

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

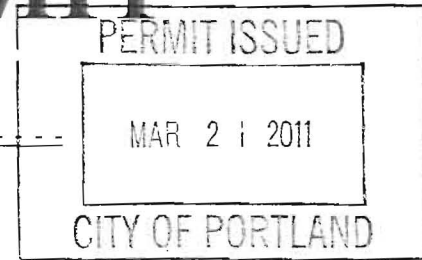


This is to certify that RGT ASSOCIATES

Located At 106 HIGH

Job ID: 2011-03-551-ALTCOMM

CBL: 039 - - A - 037 - 001 - - - -



has permission to Interior fit up for new restaurant/lounge license "Plush West End"

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

[Signature]

Fire Prevention Officer

[Signature] 3/21/11

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-03-551-ALTCOMM	Date Applied: 3/8/2011	CBL: 039 - - A - 037 - 001 - - - -	<div style="border: 2px solid red; padding: 5px; text-align: center;"> PERMIT ISSUED MAR 21 2011 CITY OF PORTLAND </div>	
Location of Construction: 106 HIGH ST	Owner Name: ASSOCIATES RGT	Owner Address: 44 OAK ST PORTLAND, ME - MAINE 04101	Phone:	
Business Name:	Contractor Name: Titcomb, Heath	Contractor Address:	Phone:	
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3	
Past Use: First Floor - Restaurant (Katahdin)	Proposed Use: SAME: Restaurant - doing interior fit-up for a new tenant	Cost of Work: 12000.00	CEO District:	
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A-2 Type: 3B DBI-2009 Signature: JMB	
Proposed Project Description: 106 High St. / Interior fitup		Pedestrian Activities District (P.A.D.)		

Permit Taken By: Gayle	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>ok with conditions</i> <i>3/11/11</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <i>w/Rev</i> <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ok with conditions</i> <i>See B</i> Date:
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-03-551-ALTCOMM

Located At: 106 HIGH

CBL: 039 - - A - 037 - 001 - - - -

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District. This permit does NOT include any new exterior doors.
4. This property shall remain a restaurant use on the first floor. Any change of use shall require a separate permit application for review and approval.
5. Please check with the City Clerk's office concerning your required licensing.

Fire

1. Conditions are based on onsite visit conducted March 7, 2011 with restaurant owner and fire alarm vendor. The site visit did not include areas beyond the proposed new restaurant.
2. Construction shall comply with City Code Chapter 10.
3. The building is four story mixed use and requires a supervised fire alarm system. There shall be only one fire alarm system and it shall cover the entire building.
4. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
5. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
6. The basement needs to be separated from the first floor with 60-minute fire rated construction and fire door assembly.
7. A seating plan is required and must be approved prior to occupancy.
8. Separate permits are required for: Fire alarm, Kitchen hood and suppression system, and HVAC.
9. Occupant load over 49 requires 2 exits and doors to swing in the direction of egress travel. Owner agrees to provide panic hardware on the exits.
10. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 713.
3. Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
4. Equipment must be installed in compliance per the manufacturer's specifications
5. New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
6. Approval of City license is subject to health inspections per the Food Code.
7. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Close In Elec/Plmb/Framing
2. Final at completion including health inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

Job Summary Report
Job ID: 2011-03-551-ALTCOMM

Report generated on Mar 8, 2011 2:48:26 PM

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Job Type:	Adds/Alter Commercial	Job Description:	106 High St. / Interior fitup	Job Year:	2011
Building Job Status Code:	Initiate Plan Review	Pin Value:	819	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	12,000	Square Footage:			
Related Parties:		ASSOCIATES RGT		Property Owner	
		- Heath Titcomb		GENERAL CONTRACTOR	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 5936

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
R00020	039 A 037 001		M				-70.262271	43.65308

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				106 HIGH STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
RETAIL & PERSONAL SERVICE		NOT APPLICABLE			Historic District		DISTRICT 3	CENTRAL BUSINESS DISTRICT

Structure Details

Structure: Commercial Upgrades

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Office & Professional Buildings	0			106 HIGH STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference
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User Defined Property	Value
Cook Tops	0
Dishwasher	0
Disposals	0
Fixtures-Fluorescent	0

in Que

Job Summary Report
Job ID: 2011-03-551-ALTCOMM

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User Defined Property	Value
Fixtures-Fluorescent	20
Fixtures-Incandescent	0
Fixtures-Incandescent	6
Fixtures-Incandescent	100
Fixtures-Strips	0
Receptacles	0
Receptacles	11
Receptacles	20
Receptacles	100
Switches	0
Switches	8
Switches	100
Wall Ovens	0

