

Administrative Authorization Decision

Application #: 2013-047
Name: Retaining Wall Repair - Goodwill
Address: IINGII ST
Description: Retaining wall repairs

Criteria for an Administrative Authorization: (See Section 14-523 (4) on page 2 of this application)	Applicant's Assessment		Planning Division
	Yes, No, N/A		Use Only
a) Is the proposal within existing structures?	Yes	Yes	
b) Are there any new buildings, additions, or demolitions?	No	No	
c) Is the footprint increase less than 500 sq. ft.?	N/A	N/A	
d) Are there any new curb cuts, driveways or parking areas?	No	No	
e) Are the curbs and sidewalks in sound condition?	N/A	N/A	
f) Do the curbs and sidewalks comply with ADA?	N/A	N/A	
g) Is there any additional parking?	No	No	
h) Is there an increase in traffic?	No	No	
i) Are there any known stormwater problems?	No	No	
j) Does sufficient property screening exist?	N/A	N/A	
k) Are there adequate utilities?	N/A	N/A	
l) Are there any zoning violations?	N/A	N/A	
m) Is an emergency generator located to minimize noise?	N/A	N/A	
n) Are there any noise, vibration, glare, fumes or other impacts?	N/A	N/A	

The Administrative Authorization for the Retaining Wall Repair - Goodwill was approved by Shukria Wiat, Planner on June 6, 2013 with the following condition of approval listed below:

- 1) Not applicable

Shukria Wiat
Planner
Approval Date: June 6, 2013



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: INGRAMMA HS

PROJECT ADDRESS: 79 HIGH STREET CHART/BLOCK/LOT: _____

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: GOODWILL INDUSTRIES
 Address: MTV CURTIS HAMILTON
353 CUMBERLAND AVE
PORTLAND, ME 04101
 Work #: _____
 Cell #: 207-415-6005
 Fax #: _____
 Home #: _____
 E-mail: CURTIS.HAMILTON@GOODWILL-COM

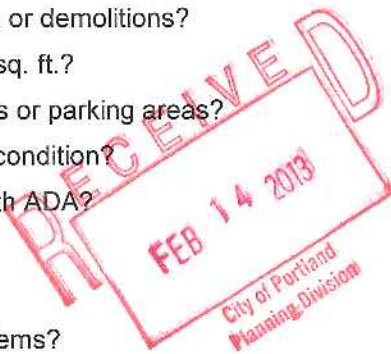
CONSULTANT/AGENT

Name: SMART C/O SCOTT BENSON
 Address: 144 FORE STREET
PORTLAND, MAINE 04101
 Work #: 207 772-3846
 Cell #: 207 415-7063
 Fax #: 772-1070
 Home #: _____
 E-mail: SBENSON@SMARTINC.COM

Criteria for an Administrative Authorization:
(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment
Y(yes), N(no), N/A

- | | |
|---|-----------|
| a) Is the proposal within existing structures? | <u>Y</u> |
| b) Are there any new buildings, additions, or demolitions? | <u>N</u> |
| c) Is the footprint increase less than 500 sq. ft.? | <u>NA</u> |
| d) Are there any new curb cuts, driveways or parking areas? | <u>N</u> |
| e) Are the curbs and sidewalks in sound condition? | <u>NA</u> |
| f) Do the curbs and sidewalks comply with ADA? | <u>NA</u> |
| g) Is there any additional parking? | <u>N</u> |
| h) Is there an increase in traffic? | <u>N</u> |
| i) Are there any known stormwater problems? | <u>N</u> |
| j) Does sufficient property screening exist? | <u>NA</u> |
| k) Are there adequate utilities? | <u>NA</u> |
| l) Are there any zoning violations? | <u>NA</u> |
| m) Is an emergency generator located to minimize noise? | <u>NA</u> |
| n) Are there any noise, vibration, glare, fumes or other impacts? | <u>NA</u> |



Signature of Applicant: <u>Scott Benson</u>	Date: <u>2.14.13</u>
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IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

City of Portland
 Development Review Application
 Planning Division Transmittal Form

