

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 071117

This is to certify that RGT ASSOCIATES /Bourgeois & Sonshas permission to install kitchen hood systemAT 106 HIGH ST

C 039 A037001

PERMIT ISSUED

OCT - 9 2007

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in.  
FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Jamie Bonke 10/4/07  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

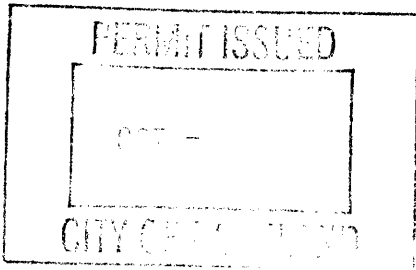
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1117	Issue Date:	CBL: 039 A037001
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Location of Construction: 106 HIGH ST / 117 Spring St.	Owner Name: RGT ASSOCIATES	Owner Address: 44 OAK ST	Phone:
Business Name: Flask	Contractor Name: Bourgoin & Sons	Contractor Address: 123 Davis Road Durham	Phone: 2077491878
Lessee/Buyer's Name	Phone:	Permit Type: Hood Systems, Commerical	Zone: B-3

Past Use: Commercial - "Flask" - bar/burger was Spring St. Lounge	Proposed Use: Commercial - "Flask" - install kitchen hood system	Permit Fee: \$150.00	Cost of Work: \$12,362.00	CEO District: 1
Proposed Project Description: install kitchen hood system		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied TE NFPA 96	INSPECTION: Use Group: A-2 Type: 3B IMC-2003	
		Signature: <i>Gregory Carr</i> Signature: <i>JMB 10/4/07</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 09/12/2007	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews	Zoning Appeal	Historic Preservation
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/18/07 STH

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Spring St 106 High May #39-A-37</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>59</u> <u>4</u> <u>37</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Steven Thomas (owner)</u> Telephone: <u>771-5461</u> Address <u>771-5461</u> <u>Spring St</u> City, State & Zip <u>Portland me.</u>	
Lessee/DBA (If Applicable) <u>Flask</u>	Owner (if different from Applicant) Name <u>Lessee Jessica Noble</u> Address <u>408-9020</u> City, State & Zip _____	Cost Of Work: \$ <u>12362</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Large bar</u> If vacant, what was the previous use? <u>replacing "Spring St. Large"</u> Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Install kitchen Hood system</u>		
Contractor's name: <u>Bourgon &amp; Son's LLC</u> Address: <u>123 Davis rd</u> City, State & Zip <u>Durham me 04222</u> Telephone: <u>749-1878</u> Who should we contact when the permit is ready: <u>Don Bourgon Jr</u> Telephone: <u>749-1878</u> Mailing address: <u>4bore</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Don Bourgon Jr Date: 9/12/07

**This is not a permit; you may not commence ANY work until the permit is issued**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-1117	<b>Date Applied For:</b> 09/12/2007	<b>CBL:</b> 039 A037001
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<b>Location of Construction:</b> 106 HIGH ST (117 Spring)	<b>Owner Name:</b> RGT ASSOCIATES	<b>Owner Address:</b> 44 OAK ST	<b>Phone:</b>
<b>Business Name:</b> Flask	<b>Contractor Name:</b> Bourgoin & Sons	<b>Contractor Address:</b> 123 Davis Road Durham	<b>Phone</b> (207) 749-1878
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Hood Systems, Commerical	

<b>Proposed Use:</b> Commercial - "Flask" - install kitchen hood system	<b>Proposed Project Description:</b> install kitchen hood system
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**Dept:** Historic      **Status:** Approved      **Reviewer:** Scott Hanson      **Approval Date:** 09/18/2007  
**Note:**      **Ok to Issue:** ☒

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 09/18/2007  
**Note:** "Flask" is a lounge replacing "Spring Street Lounge" so no change of use is necessary.      **Ok to Issue:** ☒

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.
- 3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 10/04/2007  
**Note:**      **Ok to Issue:** ☒