Structure: Loc id 000005935 Alt id 002425

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
CONVERSION	6	4312,44		106 HIGH STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference
0	0	M			

User Defined Property	Value
Cook Tops	0
Dishwasher	0
Disposals	0
Fixtures-Fluorescent	0
Fixtures-Fluorescent	20
Fixtures-Incandescent	0
Fixtures-Incandescent	6
Fixtures-Incandescent	100
Fixtures-Strips	0
Receptacles	0
Receptacles	11
Receptacles	20
Receptacles	100

Job Summary Report
Job ID: 2011-03-551-ALTCOMM

Report generated on Mar 8, 2011 2:48:26 PM

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User Defined Property	Value
Switches	0
Switches	8
Switches	100
Wall Ovens	0

Structure: Loc id 000046244 Alt id R00020

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
CONVERSION	6	4329,864		106 HIGH STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference
0	0	M			

User Defined Property	Value
Cook Tops	0
Dishwasher	0
Disposals	0
Fixtures-Fluorescent	0
Fixtures-Fluorescent	20
Fixtures-Incandescent	0
Fixtures-Incandescent	6
Fixtures-Incandescent	100
Fixtures-Strips	0
Receptacles	0
Receptacles	11
Receptacles	20
Receptacles	100
Switches	0
Switches	8
Switches	100
Wall Ovens	0

Permit #: 20111732

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
5936	Commercial Upgrades	Initialized	Interior fit up			

Job Summary Report
Job ID: 2011-03-551-ALTCOMM

Report generated on Mar 8, 2011 2:48:26 PM

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Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag
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Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$140.00							



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>106 High Street Portland, me 04101</u>			
Total Square Footage of Proposed Structure/Area <u>2156</u>		Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>039</u> Block# <u>A</u> Lot# <u>037</u>		Applicant *must be owner, Lessee or Buyer* Name <u>Plush West End</u> Address <u>106 High Street</u> City, State & Zip <u>Portland, me 04101</u>	Telephone: <u>207-409-7889</u>
Lessee/DBA (If Applicable) <u>Plush West End</u> <u>106 High Street</u> <u>Portland, me 04101</u>		Owner (if different from Applicant) Name <u>RGT Associates</u> Address <u>44 Oak St</u> City, State & Zip <u>Portland, me 04101</u>	Cost Of <u>12K</u> Work: \$ <u>19,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>140.00</u>
Current legal use (i.e. single family) <u>Commercial</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>Restaurant</u> Proposed Specific use: <u>Restaurant</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>See Attached.</u>			
RECEIVED MAR - 8 2011 Dept. of Building Inspections City of Portland Maine			
Contractor's name: <u>Heath Titcomb</u>			
Address: <u>P.O. Box 262</u>			
City, State & Zip <u>Raymond, me 04062</u>		Telephone: <u>207 239 4631</u>	
Who should we contact when the permit is ready: <u>Charles</u>		Telephone: <u>207 409 7889</u>	
Mailing address: <u>106 High Street Portland, me 04101</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 3/7/2011