Application Number: 2013-047

Application Date: 02/14/2013

CBL: 040 A001001

Application Type: Administrative Authorization

Project Name:

Address: 71- HIGH ST

Project Description: Retaining wall repairs

Zoning:

Other Required Reviews:

- | | | |
|---|---|---|
| <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> 14-403 Streets | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> Storm Water | # Units _____ | <input checked="" type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Flood Plain | <input type="checkbox"/> Other: |
| # Lots _____ | <input type="checkbox"/> Shoreland | |
| <input type="checkbox"/> Site Location | <input type="checkbox"/> Design Review | |
| # Unit _____ | | |

Distribution List:

Planner		Parking	John Peverada
Zoning	Marge Schmuckal	Design Review	Alex Jaegerman
Traffic Engineer	Tom Errico	Corporation Counsel	Danielle West-Chuhta
Civil Engineer	David Sensus	Sanitary Sewer	John Emerson
Fire Department	Chris Pirone	Inspections	Tammy Munson
City Arborist	Jeff Tarling	Historic Preservation	Deb Andrews
Engineering	David Margolis-Pineo	DRC Coordinator	Phil DiPierro
		Outside Agency	

Comments needed by 2/21/2013

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
 Portland, Maine 04101

RECEIPT OF FEES

Application No: 2013-047	Applicant: GOODWILL DEVELOPMENT CO
Project Name:	Location: 71- HIGH ST
CBL: 040 A001001	Development Type: Administrative Authorization
Invoice Date: 02/14/2013	

Previous Balance	-	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$0.00		\$0.00		\$50.00		\$50.00		\$0.00	On Receipt

Previous Balance **\$0.00**

Fee Description	Qty	Fee/Deposit Charge
Administrative Authorization	1	\$50.00
		<u>\$50.00</u>
	Total Current Fees:	+ \$50.00
	Total Current Payments:	- \$50.00
	Amount Due Now:	\$0.00

CBL 040 A001001
Bill to:

Application No: 2013047
Invoice Date: 02/14/2013
Invoice No: 40121
Total Amt Due: \$0.00
Payment Amount:

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.

TEMPORARY LICENSE

THIS TEMPORARY LICENSE made by and between the **CITY OF PORTLAND**, a body politic and corporate, located in Cumberland County, State of Maine (hereinafter "**CITY**") and **GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND**, a Maine corporation with a principal place of business in Portland, Maine and a mailing address of 343 Cumberland Avenue Portland, Maine 04101 (hereinafter "**Goodwill**").

WHEREAS, **GOODWILL** owns property on which the Ingraham House is located in the vicinity of 79 High Street, Portland, Maine (the "**Property**") as more particularly depicted on the Site Plan included in the drawings attached hereto as Exhibit A; and

WHEREAS, the **CITY** owns property along both High and Pleasant Streets on which a portion of the retaining walls and porch of the Ingraham House are located as more particularly depicted on the Site Plan included in the drawings attached hereto as Exhibit A; and

WHEREAS, **GOODWILL** is seeking approval to repair the existing retaining wall located on the Property and the City Property as described in the drawings attached hereto as Exhibit A; and

WHEREAS, in order to complete the aforementioned repair work, **GOODWILL** and its agents must be able to enter upon the City Property and excavate and perform concrete and masonry work on the retaining wall structure as described in the drawings attached hereto as Exhibit A; and

NOW, THEREFORE, in consideration of the foregoing and the covenants herein contained, the **CITY** hereby grants to **GOODWILL** and its agents the following rights:

