	44.55	F3 44.55	41.8 (6" ADS TRI-WALL PIPE)
ADS 6020WQB WATER QUALITY UNIT SEE SHEET C3 FOR DETAILS	-	-	38.33 (10" TO BY-PASS)

* 24" N-12 ACCESS RISERS TO BE INSTALLED IN FIELD TO PAVEMENT GRADE



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53 DANFORTH STREET
53 DANFORTH STREET
PORTLAND, ME

Project: 1" = 10'-0"
Date: 15 APRIL 2008
Scale: 1" = 10'-0"
Revisions:
DATE: 15 APRIL 2008
BY: JWB
REVISION: REVISED DRAWING MADE
CHANGES TO REFLECT PLANNING BOARD
COMMENTS, REVISED OVERALL GRADING
REVISED CURBING RETAINING WALLS
15 July 2008 - 90% MSHA Submittal
15 July 2008 - Pricing Set
25 July 2008 - 100% MSHA Submittal

SUBDIVISION & SITE PLAN

C1