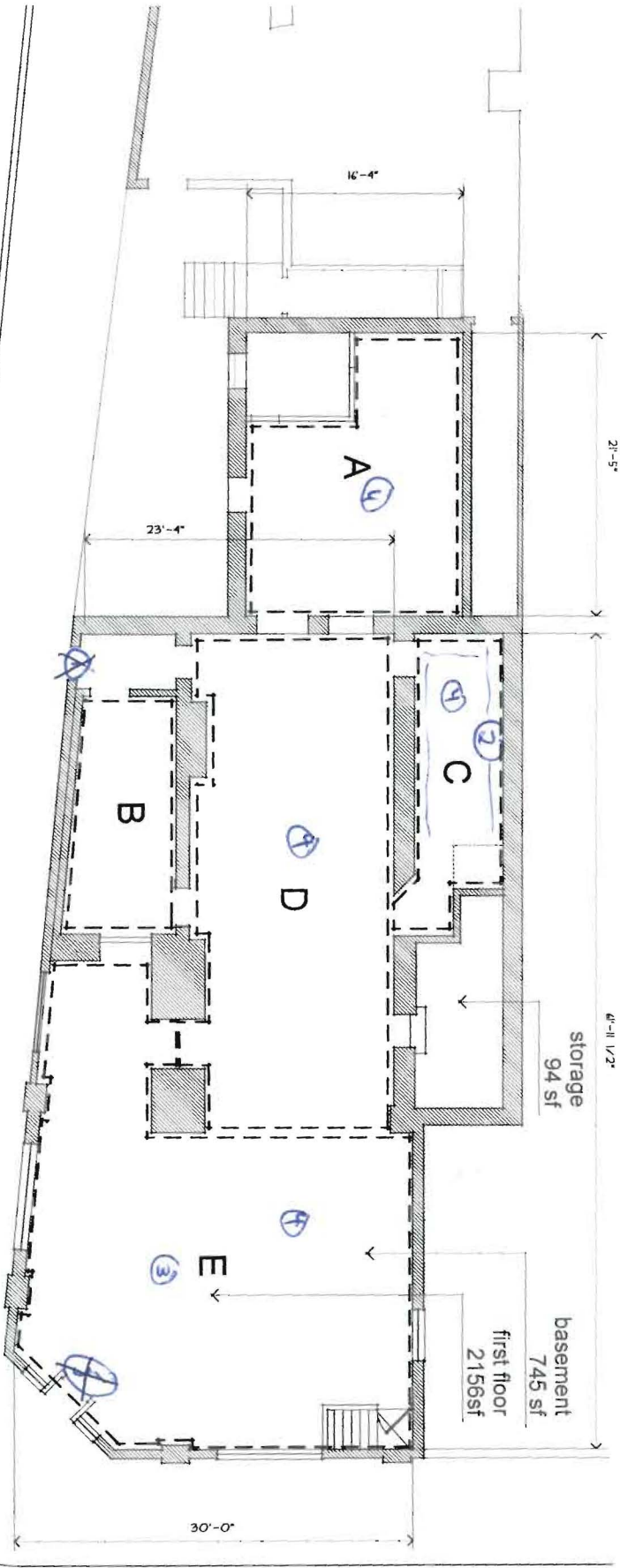
This is not a permit; you may not commence ANY work until the permit is issued

Plush West End.
Scope of work

3/7/2011

- Interior fit up
 - Paint + Prime
 - Tape + mud
 - Sheetrock Patch + filling
 - Stucko Designs on walls
- 25 Sheets of Sheetrock
 - Dish room fit up
 - Ceiling Patching
 - Kitchen "fire code"
- Interior Trim
- ~~Replacement of front door / store front TBD "same as old"~~
- Wood Bar Framing (Build bar)
- Framing + fitup of existing bar cooler in basement
 - Insulation of non-Perman Sheathing in cooler
 - Insulate cooler
- Floor
 - VCT Floor through Space 2156 SF
- ~~Repla Existing fire door ex.it.~~