1. A temporary license for people and machinery to enter in, on and over the City Property for the purpose of performing repair work on the existing retaining walls located on the Property and on City Property as depicted and described in Exhibit A.
2. **GOODWILL** acquires no other rights in and to the City Property. This is a temporary license and no provision hereof shall be construed as conveying an easement or other estate in land.
3. The repair work described herein shall be accomplished by **GOODWILL** and its agents at **GOODWILL'S** sole cost and expense.
4. To the fullest extent permitted by law, **GOODWILL** agrees to assume responsibility for any and all claims and/or damage to persons or property arising out of or in any way related to the repair work described herein and its entry upon

the City Property, and at all times shall defend, indemnify and hold harmless the CITY, its officers, agents and employees from any claims, liability, losses, costs, expenses (including, without limitation, reasonable attorney's fees), fines, damages or judgments, just or unjust, that arise out of or are caused, in whole or in part, by GOODWILL or its agents, constructors and their officers, employees or subcontractors in conjunction with the activities related to the repair work described herein, said claims to include, without being limited to, claims for personal injury or property damage, including damage to CITY employees or property. Nothing in this Agreement shall be construed as authorizing GOODWILL or its agents to hold themselves out as an officer, agent or employee of the CITY. The terms of this indemnification provision shall survive termination or revocation of this Agreement.

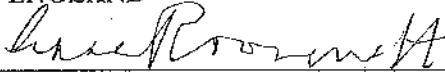
5. GOODWILL shall procure and maintain throughout the term of this Agreement general liability insurance in the minimum amount of Four Hundred Thousand (\$400,000.00), combined single limit, covering bodily injury, death, property damage and GOODWILL'S or its agents' activities hereunder and naming the CITY as an additional insured thereon. In conjunction with the execution of this License, GOODWILL shall deliver a certificate to the CITY evidencing said insurance. GOODWILL shall also provide the CITY with no less than thirty (30) days prior written notice of cancellation or non-renewal of said insurance. All insurance policies hereunder shall be primary to any insurance, or self-insurance, maintained by the CITY.
6. In the event any damage occurs to the City Property as a result of the demolition work described herein or GOODWILL and its agent's entry on the City Property, GOODWILL agrees that it will be responsible for the prompt repair of said damage.
7. This temporary construction license shall expire on December 1, 2013, or upon the completion of the work contemplated by this agreement, whichever comes first. Notwithstanding the foregoing, this license may be revoked upon ten (10) days written notice given by the City.

IN WITNESS WHEREOF, the CITY and GOODWILL have set their hand and seals on _____, 2013.

CITY OF PORTLAND

By: _____
Mark Rees, City Manager

GOODWILL INDUSTRIES OF NORTHERN
NEW ENGLAND

By: 
Anna Eleanor Roosevelt, Chief Executive Officer

STATE OF MAINE
CUMBERLAND, ss.

Dated: _____

Personally appeared the above-named Mark Rees, and gave oath that the foregoing statements made by him are true to the best of his knowledge, information and belief, and where based upon information and belief, she believes the same to be true.

Before me,

SUE SHUER
Notary Public, Maine
My Commission Expires January 22, 2014

Notary Public/Attorney-at-Law

STATE OF MAINE
CUMBERLAND, ss.

