

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**

Permit Number: 090716

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that Rgt Associates/Dirigo Masonryhas permission to Repair brick parapet, replace steel lintersAT 106 High St

City of Portland - 039 A037001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. CAPT. K. Hentzen

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

Director - Building &amp; Inspection Services



7/23/09

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

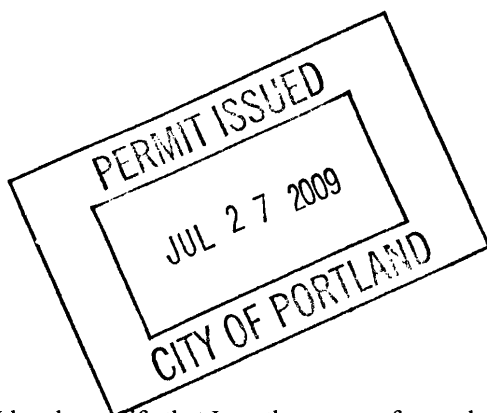
Permit No: 09-0716	Issue Date: 7/23/09	CBL: 039 A037001
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Location of Construction: 106 High St	Owner Name: Rgt Associates	Owner Address: 44 Oak St	Phone:
Business Name:	Contractor Name: Dirigo Masonary	Contractor Address: 44 Oak St. Portland	Phone: 2077715461
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Restaurant	Proposed Use: Restaurant / Repair brick parapet, replace steel lintels	Permit Fee: \$50.00	Cost of Work: \$2,800.00	CEO District: 2
Proposed Project Description: Repair brick parapet, replace steel lintels		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A2 Type: III IBC-2003	
		Signature:  Signature: 		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 07/18/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/13/09	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 7/14/09
	all work to take place w/in existing footprint OK w/cond. letter Date: 7/13/09		



D. Andrews

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>108 HIGH STREET</b>				
Total Square Footage of Proposed Structure/Area <b>N/A</b>		Square Footage of Lot <b>N/A</b>	Number of Stories <b>1</b>	
Tax Assessor's Chart, Block & Lot Chart# <b>039</b> Block# <b>A</b> Lot# <b>37</b>		Applicant * <u>must</u> be owner, Lessee or Buyer* Name <b>STEPHEN M. THOMAS</b> Telephone: <b>207.771.5461</b> Address <b>44 OAK ST. 04101</b> City, State & Zip <b>PORTLAND, ME</b>		
Lessee/DBA (If Applicable) <b>N/A</b>		Owner (if different from Applicant) Name Address City, State & Zip		Cost Of Work: \$ <b>1800-</b> C of O Fee: \$ Total Fee: \$ <b>50.00</b>
Current legal use (i.e. single family) <b>RESTAURANT</b> Number of Residential Units <b>0</b> If vacant, what was the previous use? <b>N/A</b> Proposed Specific use: <b>REPAIR BRICK, ADD UNITS FOR SAME USE</b> Is property part of a subdivision? <b>NO</b> If yes, please name Project description: <b>REPAIR BRICK PARAPET, REPLACE STEEL UNITS</b>				
Contractor's name: <b>DIRIGO MASONRY</b> Address: <b>44 OAK / 04101</b> City, State & Zip: <b>PORTLAND, ME 04101</b> Telephone: <b>Steve 771.5461</b> Who should we contact when the permit is ready: <b>S. THOMAS</b> Telephone: <b>771.5461</b> Mailing address: <b>C/O STAZ ARCHITECTS / 44 OAK, CITY, 04101</b>				

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <b>S. THOMAS</b>	Date: <b>7.8.09</b>
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This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:

09-0716

Date Applied For:

07/08/2009

CBL:

039 A037001

Location of Construction:	Owner Name:	Owner Address:	Phone:
106 High St	Rgt Associates	44 Oak St	
Business Name:	Contractor Name:	Contractor Address:	Phone
	Dirigo Masonary	44 Oak St. Portland	(207) 771-5461
Lessee/Buyer's Name	Phone:	Permit Type:	
		Alterations - Commercial	
Proposed Use:		Proposed Project Description:	
Restaurant / Repair brick parapet, replace steel lintels		Repair brick parapet, replace steel lintels	

Dept: Historic

Status: Approved with Conditions

Reviewer: Deborah Andrews

Approval Date: 07/14/2009

Note:

Ok to Issue: ☒

1) \* HP Board's 05/21/09 decision included the following condition of approval: Historic Preservation staff to review and approve final selections for new brick, mortar and marble, and confirm that the width of new mortar joints matches the existing joint width.