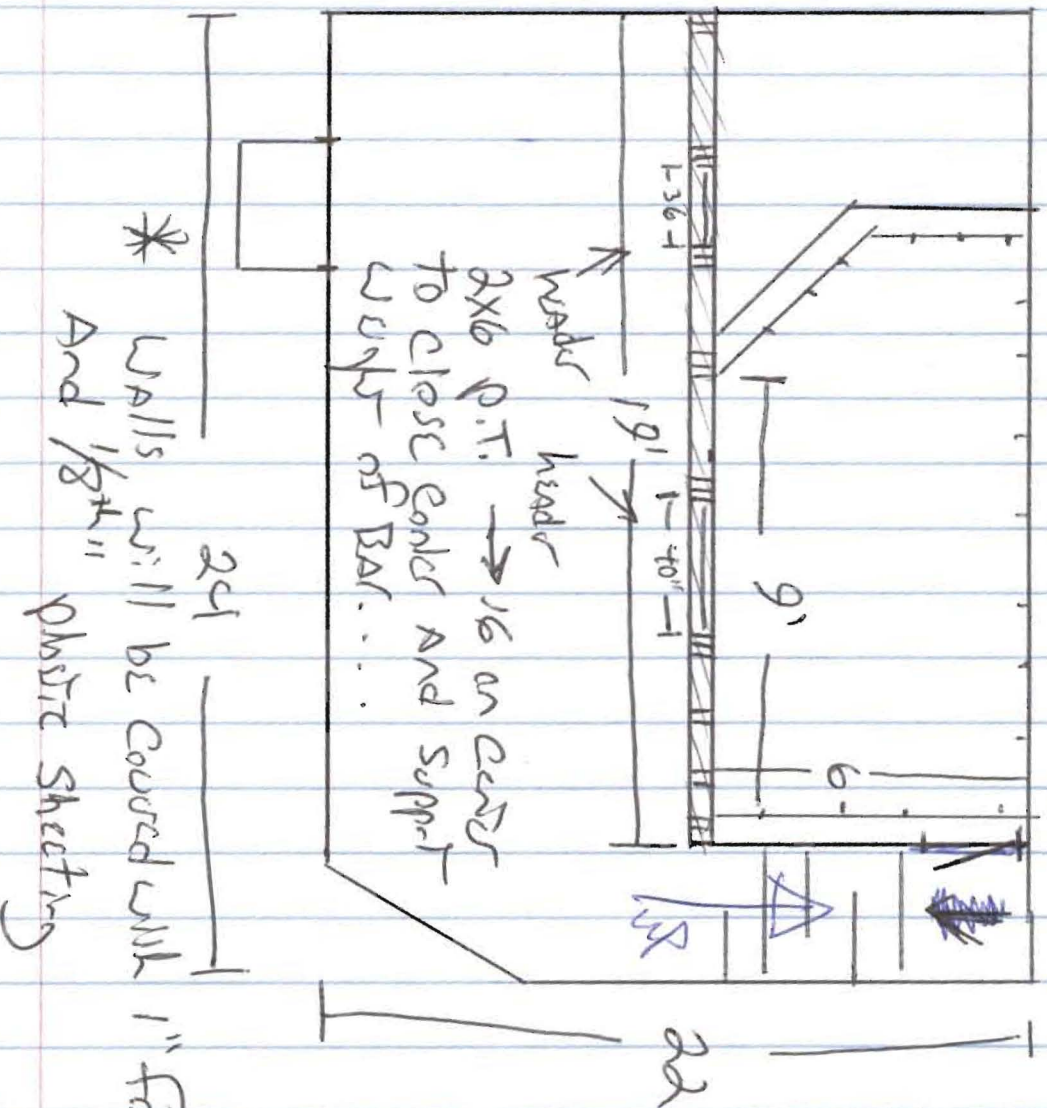
first floor plan
approximate dimensions

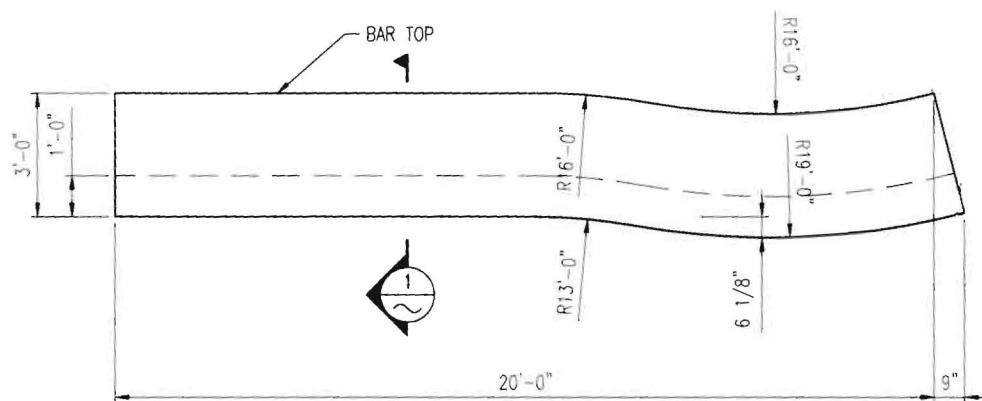


- ① ~~Remove End Door~~
- ② Dish room fit up " Add Ground Level to Rooms.
- ③ Patch Ceiling
- ④ VCT Tile Floor

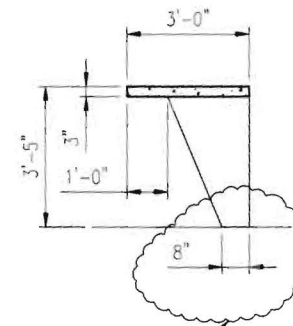
⑤ ~~Reptice Entrance w/ Stone T&D~~

Breuer + Coles
"Ex-Stop"





DOUCETTE BAR
SCALE: $3/8" = 1'-0"$



MARK THIS UP AN LET ME
KNOW WHAT YOU WERE
INTENDING.