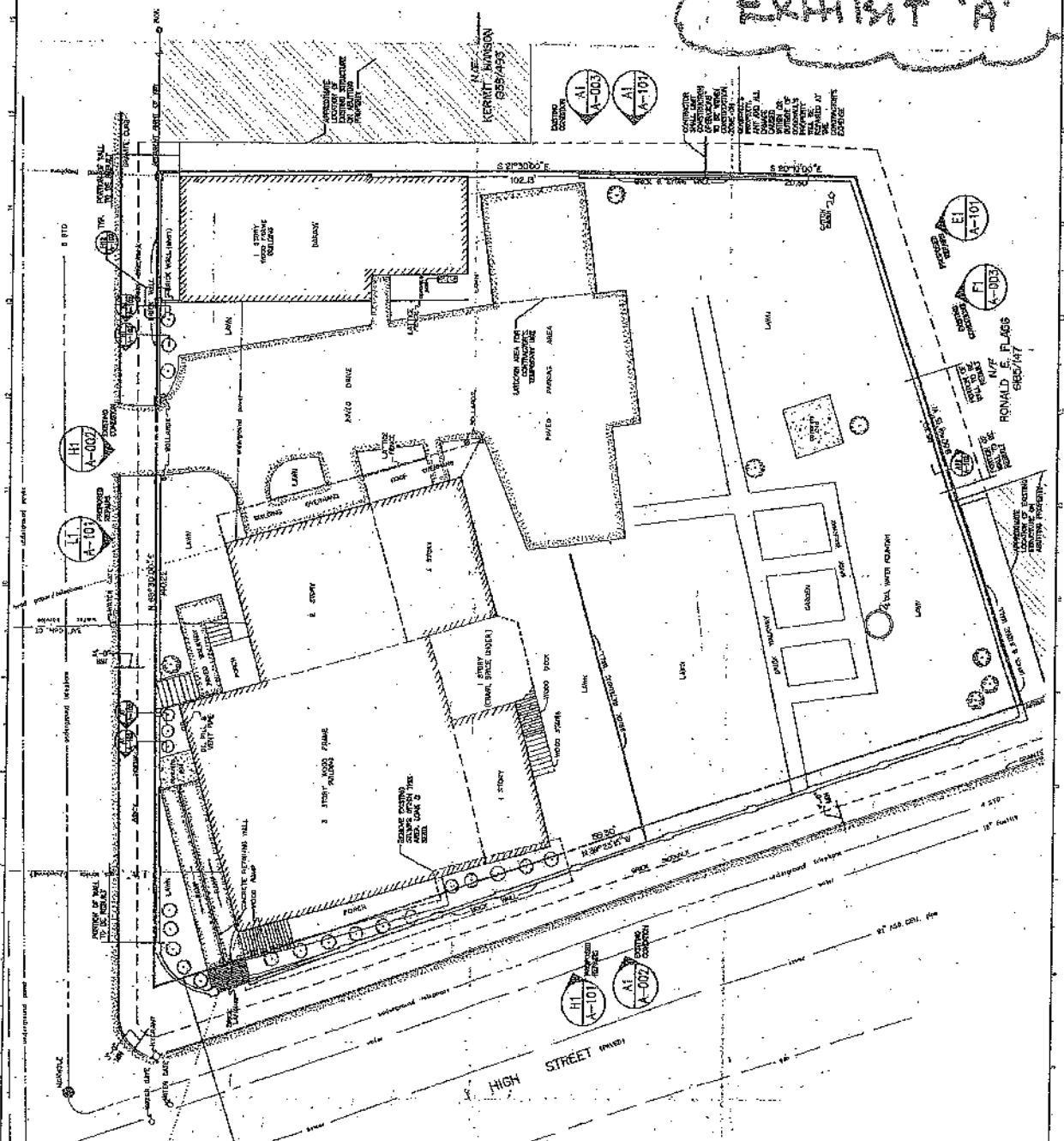
Dated: May 31 2013

Personally appeared the above-named Anna Eleanor Roosevelt, Chief Executive Officer of Goodwill Industries of Northern New England, and gave oath that the foregoing statements made by her are true to the best of her knowledge, information and belief, and where based upon information and belief, she believes the same to be true.

Before me,


Notary Public/Attorney-at-Law

EXHIBIT A



NOTES

1. SURVEY PLAN PROVIDED BY COLLESON CIVIL ASSOCIATES, INC. DATED MAY 4, 1988.
2. THE SURVEY USED AS REFERENCE PLAN ONLY. FIELD VERIFY ALL DIMENSIONS, DISTANCES AND BEARINGS.
3. SEE DIMENSIONS AND DETAILS FOR ADDITIONAL INFORMATION.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS OF EXISTING STRUCTURES AND UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS OF EXISTING STRUCTURES AND UTILITIES PRIOR TO CONSTRUCTION.