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems.  
Separate plans may need to be submitted for approval as a part of this process.
- 3) The Hood shall be installed per IMC 2003 and NFPA 96  
This permit is approved based on the plans submitted and updated for reductions in the clearances based on the application of a UL approved fire wrap or equivalent assembly per code.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 09/18/2007  
**Note:**      **Ok to Issue:** ☒

- 1) Install shall comply with NFPA 96.  
A compliance letter is required

**Comments:**

9/13/2007-amachado: Left message for owner of "Flask". Need to know what type of business she is and what business she replaced.  
10/2/2007-jmb: Left voicemail w/Dan B. For details on distance of hood to ceiling and method of clearance reduction.  
10/3/2007-jmb: Left voicemail w/Jessica for more info on work in the space, permitting and the upstairs space.  
10/4/2007-jmb: Spoke with Bill from Blue Cold, he will get the details on the clearance reduction and distance to property lines from the exhaust.

<b>Location of Construction:</b> 106 HIGH ST (117 Spring)	<b>Owner Name:</b> RGT ASSOCIATES	<b>Owner Address:</b> 44 OAK ST	<b>Phone:</b>
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<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Hood Systems, Commerical	

10/4/2007-jmb: Dan B. Called to confirm that the hood exhaust is located 10' from the rear and left side property lines. Also, the wall and ceiling that the hood is attached shall be treated so as to allow a reduction to a 3" clearance to combustibles as required by code. See notes on plans. Ok to issue



# PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Lee Urban- Director of Planning and Development  
Michael J. Nugent- Inspections Division Director

## Kitchen Exhaust System Checklist and Code Provisions

Dear Applicant,

The following is a checklist to assist you in filing for a permit for a Kitchen Exhaust system. The applicable Mechanical Code provisions have also been attached. Please complete this and submit job specific construction documents that demonstrate compliance with the attached information.

### Type of System:

Type I X Type II \_\_\_\_\_

(Type I systems are systems that vent fryers, grills, broilers, ovens or woks. Type II systems are systems that vent steamers and other non grease producing appliances)

### Type of Materials:

Is the hood Stainless steel or other type of steel? STAINLESS STEEL If Other, what Type? \_\_\_\_\_

Is the duct work Stainless steel or other type of steel? Other If Other, what type? 16ga galv. Ductwork

Thickness of the steel for the hood 16ga

Thickness of the duct for the hood 16ga

Type of Hood and Duct supports

3/8 threaded rod and Angle Iron

Type of seams and Joints Solid welded

Grease Gutters provided? N/A

Hood Clearance from Combustibles materials 18" or Insulation to zero Clearance

Duct Clearance from Combustibles materials 18" or wrap in 3m firebarrier

Vibration Isolation System:

N/A

Air Velocity within the duct system .75 fps

Grease accumulation prevention system

Cleanouts in each 90° and ever 10'

Grease Duct enclosure 3m fire barrier grease duct wrap

Exhaust Termination to roof

Fire Suppression system 4 gal system

Exhaust fan mounting and clearance from the roof or wall 18" off roof 10'

Exhaust fan distance from other vents or openings 10'

Exhaust fan height above adjoining grade 14'

### Hood Specs

Style of hood Canopy

Type of Filter: Grease Baffles

Height of filter above nearest cooking surface: 36" for cooking 6'-6" from Floor

Capacity of hood in CFM 2400 cfm

Makeup Air system description and capacity

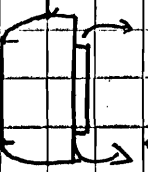
roof mounted and to be in 1600 cfm into hood

10/4/07

Per Dam Bourgain both the wall and ceiling will be treated with double steel 1" air space & insulation for reduction to 3" extending 18" all around.

JMB

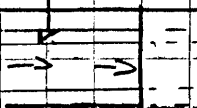
Exhaust fan



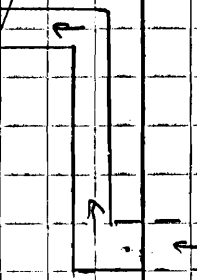
Flat rubber roof

ceiling

3m fine barrier grease  
duct wrap



Hood



Hood to be lag into brick wall and roof studs

6'-6"

red Brick

24ga Stainless steel on bricks