SECTION
SCALE: $3/8" = 1'-0"$

- * wood frame Base Cabinet
- * 2x4 construction 28" X 20'
- * Concrete Slab Counter top 3" thick

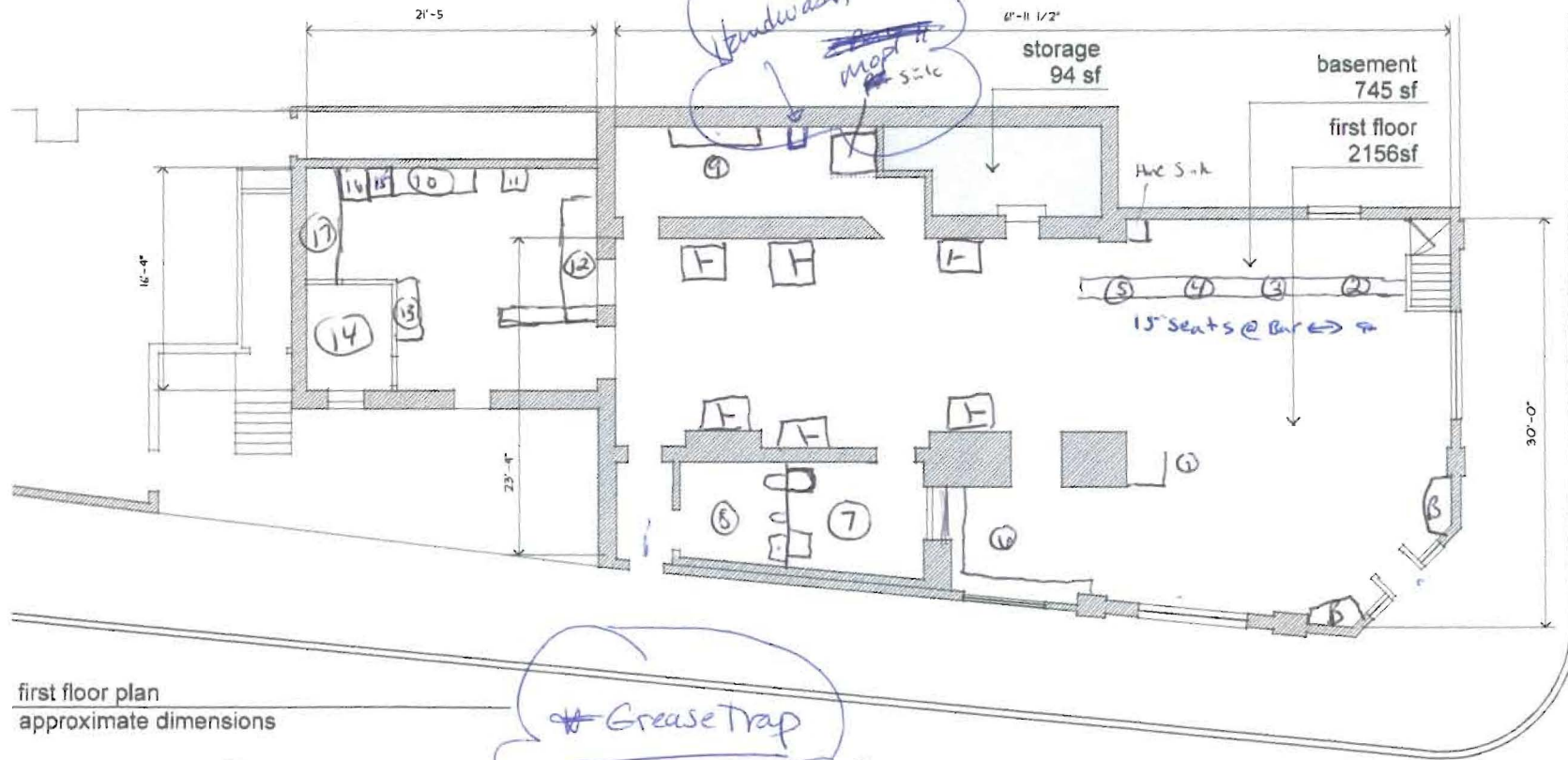
* Seats 60

Notes per
changes 3/21/11

RECEIVED

MAR 21 2011

Dept. of Building Inspections
City of Portland Maine



- | | | | |
|-------------------------|---|-------------------------|------------------|
| ① Host | ⑥ VIP Seating | ⑩ Range | ⑮ Hot water sink |
| ② Ice bin / Bar station | ⑦ Women's Room (1 sink - 1 toilet) | ⑪ Fryer / hot | ⑯ Prep Sink |
| ③ Beer cooler | ⑧ Men's room (1 sink - 1 toilet - 1 urinal) | ⑫ Low Boy cooler / prep | ⑰ Prep Tables |
| ④ 3 bay sink | ⑨ Dish machine / Dish room | ⑬ 2 door fridge | |
| ⑤ Bar station / Ice bin | | ⑭ Storage (door) | |

T = Tables