APPROVED BY: [Signature]

DATE: 12/31/12



CERTIFICATE OF LIABILITY INSURANCE

GOODIND-01

VWYMAN

DATE (MM/DD/YYYY)

5/15/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Clark Insurance P O BOX 3543 Portland, ME 04104		CONTACT NAME: PHONE (A/C, No, Ext): (207) 774-6257 E-MAIL ADDRESS: FAX (A/C, No): (207) 774-2994	
INSURED Goodwill Industries of Northern New England 353 Cumberland Avenue P.O. Box 8600 Portland, ME 04104-8600		INSURER(S) AFFORDING COVERAGE	
		INSURER A: Citizens Ins Co of IL	NAIC # 10714
		INSURER B: Massachusetts Bay	22306
		INSURER C: Hanover Ins Company	22292
		INSURER D: Acadia	31325
		INSURER E:	
		INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR	X		ZBP5016062	7/1/2012	7/1/2013	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 3,000,000 PRODUCTS - COM/PROP AGG \$ 3,000,000
GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC							
B	<input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS			ADP4922273	7/1/2012	7/1/2013	<input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (PER ACCIDENT) \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB			UHP5237334	7/1/2012	7/1/2013	<input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	WPA5070350-10	1/1/2013	1/1/2014	<input checked="" type="checkbox"/> WC STAT. TCRY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - EA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 The City of Portland is Additional Insured with respect to 1) the sign located at the insured's "Bayside Street, Portland, Maine" location, 2) 1104 Forest Avenue, Portland, Maine and 3) the license agreement for 71 High Street, Portland Maine as required by written contract.

CERTIFICATE HOLDER**CANCELLATION**

City of Portland
 389 Congress Street
 Portland, ME 04101

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Anthony Lee

REVOCABLE LICENSE AGREEMENT

This revocable license is granted by the **CITY OF PORTLAND**, a Maine body politic and corporate, with a mailing address of City Hall, 389 Congress Street, Portland, Maine 04101 (hereinafter "**CITY**") to **GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND**, a Maine corporation with a principal place of business in Portland, Maine and a mailing address of 343 Cumberland Avenue Portland, Maine 04101 (hereinafter "**GOODWILL**") for the location, repair and maintenance of a porch and retaining wall occupying portions of land owned by the City on 71 High Street in Portland, Cumberland County, Maine more particularly described on Exhibit A attached hereto and made a part hereof. The location, repair and maintenance of said porch and retaining wall shall be governed by the terms of this License Agreement.

1. **GOODWILL** its successors and assigns is hereby permitted to occupy the land located in the vicinity of 71 High Street with the porch and stairs described on Exhibit A.

2. **GOODWILL** shall be responsible for the prompt and proper maintenance and/or repair of the porch and retaining wall.

3. **GOODWILL** shall procure and maintain liability insurance in an amount of not less than Four Hundred Thousand Dollars (\$400,000.00) combined single limit (or the amount stated in the Maine Tort Claims Act as the same may be amended from time to time), covering claims for the bodily injury, death and property damage and shall name the **CITY** as an additional insured with respect to such coverage.

4. **GOODWILL**, by execution of this License Agreement, hereby agrees to assume responsibility for any and all claims and/or damage to persons or property arising out of or in any way related to its use of **CITY** property located in the vicinity of 71 High Street, and does hereby waive, release, relinquish, remise and discharge the **CITY**, its agents, employees, successors and assigns from any and all losses, costs or expenses (including reasonable attorney's fees), damages, demands, liabilities, claims, actions, causes of action, suits, or judgments (collectively, "Claims") whatsoever of every name and nature, in law and in equity, including without limitation those related in any manner to any accident, damage, or injury to, or death of, any person, or any damage to property occurring on, in or in the vicinity of the area covered by this License Agreement, arising out of the presence in and use by **GOODWILL** of the area covered by this License Agreement.

5. This license is assignable to any subsequent owners of the improvements located on the land at 71 High Street as described on Exhibit A attached hereto.

6. This License may be revoked upon three (3) months written notice from the **CITY** to **GOODWILL** and shall automatically terminate in the event that the building located at 71 High Street is destroyed, removed or otherwise ceases to exist on this site.

IN WITNESS WHEREOF, the CITY and GOODWILL have set their hand and seals on _____, 2013.

CITY OF PORTLAND

By: _____
Mark Rees, City Manager

GOODWILL INDUSTRIES OF NORTHERN NEW ENGLAND

By: *Anna Eleanor Roosevelt*
Anna Eleanor Roosevelt, Chief Executive Officer

STATE OF MAINE
CUMBERLAND, ss.