Dept: Zoning

Status: Approved with Conditions

Reviewer: Ann Machado

Approval Date: 07/13/2009

Note:

Ok to Issue: ☒

1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building

Status: Approved with Conditions

Reviewer: Chris Hanson

Approval Date: 07/23/2009

Note:

Ok to Issue: ☒

1) ANY exterior work requires separate review and approval thru Historic Preservation

2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.

Dept: Fire

Status: Approved

Reviewer: Capt Keith Gautreau

Approval Date: 07/20/2009

Note:

Ok to Issue: ☒

Comments:

7/15/2009-gg: received permit from historic on 7/14/09. /gg

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a “Stop Work Order” and “Stop Work Order Release” will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

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John Turk, Chair  
Rick Romano, Vice Chair  
Otis Baron  
Martha Deprez  
Michael Hammen  
Ted Oldham  
Cordelia Pitman

May 23, 2008

Steve Thomas  
RGT Associates  
44 Oak Street  
Portland, Maine 04101

Re: Parapet reconstruction – 108 High Street

Dear Mr. Thomas:

On May 21, the City of Portland's Historic Preservation Board reviewed your request to reconstruct the brick and marble parapet at 108 High Street. The Board found that the proposed reconstruction meets the standards of the historic preservation ordinance. Based on these findings, the Board approved your application for a Certificate of Appropriateness.

Board approval was made subject to the following conditions:

- \* Historic preservation staff will review and approve final selections for new brick, mortar, and marble, and confirm that the width of new mortar joints matches the existing wide joints.

All improvements shall be carried out as shown on the plans and specifications submitted for the 5/21/08 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

Deborah Andrews  
Historic Preservation Program Manager

cc: Approval Letter File  
Building Inspections



# Accessibility Building Code Certificate

Designer:

N/A

Address of Project:

Nature of Project:

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



## Certificate of Design

Date:

SEE ATTACHED SHEET.

From:

These plans and / or specifications covering construction work on:

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Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

(SEAL)

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

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# Certificate of Design Application

From Designer:

SEE ATTACHED SHEETS.

Date:

Job Name:

Address of Construction:

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year \_\_\_\_\_ Use Group Classification (s) \_\_\_\_\_

Type of Construction \_\_\_\_\_

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? \_\_\_\_\_ Supervisory alarm system? \_\_\_\_\_

Is the Structure mixed use? \_\_\_\_\_ If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Geotechnical/Soils report required? (See Section 1802.2) \_\_\_\_\_

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 – 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
\_\_\_\_\_ Basic wind speed (1809.3)  
\_\_\_\_\_ Building category and wind importance Factor,  $I_w$   
table 1604.5, 1609.5)  
\_\_\_\_\_ Wind exposure category (1609.4)  
\_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
\_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
\_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)  
\_\_\_\_\_ Seismic use group ("Category")  
\_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_{D1}$  (1615.1)  
\_\_\_\_\_ Site class (1615.1.5)

\_\_\_\_\_ Live load reduction  
\_\_\_\_\_ Roof *live* loads (1603.1.2, 1607.11)  
\_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
\_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
\_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
\_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
\_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
\_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)  
\_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
\_\_\_\_\_ Seismic design category (1616.3)  
\_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
\_\_\_\_\_ Response modification coefficient,  $R_d$  and  
deflection amplification factor,  $C_d$  (1617.6.2)  
\_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
\_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)  
\_\_\_\_\_ Elevation of structure

### Other loads

\_\_\_\_\_ Concentrated loads (1607.4)  
\_\_\_\_\_ Partition loads (1607.5)  
\_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
1607.12, 1607.13, 1610, 1611, 2404)

DANIEL S. CHASE, P. E.  
Structural & Construction Engineering  
26 Stonybrook Rd.  
Cape Elizabeth, ME 04107  
(207) 799-9087  
[dp.chase@myfairpoint.net](mailto:dp.chase@myfairpoint.net)

June 23, 2009

Mr. Steve Thomas  
GTA2 Architects  
44 Oak St.  
Portland, ME 04101

RE: Katahdin restaurant building.