Dated: _____

Personally appeared the above-named Mark Rees, and gave oath that the foregoing statements made by him are true to the best of his knowledge, information and belief, and where based upon information and belief, she believes the same to be true.

Before me,

SUE SHUER
Notary Public, Maine
My Commission Expires January 22, 2014

Notary Public/Attorney-at-Law

STATE OF MAINE
CUMBERLAND, ss.

Dated: *May 31, 2013*

Personally appeared the above-named Anna Eleanor Roosevelt, Chief Executive Officer of Goodwill Industries of Northern New England, and gave oath that the foregoing statements made by her are true to the best of her knowledge, information and belief, and where based upon information and belief, she believes the same to be true.

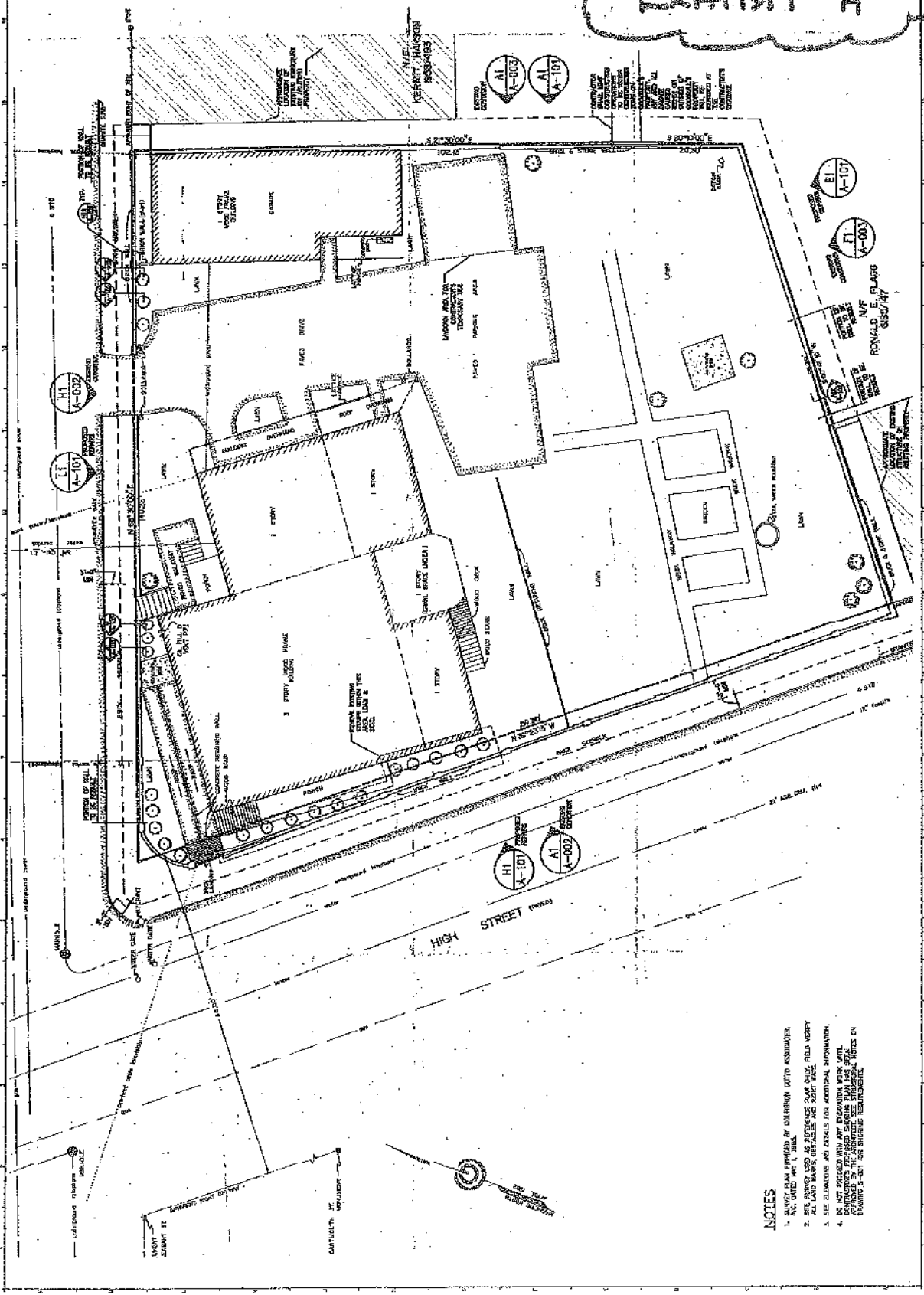
Before me,

Sue Shuer
Notary Public/Attorney-at-Law

114 Pine Street, Box 618
 Portland, Maine 04101
 Tel: (603) 773-1000
 Fax: (603) 773-1000
 ARCHITECTURE
 DRAWINGS
 PLANS
 INTERIOR DESIGN
 VISUALIZATION

100% REVIEW
 12-31-12
 REMAINING WALL REPAIRS
 IN THE EXISTING BASE
 ROOMS - INGRAM HOUSE

EXHIBIT 'A'



- NOTES**
1. REPAIR PLAN SUBMITTED BY COLLIERIERI ARCHITECTS.
 2. SITE VISITED MAY 1, 2012.
 3. SITE VISITED USED AS REFERENCE PLAN ONLY. FIELD VERIFY ALL LAND MARKS, REPAIRS AND EXISTING WALLS.
 4. SEE EXHIBITS AND DETAILS FOR ADDITIONAL INFORMATION.
 5. DO NOT PROCEED WITH ANY REPAIRS UNTIL ALL REPAIRS TO EXISTING WALLS AND ROOF ARE COMPLETED BY THE CONTRACTOR. SEE EXHIBITS, NOTES EN DRAWING 2-001 FOR EXISTING REPAIRS.



CERTIFICATE OF LIABILITY INSURANCE

GOODIND-01 WYMAN

DATE (MM/DD/YYYY)
5/15/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Clark Insurance P O BOX 3543 Portland, ME 04104	CONTACT NAME:		
	PHONE (A/C, No, Ext): (207) 774-6257	FAX (A/C, No): (207) 774-2994	
INSURED Goodwill Industries of Northern New England 353 Cumberland Avenue P.O. Box 8600 Portland, ME 04104-8800	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: Citizens Ins Co of IL		10714
	INSURER B: Massachusetts Bay		22306
	INSURER C: Hanover Ins Company		22292
	INSURER D: Acadia		31325
	INSURER E:		
INSURER F:			

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDITIONAL INSURER	SUBROGATION	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY	X		ZBP5016062	7/1/2012	7/1/2013	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person) \$ 5,000
							PERSONAL & ADV INJURY \$ 1,000,000
GEN'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREGATE \$ 3,000,000
<input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC							PRODUCTS - COMP/OP AGG \$ 3,000,000
B	AUTOMOBILE LIABILITY			ADP4922273	7/1/2012	7/1/2013	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS						PROPERTY DAMAGE (PER ACCIDENT) \$
							\$
C	UMBRELLA LIAB			UHP5237334	7/1/2012	7/1/2013	EACH OCCURRENCE \$ 5,000,000
	<input checked="" type="checkbox"/> EXCESS LIAB						AGGREGATE \$ 5,000,000
	<input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> CLAIMS-MADE						\$
DED RETENTION \$							\$
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	N/A		WPA5070350-10	1/1/2013	1/1/2014	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER \$
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT \$ 500,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$ 500,000
							E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
The City of Portland is Additional Insured with respect to 1) the sign located at the insured's "Bayside Street, Portland, Maine" location, 2) 1104 Forest Avenue, Portland, Maine and 3) the license agreement for 71 High Street, Portland Maine as required by written contract.

CERTIFICATE HOLDER City of Portland 389 Congress Street Portland, ME 04101	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Anthony La...</i>

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