Dear Steve,

This building utilizes steel beams around the perimeter to support the upper portion of the brick walls and the brick and precast concrete parapet. The outer portions of this beam assembly, consisting of a channel section and an angle section, have deteriorated over the years due to exposure to the elements. The interior portion, a standard S10X25.4 beam, is still in good condition.

By measuring remaining portions of the channel section, I was able to determine the original section size. Structural analysis indicates the existing steel beam, together with a new channel section, is adequate to support the structural loads required by current building codes. Therefore, I recommend the deteriorated channel section be replaced by a new section of the same size, which is a C10X15.3.

The angle required to support the exterior course of brick can be of any size that works well for construction purposes.

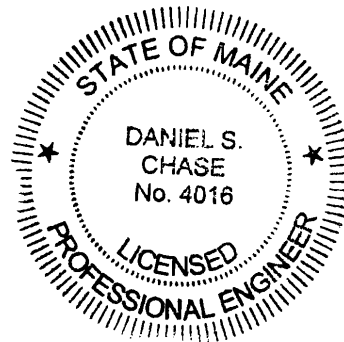
Attached is a sketch showing a section through the beam assembly.

If you have questions, or require further consultation, please contact me.

Yours truly,



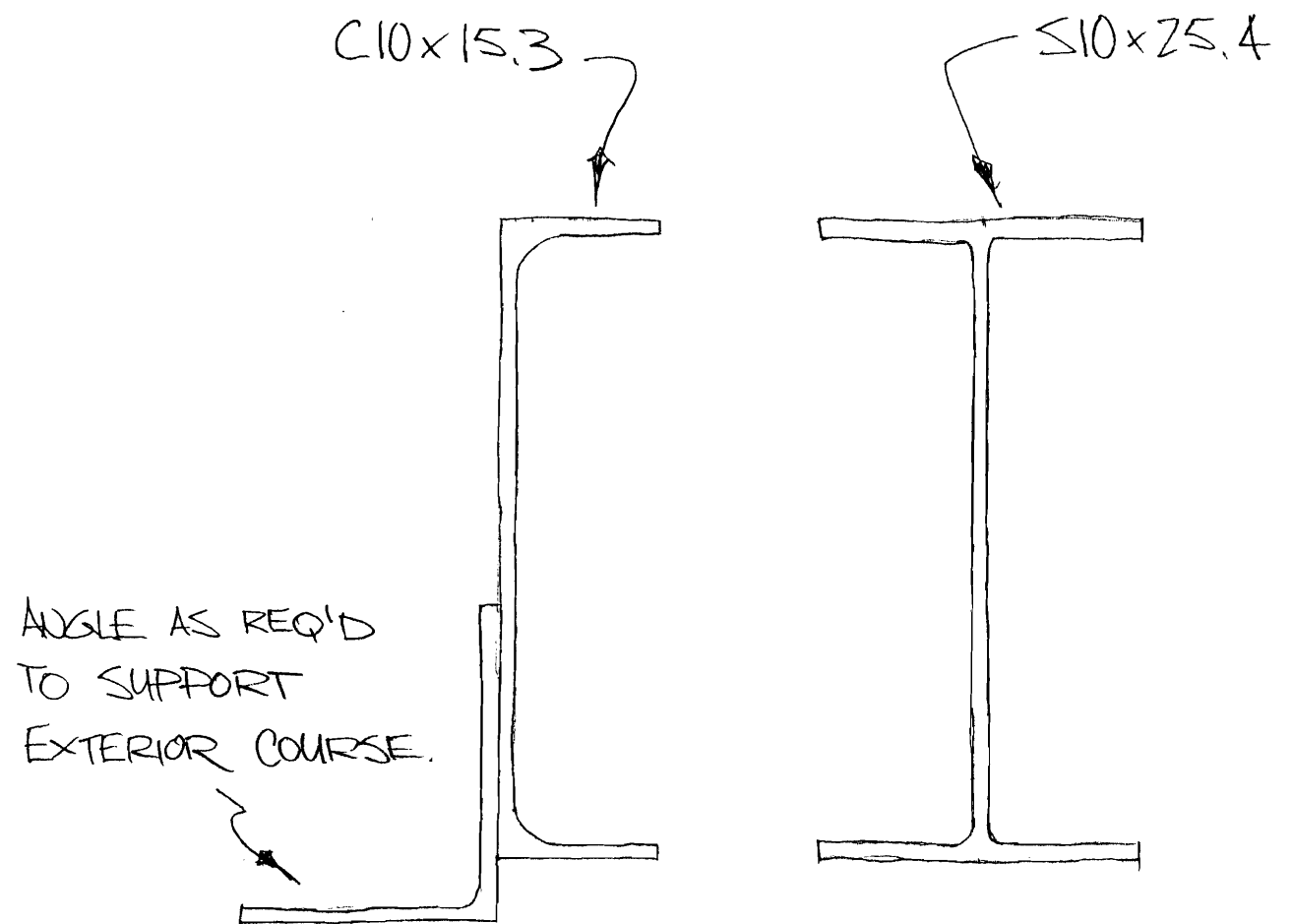
Daniel Chase



PROJECT NAME KATAHDIN REST. BLDG.

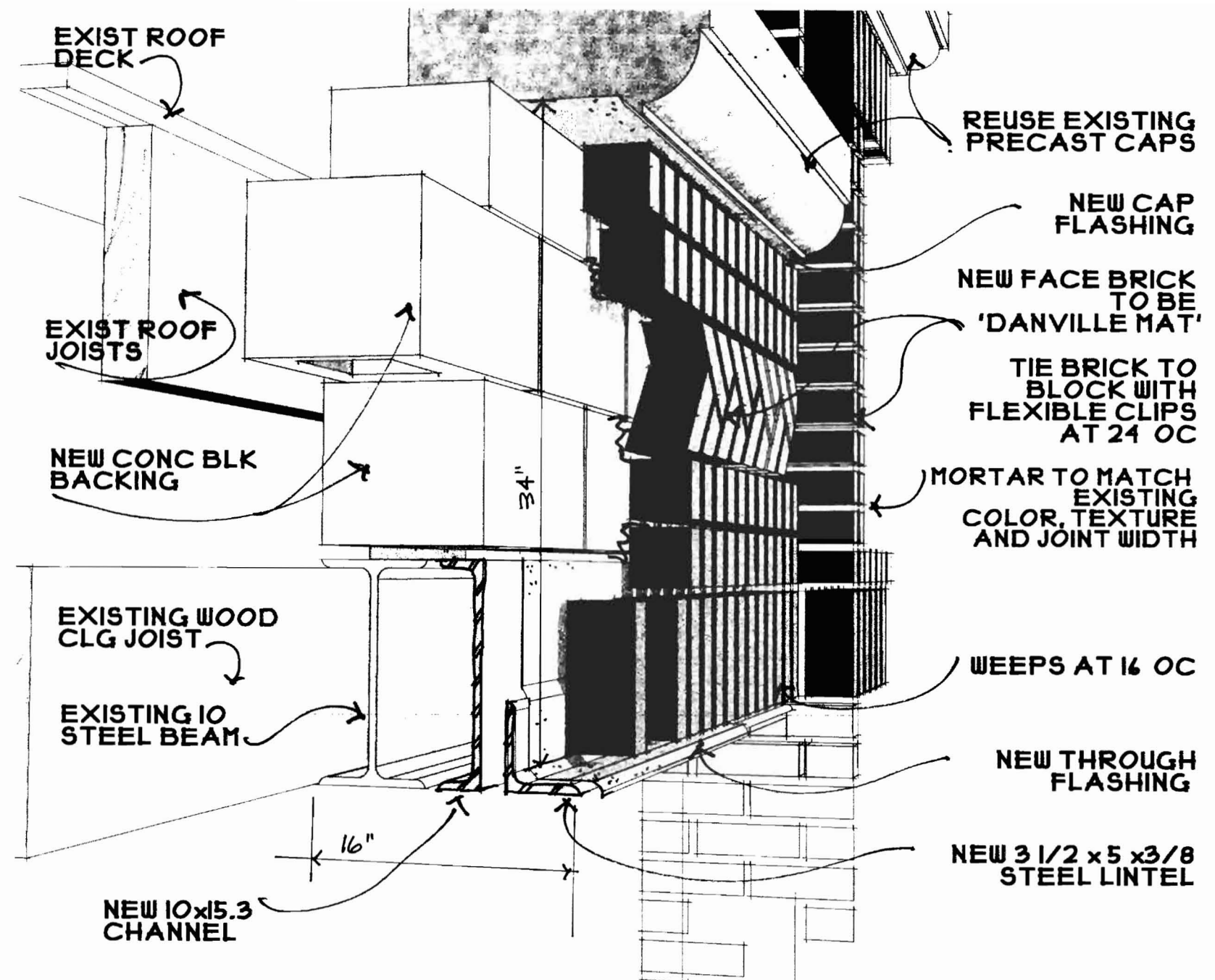
DATE 6/23/09

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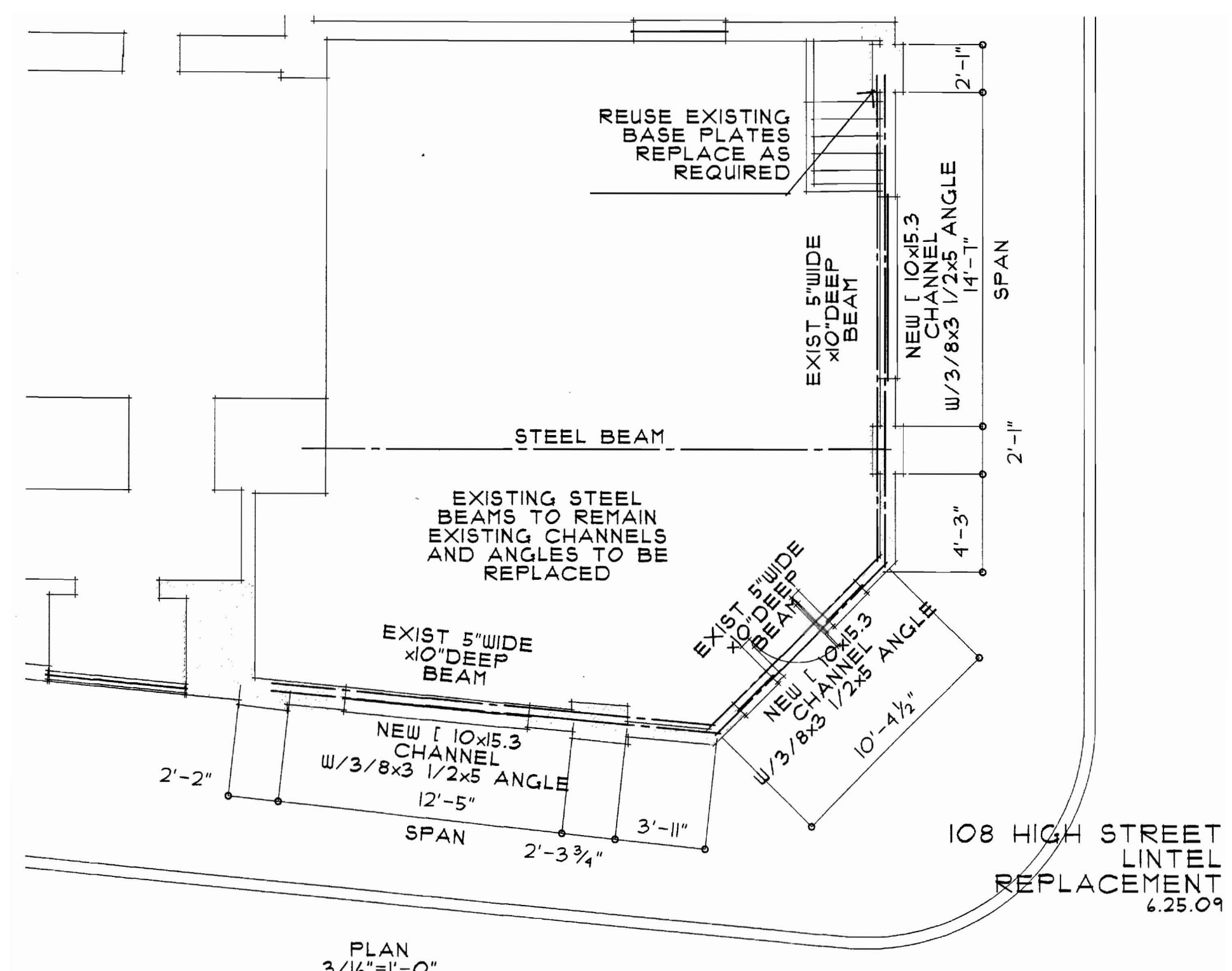


SECTION THRU EXISTING  
PERIMETER BEAM ASSEMBLY

N.T.S.



108 HIGH STREET



PLAN  
3/16"=1'-0"

108 HIGH STREET  
LINTEL  
REPLACEMENT  
6.25.09

